



City of Woodland

Meeting Agenda - Final

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695

530-661-5820

Thursday, June 4, 2015

6:30 PM

Council Chambers

A. Call to Order

B. Roll Call

C. Approval of Minutes

[14-764](#)

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meeting of May 7, 2015.

Attachments: [May 7, 2015 Draft Meeting Minutes](#)

D. Directors Report

This an opportunity for the Community Development Department's Director or designee to provide the Commission with information on any items other than those listed on the Agenda.

E. Public Comment

This is an opportunity for the public to speak to the Commission on any item other than those listed on the Agenda. The Chairman may impose a time limit on any speaker.

F. Communications

Commission Statements and Requests: This is an opportunity for the Commission members to make comments and announcements to express concerns or to request Commission's consideration of any items a Commission member would like to have discussed at a future Commission meeting.

G. Subcommittee Reports

H. Public Hearing

[14-793](#)

SUBJECT: The project includes a request for a tentative parcel map to divide a 9.33 acre parcel into two parcels of 3.33 acres and 6 acres. The property is located at 95 West Kentucky Avenue (APN 027-440-012-000) in the Industrial Zone.

RECOMMENDED ACTION: Staff recommends that the Planning Commission open the public hearing and continue it to the July 2nd

Planning Commission meeting.

I. New Business

[14-797](#)

SUBJECT: Design Review for Lennar Homes- Brookstone at Spring Lake

DATE: June 4, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:

Review and approve the proposed conceptual residential designs for Lennar Homes - Brookstone at Spring Lake.

Attachments: [1. Application and Justification Statement](#)

[2. Revised Design Review Book](#)

[3. Lot Coverage List](#)

[4. Courtyard Porch Garage Table table](#)

[5. Heidrick Phase II Map and Conditions](#)

J. Old Business

K. Adjournment

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



Legislation Details (With Text)

File #: 14-764 **Version:** 1 **Name:**
Type: Minutes **Status:** Agenda Ready
File created: 5/14/2015 **In control:** Planning Commission
On agenda: 6/4/2015 **Final action:**
Title: SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meeting of May 7, 2015.

Sponsors:

Indexes:

Code sections:

Attachments: [May 7, 2015 Draft Meeting Minutes](#)

Date	Ver.	Action By	Action	Result
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Planning Commission Minutes

TO: Members of the Woodland Planning Commission

DATE: June 4, 2015

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meeting of May 7, 2015.

STAFF CONTACT: Debbie Flemmer, Administrative Clerk, Community Development Department

ATTACHMENT:

May 7, 2015 Meeting Minutes



City of Woodland

Meeting Minutes - Draft

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695
530-661-5820

Thursday, May 7, 2015

6:30 PM

Council Chambers

A. Call to Order

Meeting was called to order at 6:32 pm

Staff Present:

Ken Hiatt, Director

Cindy Norris, Principle Planner

Erika Bumgardner, Senior Planner

Lynn Johnson, Senior Management Analyst

B. Roll Call

Present 6:

*Chairman Kirby Wells, Vice Chairman Chris Holt, Commissioner Steve Harris,
Commissioner Fred Lopez, Commissioner John Murphy and Commissioner Elodia
Ortega-Lampkin*

Absent 1:

Commissioner Marco Lizarraga

C. Approval of Minutes

D. Directors Report

E. Public Comment

F. Communications

G. Subcommittee Reports

H. Public Hearing

I. New Business

[14-724](#)

SUBJECT: City of Woodland 2015/16-2018/19 Capital Improvement
Program

DATE: May 7, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:

· Review of the proposed City of Woodland Capital Improvement

Program (CIP) for 2015/16 - 2018/19

· Make a finding that the proposed CIP for 2015/16 - 2018/19 is in conformity with the General Plan.

Attachments: [1. Summary of proposed CIP projects/General Plan Analysis](#)
 [2. Funding summary of proposed CIP Projects](#)

A motion was made by Vice Chairman Holt and seconded by Commissioner Lopez to find that the City of Woodland Capital Improvement Program (CIP) for 2015/16 - 2018/19 is in conformity with the General Plan. The motion was carried by the following vote:

Ayes: Chairman Wells, Vice Chairman Holt and Commissioners Harris, Lopez, Murphy and Ortega-Lampkin

[14-730](#)

SUBJECT: Design Review for D.R. Horton; Solara Ranch
Subdivision at Spring Lake

DATE: May 7, 2015

RECOMMENDATION: Staff recommends that the Planning
Commission:

Review and approve the proposed conceptual residential designs for
D.R. Horton; Solara Ranch Subdivision at Spring Lake

Attachments: [1. General Application Form](#)
 [2. Solara Ranch Final Subivision Map #4853](#)
 [3. Solara Ranch Development Agreement with Conditions of
Approval](#)
 [4. Floor Plans, Elevations and Color and Materials](#)
 [5. Fence, Driveway and Frontyard Landscape Typicals](#)
 [6. Lotting Development Plan](#)
 [7. Lot Coverage Table](#)

*A motion was made by Vice Chairman Holt and seconded by Commissioner Lopez to approve the residential design for D.R. Horton, Solara Subdivision at Springlake, as shown in the Plan booklet, overall site exhibit (lot layout), and color/materials boards, subject to the conditions of approval provided, that the project is consistent with SLSP and with the SLSP DS. The motion was carried by the following vote:
Ayes: Chairman Wells, Vice Chairman Holt and Commissioners Harris, Lopez, Murphy and Ortega-Lampkin*

J. Old Business

[14-743](#)

SUBJECT: Discussion Concerning Planning Commission
Subcommittees

DATE: May 7, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:

- 1) Review the staff report; and
- 2) Consider the formation of possible subcommittees including the purpose, task and duration; and
- 3) Make a recommendation regarding the possible subcommittees and appointment of members.

Attachments: [Ralph M. Brown Act Information.pdf](#)

The Planning Commission discussed the subject and made the following motions:

1.) Motion to establish an Ad Hock Public Art Subcommittee to develop recommendations for a possible public art Ordinance, including consideration of a fee. In general, the Subcommittee's tasks will be to develop a framework for research; and translate best practices into 2 to 3 possible alternatives for presentation to the Planning Commission with the objective of forwarding a recommendation to the City Council. Members appointed: Chairman Wells and Commissioner Lopez. A motion was made by Commissioner Lopez and seconded by Vice Chairman Holt to approve Motion No. 1 and its appointments. The motion was carried by the following vote:

Ayes: Chairman Wells, Vice Chairman Holt and Commissioners Harris, Lopez, Murphy and Ortega-Lampkin

2.) Motion to nominate a Design Liaison of the Planning Commission to Staff; to help guide project design review before formal review by the Planning Commission. The Liaison review will apply primarily to those projects that require Planning Commission approval. A motion was made by Commissioner Lopez and seconded by Commissioner Harris to nominate Commissioner Holt to serve as Design Liaison. The motion was carried by the following vote:

Ayes: Chairman Wells, Vice Chairman Holt and Commissioners Harris, Lopez, Murphy and Ortega-Lampkin

3.) Motion to establish a three member General Plan Subcommittee as it relates to the General Plan Update process. This Committee would be in effect until the General Plan was adopted. The Subcommittee may become involved in General Plan implementation issues. Members appointed: Vice Chairman Holt and Commissioners Murphy and Ortega-Lampkin. A motion was made by Vice Chairman Holt and seconded by Commissioner Murphy to approve Motion No. 3 and its appointments. The motion was carried by the following vote:

Ayes: Chairman Wells, Vice Chairman Holt and Commissioners Harris, Lopez, Murphy and Ortega-Lampkin

K. Adjournment

Meeting was adjourned at 8:17 pm

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



Legislation Details (With Text)

File #: 14-793 Version: 1 Name:
Type: Public Hearing Item Status: Agenda Ready
File created: 5/27/2015 In control: Planning Commission
On agenda: 6/4/2015 Final action:
Title: SUBJECT: The project includes a request for a tentative parcel map to divide a 9.33 acre parcel into two parcels of 3.33 acres and 6 acres. The property is located at 95 West Kentucky Avenue (APN 027-440-012-000) in the Industrial Zone.

RECOMMENDED ACTION: Staff recommends that the Planning Commission open the public hearing and continue it to the July 2nd Planning Commission meeting.

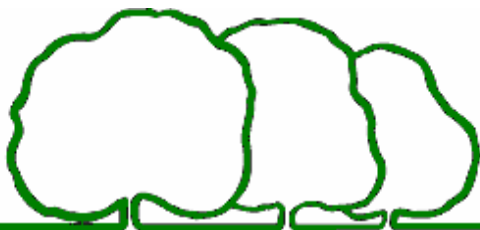
Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
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City of Woodland

MEMORANDUM

TO: Members of the Woodland Planning Commission
FROM: Erika Bumgardner, Senior Planner
James Beggs, Planning Intern
DATE: June 4, 2015
SUBJECT: The project includes a request for a tentative parcel map to divide a 9.33 acre parcel into two parcels of 3.33 acres and 6 acres. The property is located at 95 West Kentucky Avenue (APN 027-440-012-000) in the Industrial Zone.

RECOMMENDED ACTION: Staff recommends that the Planning Commission open the public hearing and continue it to the July 2nd Planning Commission meeting.



Legislation Details (With Text)

File #: 14-797 Version: 1 Name:
Type: Staff Report Status: Agenda Ready
File created: 5/28/2015 In control: Planning Commission
On agenda: 6/4/2015 Final action:
Title: SUBJECT: Design Review for Lennar Homes- Brookstone at Spring Lake

DATE: June 4, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:
Review and approve the proposed conceptual residential designs for Lennar Homes - Brookstone at Spring Lake.

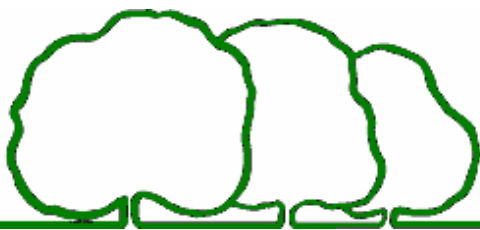
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Attachments: [1. Application and Justification Statement](#)
[2. Revised Design Review Book](#)
[3. Lot Coverage List](#)
[4. Courtyard Porch Garage Table table](#)
[5. Heidrick Phase II Map and Conditions](#)

Date	Ver.	Action By	Action	Result
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City of Woodland

MEMORANDUM

TO: Members of the Woodland Planning Commission
FROM: Cindy A. Norris, Principal Planner
SUBJECT: Design Review for *Lennar Homes- Brookstone at Spring Lake*
DATE: June 4, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:

Review and approve the proposed conceptual residential designs for *Lennar Homes - Brookstone at Spring Lake*.

PROJECT PROPOSAL:

An application has been filed for Site Plan and Design Review for a residential project (*Lennar Homes: Brookstone at Spring Lake*) Heidrick Ranch Phases 2 & 3, for 99 residential lots) within the R-5 zone, (4 - 5 dwelling units per acre), of the Spring Lake Planning Area (Attachments 1 & 2 Application & Floor Plans, Elevations, and Landscape Plans). The project consists of 99 single-family homes with six (6) floor plans, each with three (3) elevations, for a total of eighteen (18) elevations. The homes range in size from 1,827 to 3,512 square feet of living area (not including garage or covered patio/porches). Four of the plans are one-story and two of the plans are two-story. The plan submittal includes elevations and floorplans, a pre-plot layout plan, typical front yard landscape plans encompassed in a residential design booklet.

BACKGROUND:

On April 6, 2004, the City Council approved the approximately 44.44 acre Heidrick Ranch Vesting Subdivision Map No. 4670, at an R-5 density with a remainder parcel at an R-25 density. Since that time, Phase I of the map was recorded and single family homes constructed. In addition, the R-25 portion has been recently developed with 61 multi-family units as part of the Sacramento Mutual Housing Development. Phases 2 & 3 of the map are located west of Pioneer and east of Harry Lorenzo Avenue, and south of Farmers Central Road. In 2010 a modification to the Tentative Map Conditions of Approval was requested and approved by City Council which included a revision to the map to remove a proposed 8-lot, R-15 affordable cluster portion on Phase 3 and instead allow the affordable units to be located throughout the mapped area, with 10 affordable lots required in Hedrick Ranch Phase II, in addition, due to the modified lot layout one additional corner lot duplex was required. In total, 18 duplex/small lots shall be provided in the Heidrick Ranch Phase II. On August 20th, 2013, the City Council approved a second modification to the Tentative Map Conditions of Approval to allow for pay as you go infrastructure requirements. On May 1, 2015, Lennar Homes submitted an application package for Design Review for the Brookstone Project at Spring Lake.

Staff, and the Planning Commission Design Liaison, Commissioner Chris Holt, met with the applicant on May 21, 2015 to discuss project design. The applicant has provided design modifications to address comments.

PROJECT ANALYSIS:

The project design review was performed using the Spring Lake Specific Plan (adopted December 18, 2001 and subsequently amended) and the Spring Lake Specific Plan Design Standards as approved May 20, 2003.

Compliance With SLSP Design Standards

To achieve architectural diversity within residential neighborhoods, the Spring Lake Design Standards requires four (4) distinct floor plans and sixteen (16) elevations (4 per plan) for a development between 76 and 120 units. The proposed 99 lot Brookstone subdivision includes six (6) different floor plans and 18 elevations (3 per plan), exceeding the specific plan requirements. There are a total of five different elevation types that are mixed between the plans for additional variety. As a result of the design consultation with the Planning Commission Liaison, a fifth elevation which is a farmhouse style has been added.

A detailed pre-plot exhibit has been provided (page 4 of Attachment “2”) to ensure the best floor plan fit for each lot. The table below lists per plan, the usable square footage (main floor) and total building square footage (main floor, garage and covered patio) and the number of times each plan will be utilized. Plan mix is based on elevation style as well as best fit considering setbacks and lot coverage requirements.

<u>Plan</u>	<u>Number of Lots</u>	<u>No. of Stories</u>	<u>Usable/Total Square Foot</u>
1827	18	2	1827/2400
1950	19	1	1950/2786
2361	23	1	2361/2974
2494	10	1	2494/3540
2700	13	1	2700/3566
3512	16	2	3512/4514

The following are excerpts from the Lennar Home's project narrative:

Update: Lennar Homes has worked with Staff and the Planning Commission Design Liaison to provide significant enhancements to the home elevations and changes to some of the floor plans. The enhancements include the addition of a new Farmhouse elevation with lap siding, shutters and brick accents. The enhancements to other elevations include revised columns and shutters, more siding styles, porch rails and gates and additional windows.

The architectural elevation styles have been chosen to be diverse but compatible so that the neighborhood is unique and cohesive. Diversity in materials such as shutters, siding, rock accents, window styles, garage doors and roof tiles will create an interesting streetscape. In addition, a variety in the articulation and massing of the fronts and roofs of the one story and two story homes will provide richness and scale at a street level.

There are a variety of front entry garage treatments including front porches, front courtyards, side load garages, tandem garages and one, three car front loaded garage. Together all of these treatments provide variety and options for a diverse group of homeowners including families, seniors, first time homebuyers, and move down buyers.

The Brookstone at Spring Lake will include a "Next Gen" home within a home, designed to meet the needs of the changing demographics. This home is perfect for a family with situations that we are faced with such as a grandmother moving in, a returning college student or home office. Lennar Homes experienced overwhelming positive reviews and results for the "Next Gen" homes at Camelia and we are excited to offer another version of the "Next Gen" home at Brookstone.

A desired intent of the Spring Lake Specific Plan is to create variety and interest along a street. As stated in the Plan, "A strong goal of the Plan is to avoid the repetition of facades within builder tracts and to avoid abrupt changes in facades between builders." Toward this end, the applicant has worked to develop a mix of architectural materials, roof styles and colors that are diverse yet appropriate to each architectural style (Attachment 2). Five architectural styles are proposed, Mission, Prairie, European Country, Farmhouse and Craftsman.

The exterior materials being proposed include:

<u>Features</u>	<u>Style or Material</u>
Roofs	Concrete Barrel, Flat Concrete
Masonry	Cultured Stone and Brick Veneers
Stucco	Rough and smooth finish on trim accents
Siding	Lap, Shingle, Board and Batten vertical Siding

Trim	Stucco Finish
Shutters	Faux Wood
Posts	Double Wood, Stucco/Masonry Expanded Base, Stucco

The applicant has worked with staff and has modified key building massing features - roof style, shape, as well as porches or courtyards - per elevation, and has varied other key architectural features such as adding window recesses, and varying the type and placement of accent materials, as well as placement of pop-out or relief bands, as example. Further, garage door designs vary by elevation and windows are provided. Lastly, color can be used to help create variation. The applicant has described the project as unique and cohesive. The colors and tones provided will result in a cohesive appearing subdivision.

A key policy of the Spring lake Plan is the creation of neighborhoods that allow and encourage community interaction and foster active streets through design, by providing available public interactive spaces at the front of most homes. Usable and functioning porches and courtyards are identified in the Plan as methods to achieve this. Design standards 2.7(a) & (b) require 50% of the homes to have front porches and the remaining 50% to provide a prominent architectural feature such as courtyards, balconies and porticoes. Lennar Homes has provided a variety of treatments with two plans (1827 and 2494) providing usable front porches at the front of the homes. Two plans (1950 and 2700) provide front courtyards. The plan 3512 with a rotated side garage provides a more internal courtyard area approximately 300 square feet in size. All of the homes, but the 1827 provide a front entry/alcove or courtyard with a recessed front door. The applicant feels this feature provides a sense of entry as one transitions from the public into the private home space. Where used, the courtyard/alcove functions as an intermediate space which allows for outward interaction, yet creates private family space and a feeling of intimacy as well.

As provided in Attachment “4”, Front porches are included on 28 of the 99 homes (28%) and are of sufficient size, (minimum six by eight feet), to allow for a table and chairs. Where porches are not included, courtyards have been provided on 48 homes (48%). The courtyards are of a significant size, prominently positioned and finished with decorative hardscape such that in most cases they can function as an outward facing room. The Planning Commission may consider design items that deviate from the Spring Lake Design Standards, which are not Specific Plan requirements, which are different but substantially consistent with the original design intent, and of sufficient design and quality to provide a reasonable alternative. Staff feels that while fewer than 50% of the homes have front porches, that courtyards have been provided which will function in a manner consistent with intent of a porch. Staff supports the proposed modification, with Planning Commission consent; to have less than 50% of the homes (76%) utilize either a front porch or courtyard feature. The Plan 2316, with the 3-car garage provides a recessed front entry door and front entry accent pilasters, but no courtyard.

A majority of the plans provide for entry alcoves, which range from 12-feet to 19-feet deep, as measured from the front courtyard wall or front elevation wall, to the front door. As conditioned, enhanced landscaping as well as windows, motion lights and/or other treatments will be provided in the front courtyard entry to both soften the wall edges, and to allow for eyes on the entry from the home interior.

Plans 2361 and 3512 provide for 3-Car garages that either have a fully front-loaded (2361) or a single car side-on garage (3512). The Plan 2361 results in a garage frontage that exceeds the maximum 50% garage façade requirement. The applicant has proposed breaking the 3-car front into 2 and 1-car segments and providing a different door and paving strips in front of the door to minimize the front appearance of garage. Enhanced treatment has been provided to the house front as well as pilasters to frame the front entryway. In each case, the applicant has worked with staff to ensure that no more than 40% of the required front setback area will be paved, consistent with Section 14-1-3(11) of the Municipal Code. As conditioned, homeowners shall be

provided disclosure regarding impervious surfacing allowances. Enhanced garage doors and additional landscaping will be included between driveways to minimize the appearance of large expanses of paving and to enhance the exterior façade and streetscape frontage.

All homes will be provided with solar roof panels. Additionally, the applicant is providing water conserving landscaping with no turf as standard for all front yard landscaping as shown on the landscape plans.

Staff's review of the conceptual residential elevations and plans, finds the residential designs, as conditioned, substantially comply with the Spring Lake Specific Plan and the Spring Lake Design Standards. The applicant shall comply with these conditions specific to the Design Review application, but shall also be subject to applicable conditions provided in the originally approved Development Agreement for the Pioneer Investors LLC, Heidrick Ranch II Development Agreement, as amended.

RECOMMENDED CONDITIONS OF APPROVAL

COA #1: Lennar Homes: Brookfield Subdivision at Spring Lake shall comply with Spring Lake Specific Plan and Spring Lake Design Standards. This approval is for 99 homes within Phase II of Heidrick Ranch Vesting Subdivision Map No 4670 as provided in the Design Booklet dated May 28, 2015 and these conditions of approval. Minor design or material changes and/or setback modifications consistent with the intent of the Spring Lake Specific Plan and Design Standards can be approved by staff and major changes will be reviewed by the Planning Commission.

COA #2: Courtyard hardscape. All courtyards shall be designed to provide a pleasing and functional outdoor space. The same enhanced hardscape treatment that is provided on the driveway shall be provided within the courtyard area.

COA #3 Courtyard/Alcove Security. Where interior entry alcoves/courtyards are provided, the applicant shall work with Community Development Department staff to provide adequate security features including, but not limited to windows which allow views from the home interior to the courtyard and motion sensor lighting. Any gates that may be provided shall be a minimum of 50% open to allow views to the front door from the street.

COA #4: Final Site and Design Review. Prior to issuing any building permit, a final site and design review of final plans shall be conducted by staff. This final review may require further site and design changes to ensure compliance with the Spring Lake Specific Plan and Spring Lake Design Standards.

COA #5: Architectural Colors. Prior to issuance of building permits, the applicant shall submit final colors for review. The applicant shall work with Community Development staff on refinement of accent materials, prior to issuance of building permits.

COA #6: Corner Lot Accent Treatment. Homes located on corner lots, and/or side and rear elevations that are visible to public view, shall have enhanced treatment provided on sides in addition to the home front.

COA #7: Enhanced front walk. All residential units shall include a separated, enhanced pedestrian pathway from back of walk to the courtyard, porch, or front door. The Plan 2316 shall have front entry accent pilasters.

COA # 8: Accent Bollards at Goode Drive. Bollards in Spring Lake will be the decorative style by Reliance Foundry (Model R-7551 ductile iron non-fluted bollard in black textured color <http://www.reliance-foundry.com/bollard/decorative-architectural/R-7551-Bollard>).

COA #9: Utility Screening. Public facilities shall be oriented and screened from public view to the greatest extent feasible.

COA #10: Coordination of Plans. The applicant shall be responsible for coordinating all plans to ensure consistency with and including site plan, landscaping, and improvement plans, prior to submittal for review. All plans shall be provided and reviewed for consistency prior to issuance of building permits.

COA #11: Landscape Plan Submittal. Detailed Landscape and Irrigation plans shall be submitted and approved by the Community Development, and Parks and Recreation Departments concurrent with public improvement plans and prior to issuance of building permits. Landscape plans shall specify the following:

- Locations, size, and quantity of all plant materials.
- A plant legend specifying species type (botanical and common names), container size, maximum growth habit, and quantity of all plant materials.
- Location of all pavements, fencing, buildings, accessory structures, parking lot light poles, property lines, and other pertinent site plan features.
- Planting and installation details and notes including soil amendments.
- Details of all irrigation (drip, sprinkler, and bubbler) as well as equipment such as backflow controller and water meter devices identified.

COA #12: Street Tree Master Plan. Street Tree Master Planting Plan shall be approved prior to the issuance of the first building permit. The plan shall be reviewed for conformance with the Spring Lake Design Standards and approved by the Community Development Department and the City's Public Works Department - tree division. A soils test shall be submitted that will assist in appropriate species selection.

COA #13: Public Landscaping. Final landscaping plans for all areas to be maintained by the SLSP Lighting and Landscape District shall be submitted for review and approval by Community Development and the Department of Parks and Recreation. Due to poor soil conditions in the project area, soil sample analysis shall be provided for publicly maintained landscaping areas.

COA #14: Timing of Public Landscaping. Landscaping of public areas is a public improvement. Design and construction of public landscaping areas shall proceed concurrent with adjacent development.

COA #15: Water Conservation. Applicant shall comply with the City's Water Conservation Ordinance and related State of California Water Efficient Landscape requirements. The landscape architect shall document and attest to the compliance with the new State ordinance on the final front yard landscape plans.

COA # 15: Front Yard Landscaping. Water conserving front yard landscaping that does not include turf shall be offered as standard for all homes.

COA #16: Ground nesting Raptor Survey. Pursuant to Mitigation Measure 4.5-3, thirty (30) days prior to commencement of grading or any site work, the applicant shall have prepared and submitted a survey for ground nesting raptors (e.g. northern harrier and burrowing owl). This survey shall be prepared by a qualified raptor biologist using appropriate protocol acceptable to responsible agencies. If survey nesting raptor species are found, then Mitigation Measures 4.5-3 (b-d) of the Spring Lake Specific Plan Mitigation Monitoring plan shall be followed. Survey results shall be valid only for the season when construction activity occurs.

COA #17: Residential Fencing. All wood fence footings and foundations shall be constructed of galvanized steel, reinforced concrete, or masonry. No treated wood materials in contact with the ground will be permitted. All wood fencing shall be stained with a water sealant to prevent water damage and staining. All required notes/details shall be provided on plans prior to the issuance of permits. Fencing shall comply with Section 2.9 of the Spring Lake Design Standards, including a 2 x 8 cap and 1 x 6 (or 1 x 8) cedar panels.

COA #18: Greenbelt Adjacent Fencing. All fencing adjacent to the greenbelt shall be enhanced materially and aesthetically. A combination of wood and wrought iron fencing is typical within Spring Lake adjacent to Greenbelts. All wood fencing shall be stained with a water sealant. Fence design shall be submitted for review and approval prior to the issuance of building permits.

COA # 19 Perimeter Fencing. The Spring Lake standard Perimeter fencing shall be provided on Pioneer Avenue and on the north side adjacent to lots 1, 17 and 18.

COA #20: Interconnecting Walks and Pathways. Interconnecting walks and pathways shall be a minimum of 25 feet wide and landscaped consistent with Section 6.9 of the SL Design Standards. Details of the path design shall be provided on landscape plans prior to the issuance of building permits.

COA #21: Construction Management Plan. Prior to issuance of any permit or inception of any construction activity on the site, the developer shall submit a construction impact management plan including a project development schedule and “good neighbor” information for review and approval by the Community Development Department. The plan shall include but is not limited to public notice requirements for periods of significant impacts (noise/vibration/street closures, tree removal, etc.), special street posting, construction vehicle parking plan, phone listing for community concerns, names of persons who can be contacted to correct problems, hours of construction activity, noise limits, dust control measures, and security fencing and temporary walkways.

COA #22: Trash and Recycling Container Storage. All future development shall meet the requirements for trash and recycling container storage as provided in Design Standard 2.8. Information shall be provided on plans prior to issuance of building permits.

COA #23: Construction Recycling. Prior to the commencement of construction on any project, the applicant shall ensure that the construction contractor has established construction recycling measures pursuant to the requirements of the Mitigation Monitoring Plan and all other City requirements. (MM 4.13-18)

COA #24: Energy Efficiency. All future development shall meet the requirements for energy efficiency consistent with Section 2.11 of the Spring Lake Design Standards including the requirement that

five (5) percent of all units shall have roof photovoltaic energy systems or other alternate energy systems.

COA #25: Impervious Surfacing. All homeowners shall be notified by the Owner/Developer that in accordance with Section 14A-1-3(11) impervious surfacing of the required front yard shall not exceed 40%

COA #26: Lot Coverage. The project shall comply with lot coverage requirements as specified in the City's Zoning Ordinance. A final fit list that provides setback and lot coverage information for each lot shall be provided. Lot coverage shall be clearly specified for each lot on the final site plan prior to issuance of building permits. The applicant shall provide disclosure to property owners of the maximum lot coverage allowed on the lot they have purchased.

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Review and approve the proposed conceptual residential designs for *Lennar Homes; Brookstone Subdivision at Spring Lake*.

RECOMMENDED ACTION:

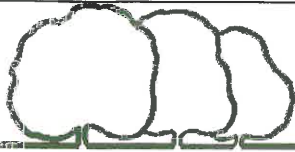
Staff recommends approval of the residential designs by making an affirmative motion as follows:

MOTION NO. 1: Move to APPROVE the residential design for *Lennar Homes: Brookstone Subdivision at Spring Lake*, as shown in the Plan Booklet, overall site exhibit (pre-plot layout), and color/materials boards, subject to the conditions of approval provided.

- Determine that the project as conditioned is consistent with the Spring Lake Specific Plan.
- Determine that the project as conditioned consistent with the Spring Lake Specific Plan Design Standards.
- Approve the conceptual residential designs for *Lennar Homes: Brookstone Subdivision at Spring Lake*

ATTACHMENTS:

1. Application and Justification Statement (Revised May 28, 2015)
2. Pre-plot Plan, Elevations, Floor Plans, Landscape Plans, Color Samples (Residential Design Booklet) Rev 5.28.15
3. Lot Coverage List
4. Courtyard, Porch and Garage Table
5. Pioneer Investors LLC, Heidrick Ranch Phase II Map and Conditions



City of Woodland

Community Development Department

300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER:

Lennar Homes of California, Inc.

MAILING ADDRESS:

1420 Rocky Ridge, #320

CITY STATE ZIP CODE:

Roseville, CA 95661

PHONE NUMBER:

916-746-8501

E-MAIL ADDRESS:

larry.gualco@lennar.com

PROJECT APPLICANT

Donald Barnett

MAILING ADDRESS:

1420 Rocky Ridge, #320

CITY STATE ZIP CODE:

Roseville, CA 95661

PHONE NUMBER:

916-746-8512

E-MAIL ADDRESS:

don.barnett@lennar.com

2. Application Requested

☐

General Plan Petition

☐

Zoning Amendment

☐

General Plan Amendment

☐

Tentative Subdivision Map

☐

Tentative Parcel Map

☐

Lot Line Adjustment

☐

Site Plan Review

☒

Design Review

☐

Sign Design Review

☐

Conditional Use Permit (CUP)

☐

Zoning Administrator Permit

☐

Variance

☐

Public Convenience or Necessity

☐

Other

Is this request part of another application? ☐ Yes ☒ No

If so, what?

3. Project Description

Project Name:

Heidrick Ranch 2 & 3

Total Acres or Square Feet

21.6

Site address or location:

Subdivision 4986

Assessor's Parcel Number:

042-580-003-000

Is Your Project Located in a Flood Zone?

☐

Yes

☒

No

Does this request include signage?

☐

Yes

☒

No

4. Justification for Request



On a separate sheet, explain in detail your request and why you believe your request is justified.

PLNG15-00021

Monique Reynolds
monique.reynolds@lennar.com
(916) 746-8535

5. General Plan Amendment

Existing General Plan Designation	Gross Acres	Proposed General Plan Designation	Gross Acres
_____	_____	_____	_____

6. Zoning Amendment

Existing Land Use Zone	Gross Acres	Proposed Land Use Zone	Gross Acres
_____	_____	_____	_____

7. Residential Development

No. of residential units are being requested? 99 _____

Single Family ☒ _____ Half-plex _____

Duplex _____ Apartments _____

Condominiums _____ Other _____

Townhomes _____ Total Units _____

No. of lots will be created by this project? _____

Do you intend to market the units for sale?

☒ YES ☐ No

Do you intend to market the units for rent?

☐ YES ☒ No

8. Commercial/Industrial Development

Indicate the type of commercial/industrial development proposed:

Indicate the gross and leasable square footage for each type of development:

9. Authority to File Application

Check one:

☒ Property Ownership ☐ Power of Attorney*

☐ Contract to Purchase* ☐ Other

Specify _____

* Attach Evidence of Authority

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

APPLICATION WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Donald Barnett

Applicant:

Date

Lennar Homes of CA

Legal Owner:

Date

Legal Owner:

Date



DEPARTMENT USE ONLY

Amount Paid: _____

Project No: _____

Amount Due: _____

Logged by: _____ Date: _____

GP / Zoning Designation: _____

Planner: _____ Date: _____

PLNG-15-00021

Statement of Justification Brookstone at Spring Lake

Update- Lennar Homes has worked with Staff and the Planning Commission Design Liaison to provide significant enhancements to the home elevations and changes to some of the floor plans. The enhancements include the addition of a new Farmhouse elevation with lap siding, shutters and brick accents. The enhancements to the other elevations include revised columns and shutters, more siding, porch rails and gates, and additional windows.

Lennar Homes is proud to present home plans for our new community in Woodland, Brookstone at Spring Lake. Lennar Homes is approaching build out of our high successful community in Woodland know as Camellia at Spring Lake. Like Camellia, Brookstone will incorporate a variety of home plans, and elevation styles including the innovative "Next Gen" home..

The Brookstone community includes 99 homes. There are six distinct floor plans ranging in size from 1,827 sq. ft. to 3,512 sq. ft. There are four architectural elevation styles including "Mission", "Prairie", "European County" and "Craftsman". With this many floor plans and elevations, the streetscape will be diverse and attractive. Although the Spring Lake Specific Plan requires four floor plans, we are exceeding this requirement by adding two additional home plans. Each of the plans has a different front orientation to provide a mixture of facades and massing. Several plans have front porches, several plans have front courtyards and one plan has a internal courtyard. Four of the plans are one-story homes and the other two plans are two-story homes and this mix will create variety and interest along the street and avoid a wall of two-story homes along the street.

The architectural elevation styles have been chosen to be diverse but compatible so that the neighborhood is unique and cohesive. Diversity in materials such as shutters, siding, rock accents, window styles, garage doors and roof tiles will create an interesting streetscape. In addition, a variety in the articulation and massing of the fronts and roofs of the one-story and two story homes will provide richness and scale at a street level.

There are a variety of front entry and garage treatments including front porches, front courtyards, side load garages, tandem garages and one, three car front loaded garage. Together, all of these treatments provide variety and options for a diverse group of homeowners including families, seniors, first time homebuyers and move down buyers.

Brookstone at Spring Lake will include a "Next Gen" home, the home within a home, designed to meet the needs of the changing demographics. This home is perfect for a family with situations that we are face such as a grandmother moving in, a returning college student or home office. Lennar Homes

experienced overwhelming positive reviews and results for the “Next Gen” homes at Camellia and we are excited to offer another version of the “Next Gen” home at Brookstone.

LENNAR HOMES - BROOKSTONE AT SPRING LAKE
DESIGN REVIEW SUBMITTAL HANDBOOK

LENNAR®

1420 Rocky Ridge Dr.
Suite 320
Roseville, CA 95661

TABLE OF CONTENTS

SHEET DESCRIPTION	PAGE #		
Conceptual Street Scene		Plan 4 (2494) - Floor Plan	Page 21
Pre-plot Exhibit	Page 1 of 1	Plan 4 (2494) - Enhanced Front Elevation	Page 22.1
Setback Exhibit	Page 1 of 2	Plan 4 (2494) - Front Elevation	Page 22.2
Setback Exhibit	Page 2 of 2	Plan 4 (2494) - Elevation 'A' Roof, Sides and Rear Elevations	Page 23
		Plan 4 (2494) - Elevation 'B' Roof, Sides and Rear Elevations	Page 24
Architectural Styles	Page 2	Plan 4 (2494) - Elevation 'D' Roof, Sides and Rear Elevations	Page 25
Plan 1 (1827) - Floor Plan	Page 3		
Plan 1 (1827) - Enhanced Front Elevations	Page 4.1	Plan 5 (2700) - Floor Plan	Page 26
Plan 1 (1827) - Front Elevations	Page 4.2	Plan 5 (2700) - Enhanced Front Elevation	Page 27.1
Plan 1 (1827) - Elevation 'A' Roof, Sides and Rear Elevations	Page 5	Plan 5 (2700) - Front Elevation	Page 27.2
Plan 1 (1827) - Elevation 'B' Roof, Sides and Rear Elevations	Page 6	Plan 5 (2700) - Elevation 'A' Roof, Sides and Rear Elevations	Page 28
Plan 1 (1827) - Elevation 'D' Roof, Sides and Rear Elevations	Page 7	Plan 5 (2700) - Elevation 'B' Roof, Sides and Rear Elevations	Page 29
		Plan 5 (2700) - Elevation 'D' Roof, Sides and Rear Elevations	Page 30
Plan 2 (1950) - Floor Plan	Page 8		
Plan 2 (1950) - Enhanced Front Elevation	Page 9.1	Plan 6 (3512) - Floor Plan	Page 31
Plan 2 (1950) - Front Elevation	Page 9.2	Plan 6 (3512) - Enhanced Front Elevation	Page 32.1
Plan 2 (1950) - Elevation 'A' Roof, Sides and Rear Elevations	Page 10	Plan 6 (3512) - Front Elevation	Page 32.2
Plan 2 (1950) - Elevation 'A' Roof, Sides and Rear Elevations	Page 11	Plan 6 (3512) - Elevation 'A' Roof, Sides and Rear Elevations	Page 33
Plan 2 (1950) - Elevation 'B' Roof, Sides and Rear Elevations	Page 12	Plan 6 (3512) - Elevation 'B' Roof, Sides and Rear Elevations	Page 34
Plan 2 (1950) - Elevation 'B' Roof, Sides and Rear Elevations	Page 13	Plan 6 (3512) - Elevation 'C' Roof, Sides and Rear Elevations	Page 35
Plan 2 (1950) - Elevation 'B' Roof, Sides and Rear Elevations	Page 14		
Plan 2 (1950) - Elevation 'B' Roof, Sides and Rear Elevations	Page 15	Color Scheme Mission	Page 36
		Color Scheme Prairie	Page 37
Plan 3 (2361) - Floor Plan	Page 16	Color Scheme Europene County	Page 38
Plan 3 (2361) - Enhanced Front Elevation	Page 17.1	Color Scheme Craftsman	Page 39
Plan 3 (2361) - Front Elevation	Page 17.2	Color Scheme Paint Matrix	Page 40
Plan 3 (2361) - Elevation 'A' Roof, Sides and Rear Elevations	Page 18		
Plan 3 (2361) - Elevation 'C' Roof, Sides and Rear Elevations	Page 19	Landscape Exhibits	L-1.1 thru L-1.3
Plan 3 (2361) - Elevation 'D' Roof, Sides and Rear Elevations	Page 20	Landscape Typical Layout	L-2.1
		Concrete Finishes	L-3.1
		Solar Exhibit	PV-X2



1A
MISSION
COLOR SCHEME 1

2B
PRAIRIE
COLOR SCHEME 5

3C
EUROPEAN COUNTRY
COLOR SCHEME 7

4D
CRAFTSMAN
COLOR SCHEME 12

5A
MISSION
COLOR SCHEME 2

6B
PRAIRIE
COLOR SCHEME 4

CONCEPTUAL STREET SCENE
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

LENNAR
Job #: 15015
Date: 04/29/2015

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0 4 8 16 SCALE: 1/8" = 1'-0"

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ARCHITECT
INC.
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PLAN 2700 13 EA.	PLAN 3512 16 EA.	PLAN 1950 19 EA.	PLAN 1827 18 EA.	PLAN 2361 23 EA.	PLAN 2494 10 EA.

TYPICAL SET BACK ENVELOPE DIMENSIONS:
 FRONT HOUSE / GARAGE: 15' / 22'
 SIDES INTERIOR / STREET: 5' / 10'
 REAR: 20' (30% OF LOTS ARE ALLOWED TO HAVE REAR SETBACKS REDUCED TO 15')

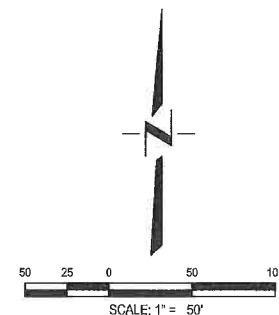
*DENOTES LOT ADHERING TO 15' MIN. REAR SETBACK (16% OF TOTAL)

ELEVATIONS:

- A MISSION
- B PRAIRIE
- C EUROPEAN COUNTRY
- D CRAFTSMAN
- E FARMHOUSE

22' SETBACK
LINE (TYP)

BUILDING ENVELOPE
(TYP)



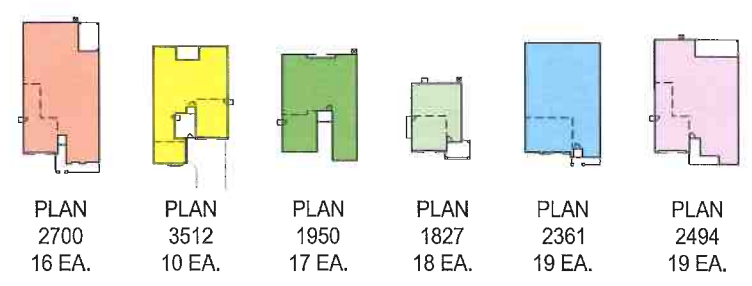
HEIDRICK RANCH PRE - PLOT PLAN EXHIBIT

CECWEST.COM
 Project Planning & Civil Engineering & Landscape Architecture
 a Davis Office
 2940 Spafford Street, Suite 200
 Davis, CA 95618
 (916) 455-2028



DESIGNED BY	AB
DRAWN BY	LE
CHECKED BY	SG
SCALE	AS SHOWN

SHEET	1
OF	1
DATE:	05/27/15
JOB NO:	1335-05



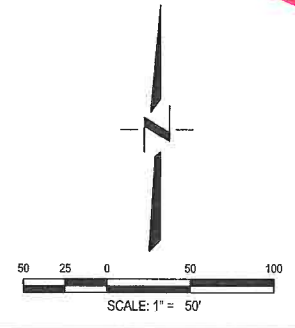
TYPICAL SET BACK ENVELOPE DIMENSIONS:
 FRONT HOUSE / GARAGE: 15' / 22'
 SIDES INTERIOR / STREET: 5' / 10'
 REAR: 20' (30% OF LOTS ARE ALLOWED TO HAVE REAR SETBACKS REDUCED TO 15')

*DENOTES LOT ADHERING TO 15' MIN. REAR SETBACK (16% OF TOTAL)

- ELEVATIONS:
- A MISSION
 - B PRAIRIE
 - C EUROPEAN COUNTRY
 - D CRAFTSMAN

22' SETBACK LINE (TYP)

BUILDING ENVELOPE (TYP)



**HEIDRICK RANCH
 PRE - PLOT PLAN EXHIBIT**

DESIGNED BY: AB		CECWEST.COM Project Planning & Civil Engineering & Landscape Architecture Davis Office 2940 Spafford Street, Suite 200 Davis, CA 95618 (530) 759-2026	SCALE AS SHOWN
DRAWN BY: LE			
CHECKED BY: SG			
NO.	DATE	REVISIONS	BY
Project Planning & Civil Engineering & Landscape Architecture Sacramento Office 2120 10th Street, Suite 300 Sacramento, CA 95818 (916) 455-2026			
		CALIFORNIA WOODLAND	
SHEET 1 OF 1		DATE: 04/29/15 JOB NO: 1335-05	



MISSION

Drawing inspiration from the late 18th and early 19th century Spanish missions in California, the Mission Style design elements consist of recessed windows and doors in a stucco wall plane with arched soffits, plank type shutters, with clay pipe detailing in the gables and red “S” tile roofs in a combination of gable and hip roofs.



PRAIRIE

Intended to mimic the horizon of the prairie. Prairie style homes are said to be the first “original American” architectural style. It’s noticeable characteristics include strong horizontal lines and clean design elements. The use of simulated ledgerstone and horizontal banding have been incorporated in the plans to emphasize the style along with louver type shutters and flat slate tile hip roofs.



EUROPEAN COUNTRY

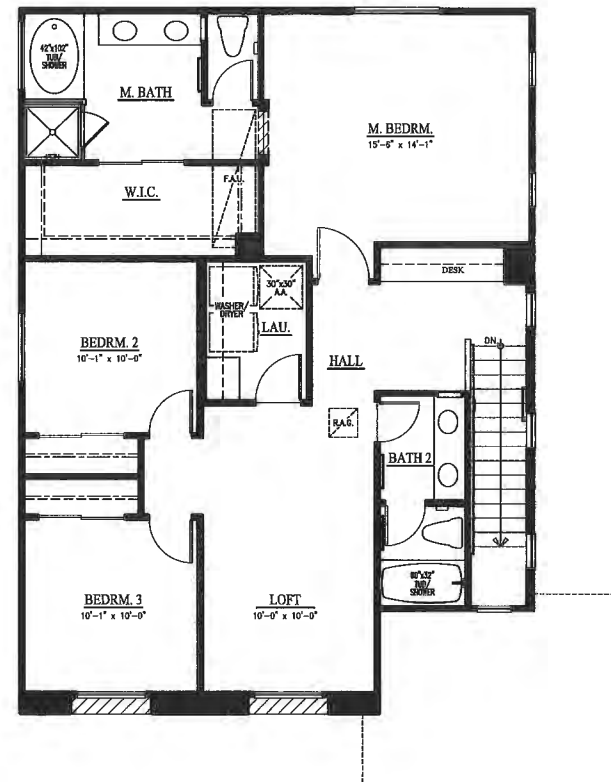
Developed in the rural countryside of Europe, European Country homes offer rustic warmth and a comfortable design combining both modest farmhouse elements with estate-like chateau features. The style primarily exhibits tall - thin windows, often with shutters, steep roof pitches, and multiple gables. Stucco and stone are commonly used as wall finish materials.



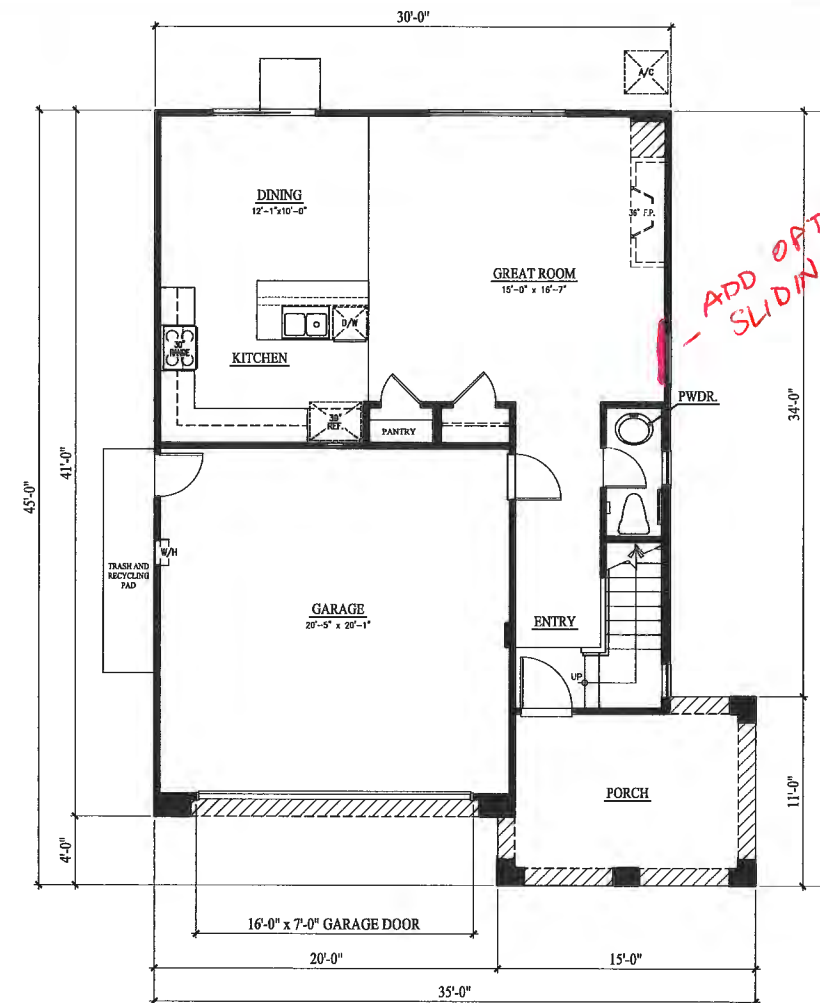
CRAFTSMAN

Influenced by the English Arts and Crafts movement which celebrated handicrafts and encouraged the use of simple forms, the Craftsman style home is informal and efficient. The exteriors often emphasize the use of a combination of natural materials such as wood and stone, a gabled roof often hipped with exposed roof rafters, lap siding accents and a covered porch.

BROOKSTONE AT SPRING LAKE – ARCHITECTURAL STYLES



SECOND FLOOR PLAN



FIRST FLOOR PLAN

AREA TABULATION	
<u>CONDITIONED SPACE</u>	
FIRST FLOOR AREA	730 SQ. FT.
SECOND FLOOR AREA	1097 SQ. FT.
TOTAL DWELLING	1827 SQ. FT.
<u>UNCONDITIONED SPACE</u>	
GARAGE	424 SQ. FT.
PORCH	149 SQ. FT.

PLAN 1A (1827)
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

LENNAR®

Job #: 15015
Date: 04/29/2015

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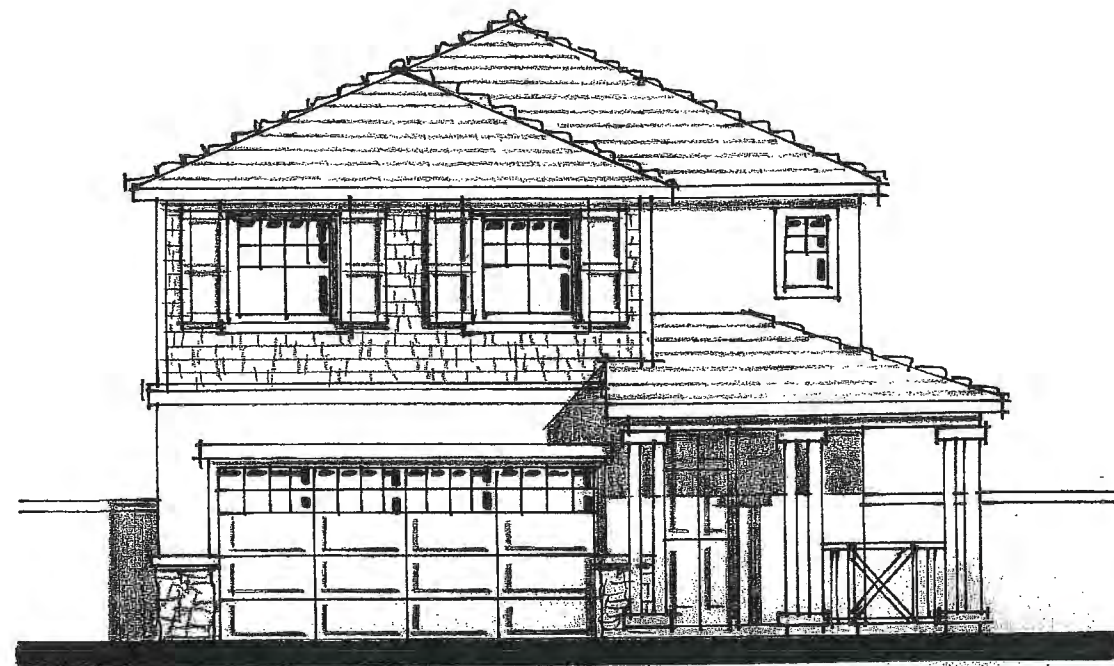
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1/4" = 1'-0" U.N.O. 0 2 4 8 12

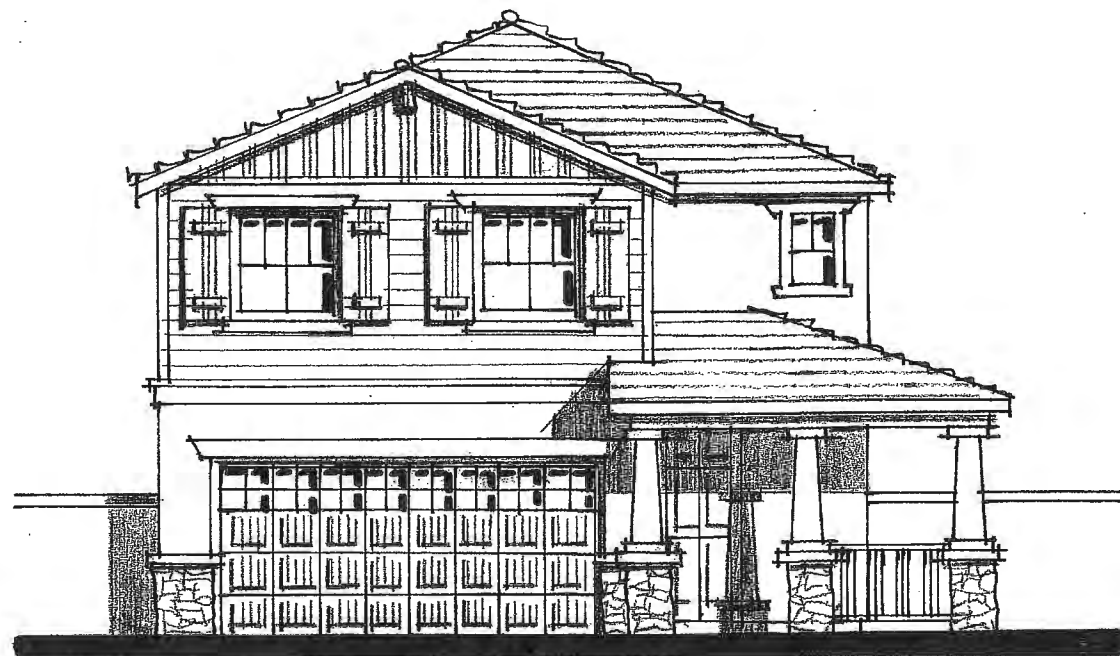
klarch.com



MISSION A



PRAIRIE B



CRISPMAN D

PLAN 1

BROOKSTONE AT SPRING LAKE

1505

5-26-15

LENNAR



1A
MISSION

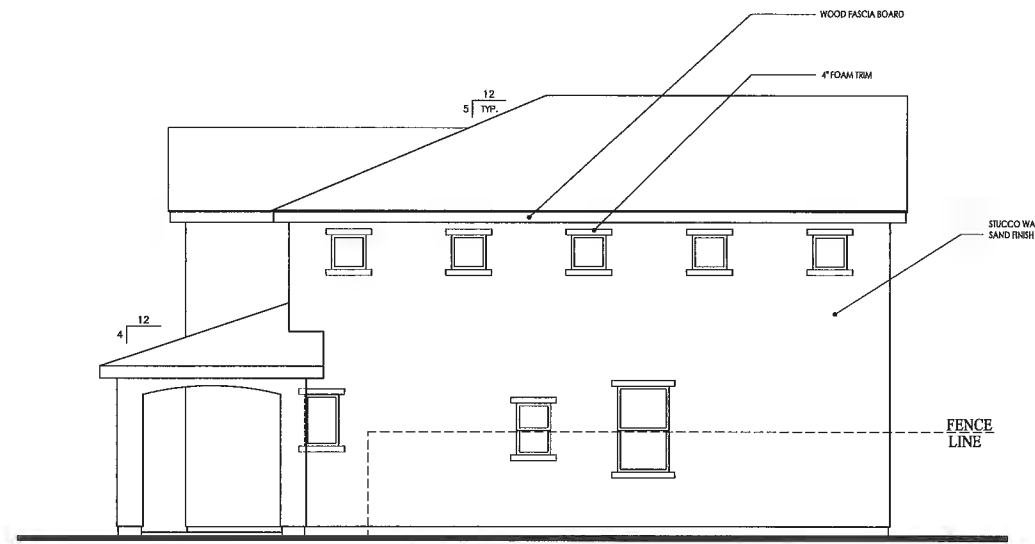


1B
PRAIRIE

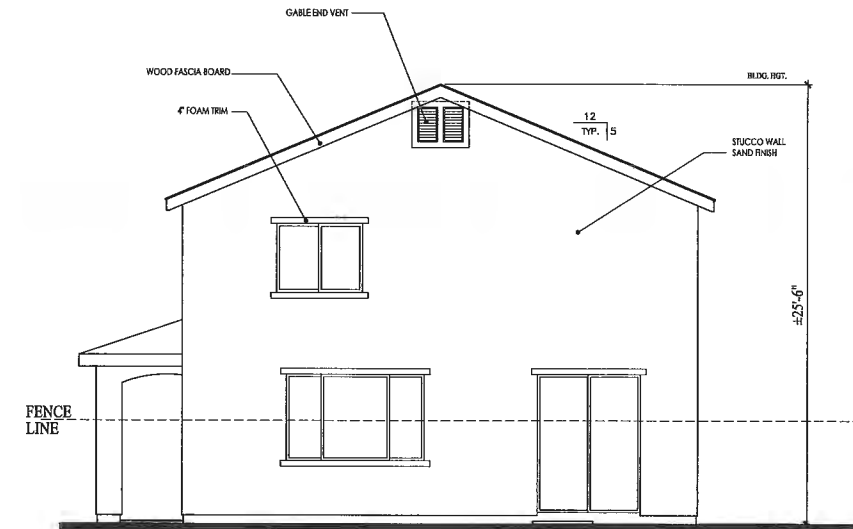


1D
CRAFTSMAN

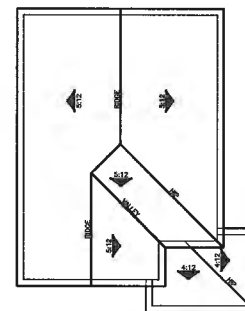
FRONT ELEVATIONS
PLAN 1 (1827)
BROOKSTONE AT SPRING LAKE
City of Woodland, CA



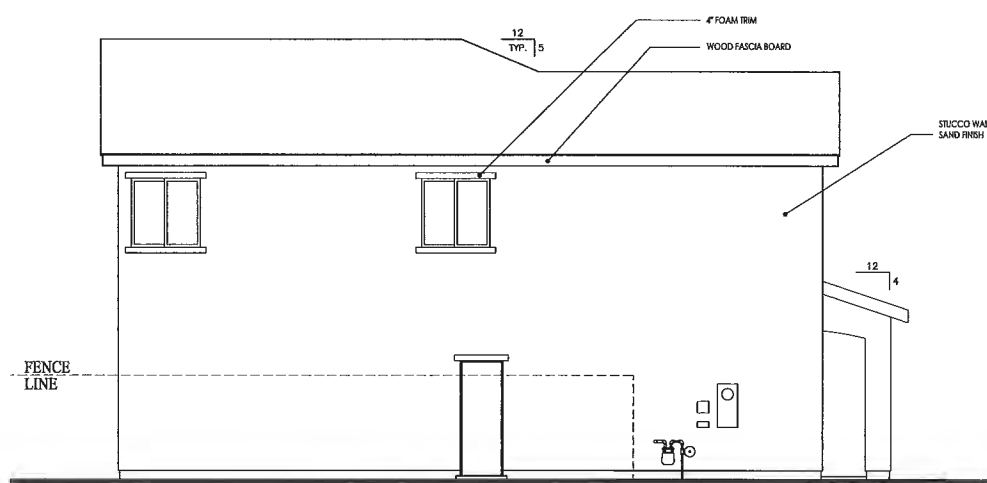
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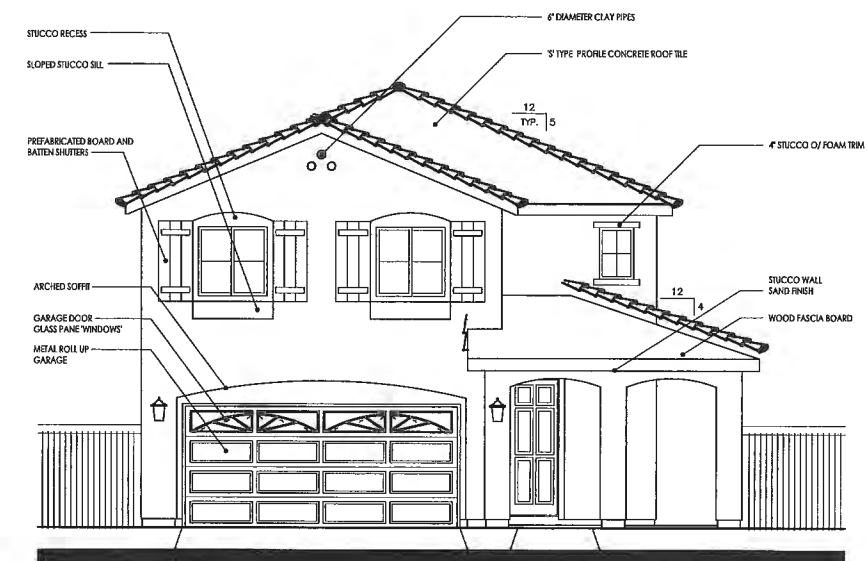
REAR ELEVATION
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ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 1A - MISSION **BROOKSTONE AT SPRING LAKE** City of Woodland, CA

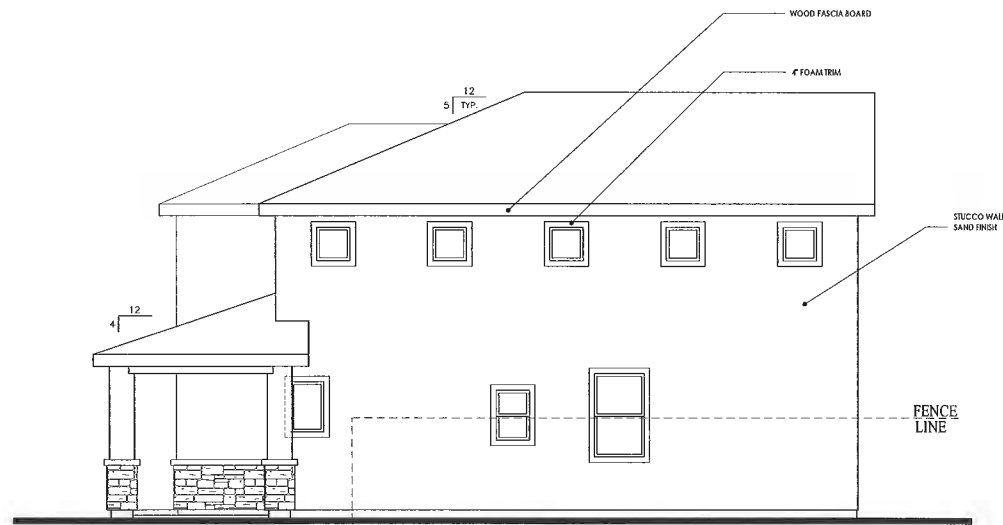
LENNAR

Job #: 15015
Date: 04/29/2015

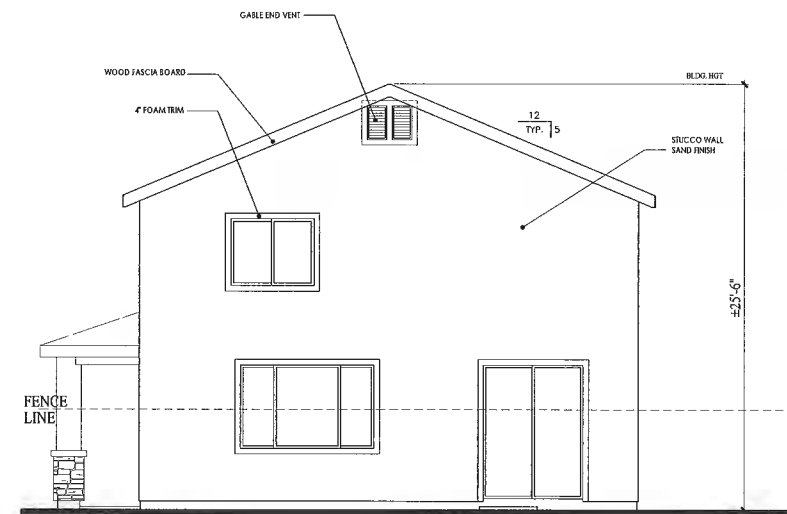
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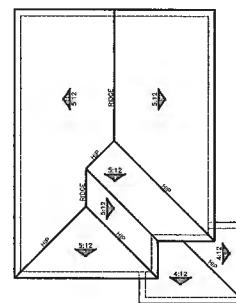
Sheet 1 of 3



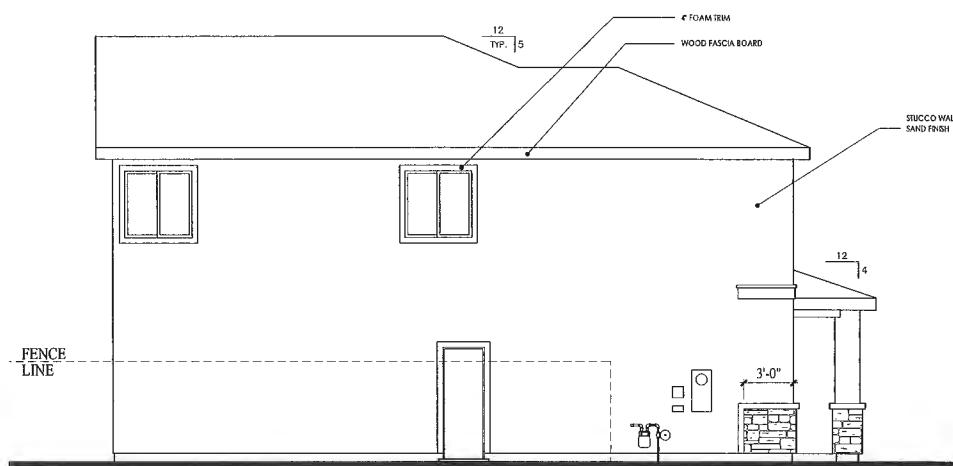
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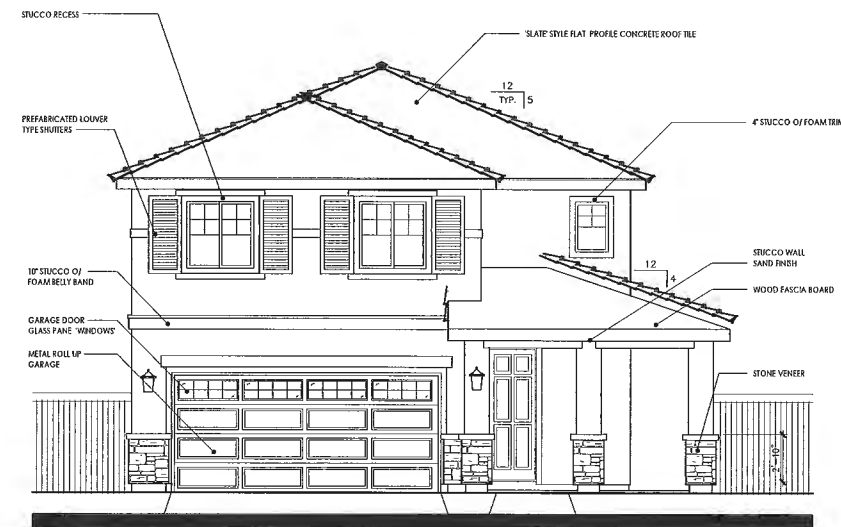
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ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

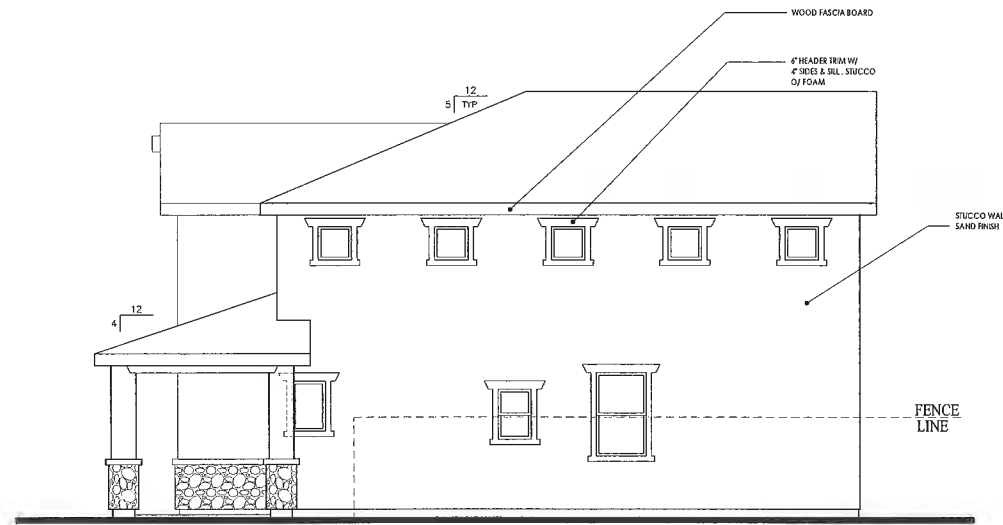


FRONT ELEVATION
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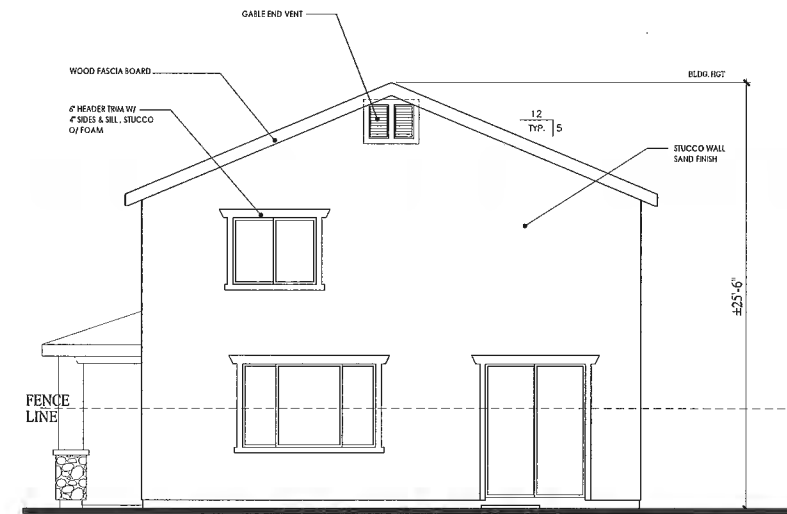
PLAN 1B - PRAIRIE
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

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ARCHITECT
INC.

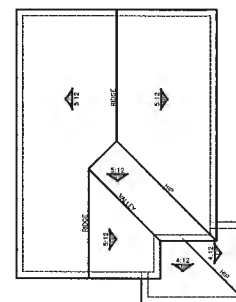
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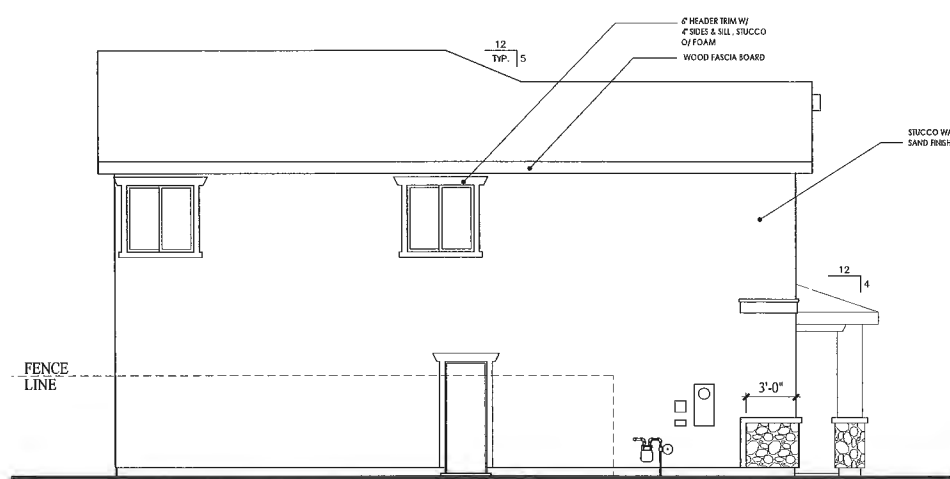
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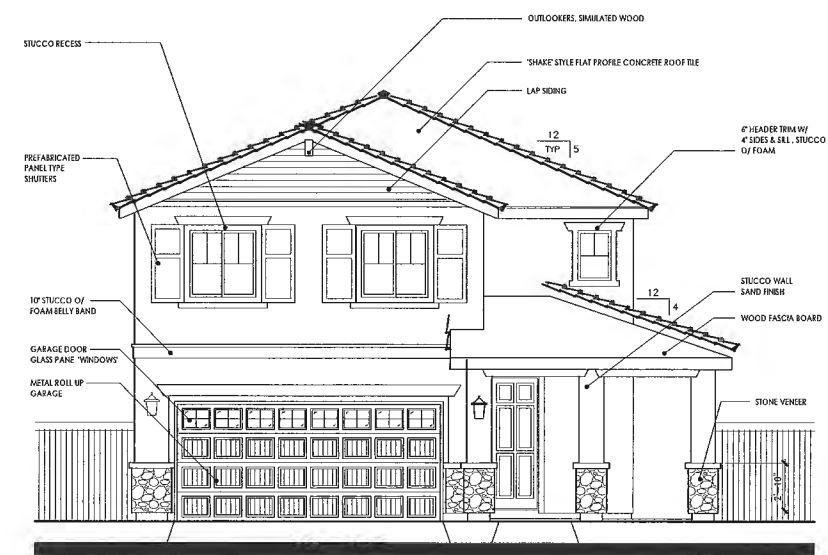
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ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 1D - CRAFTSMAN
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

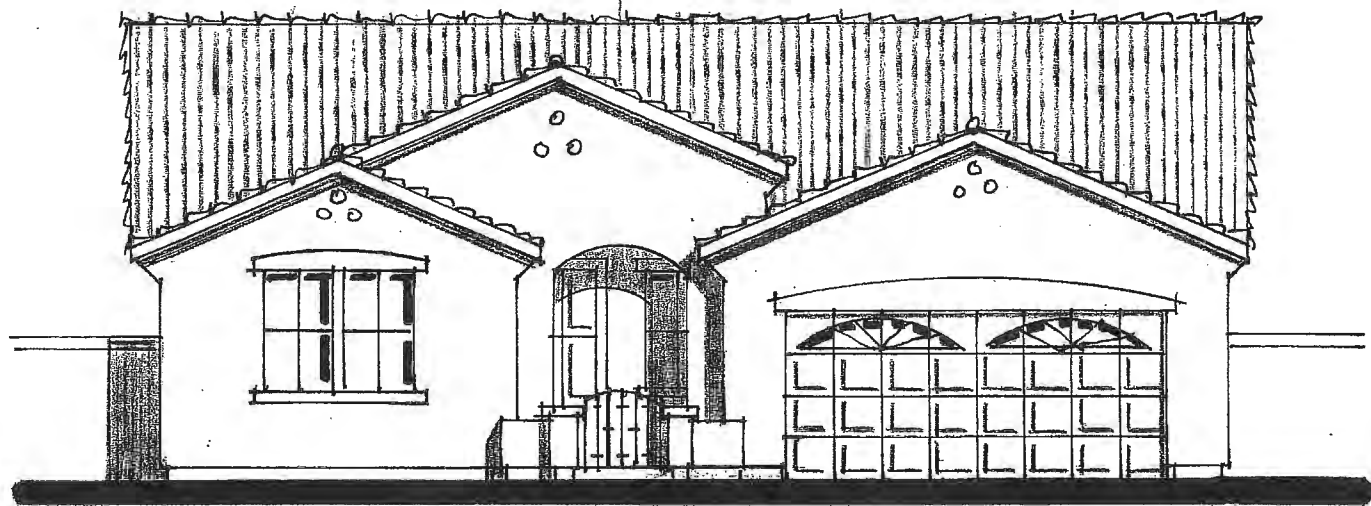
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INC.

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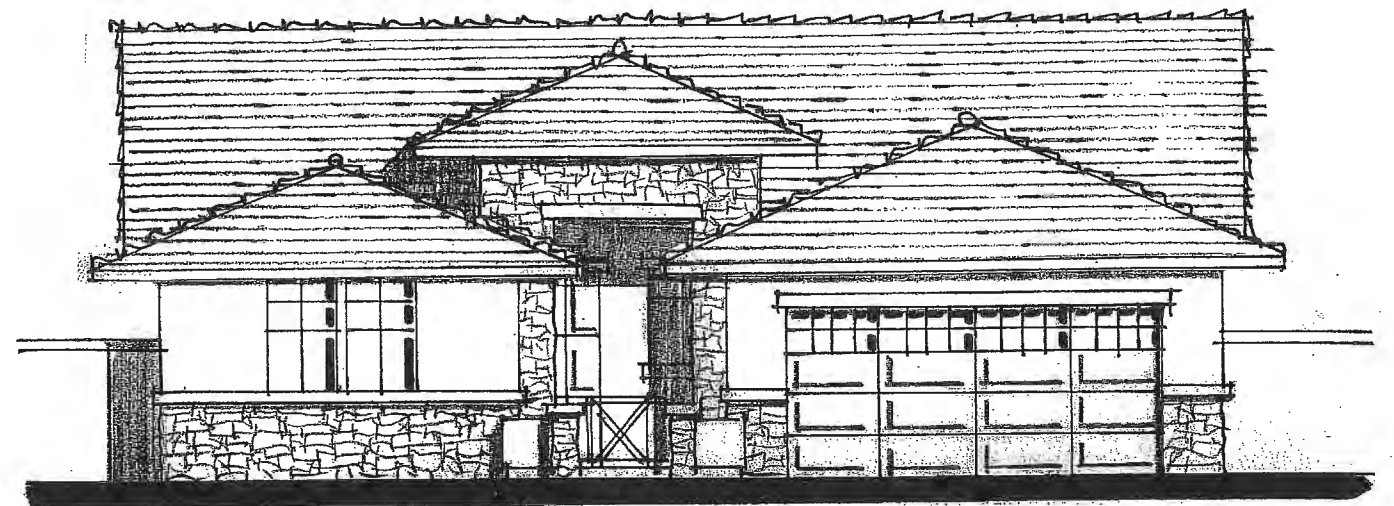


<u>AREA TABULATION</u>	
DWELLING	1,950 SF
GARAGE	479 SF
FRONT COVERED PORCH	60 SF
REAR COVERED PATIO	32 SF
OPTIONAL COVERED PATIO	285 SF

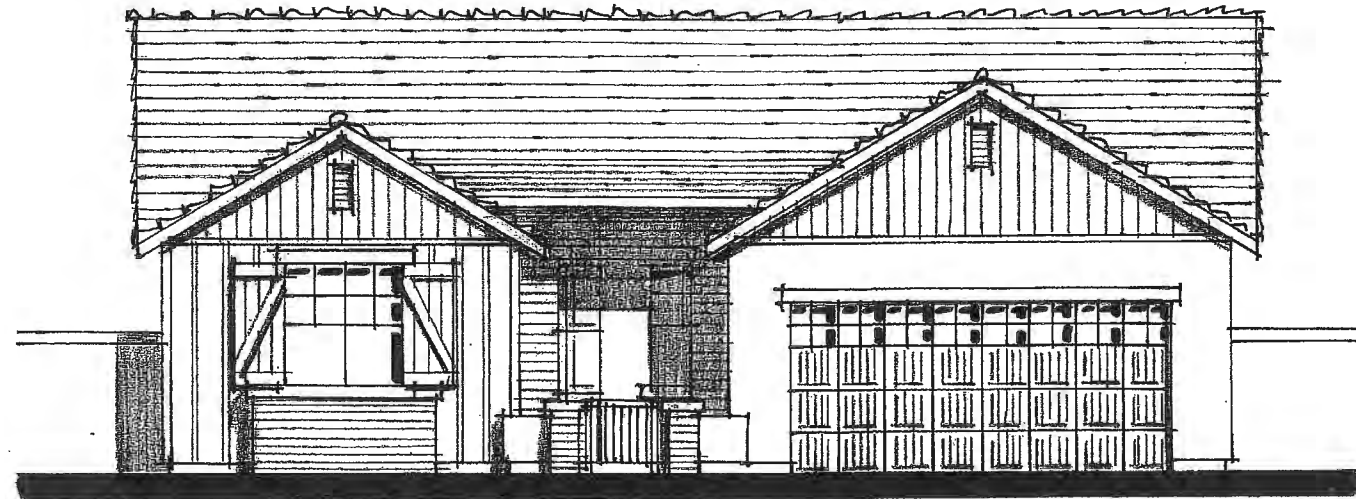




MISSION A



EUROPEAN COUNTRY C



FARMHOUSE E

PLAN 2

BROOKSTONE AT SPRING LAKE

1.50.15

5.26.15

LENNAR



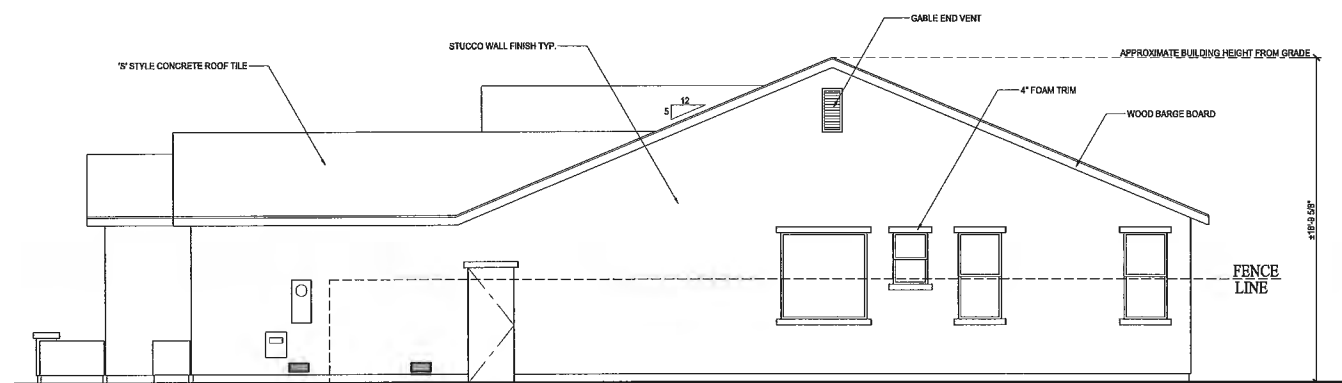
PLAN 2A MISSION
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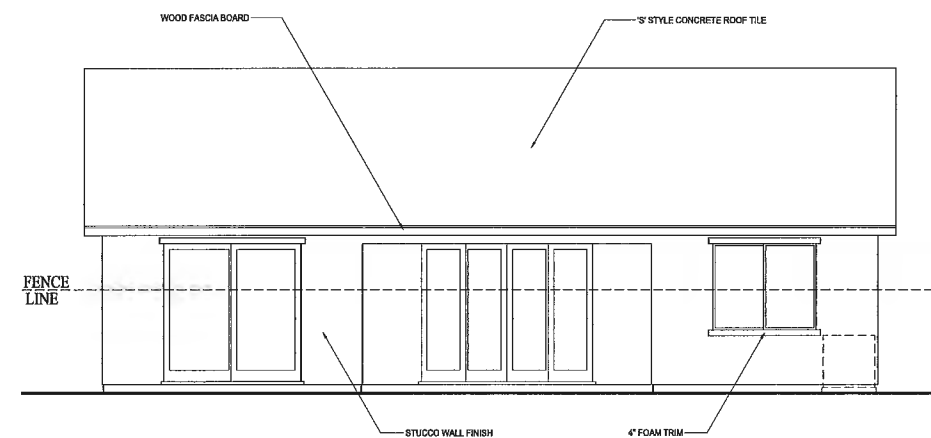
PLAN 2B ~~PRairie~~ RE-ELEVATED
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2C EUROPEAN COUNTRY



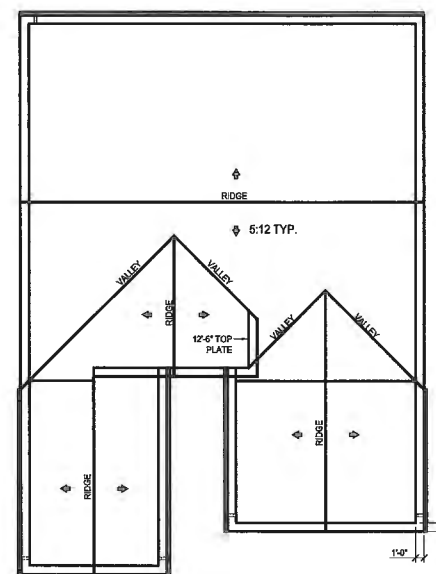
PLAN 2C ~~EUROPEAN~~ RE-ELEVATED
COUNTRY 2E FARMHOUSE
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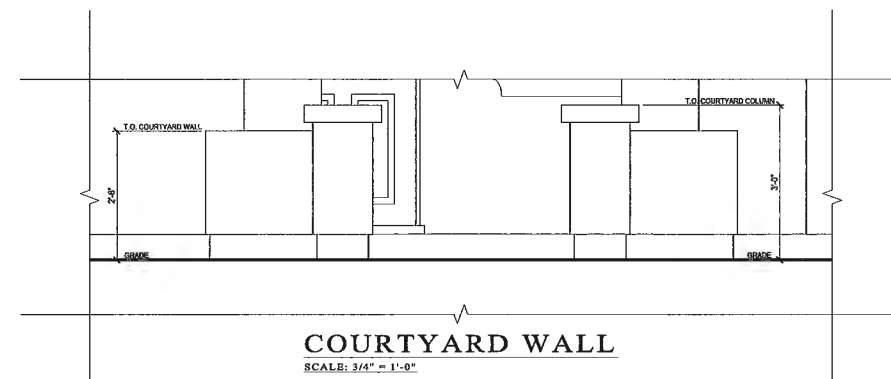
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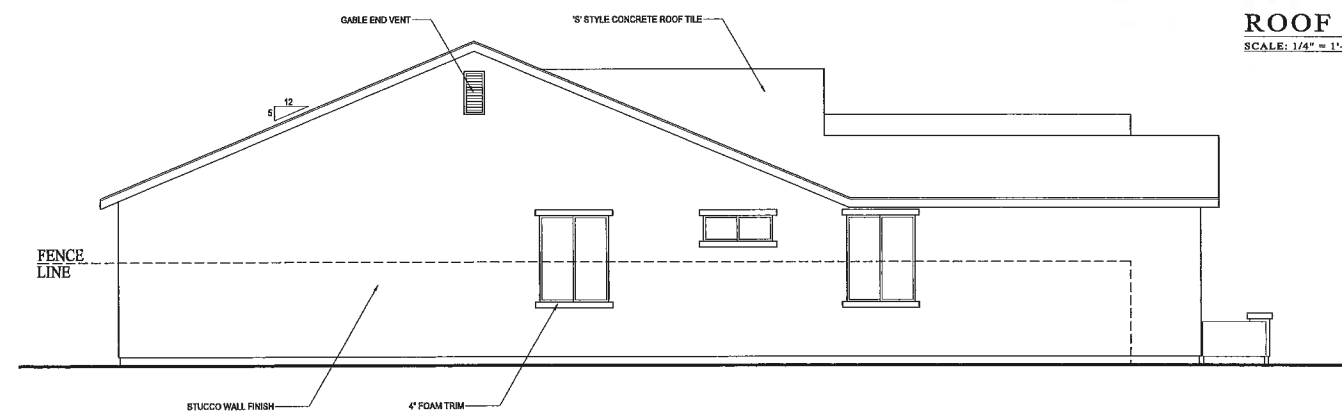
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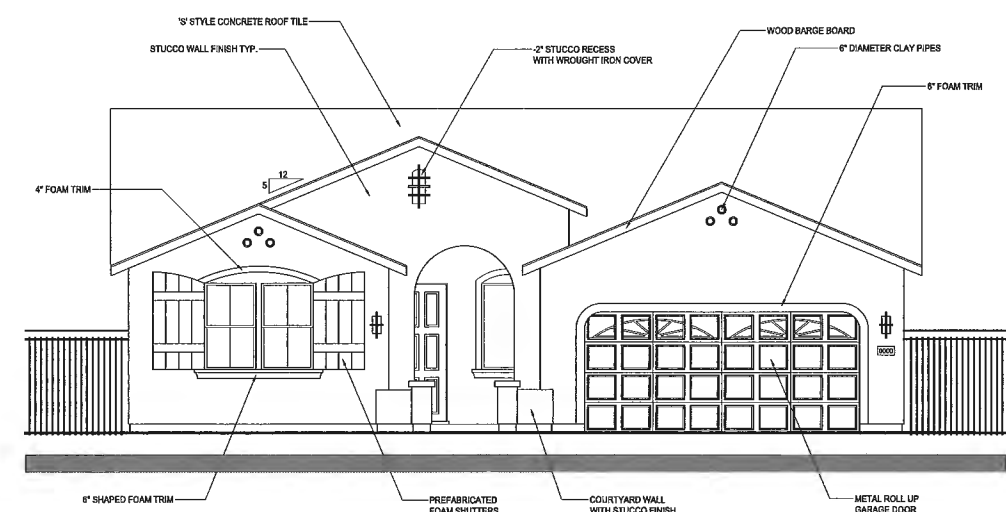
ROOF PLAN
SCALE: 1/4" = 1'-0"



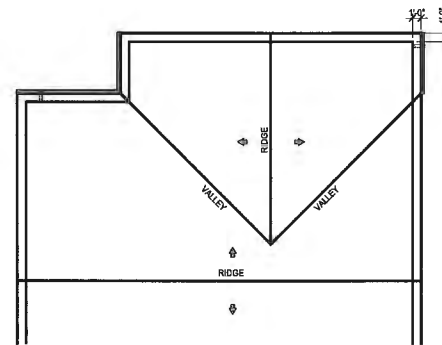
COURTYARD WALL
SCALE: 3/4" = 1'-0"



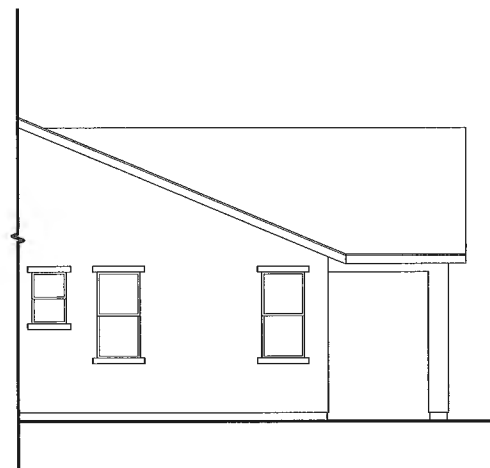
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



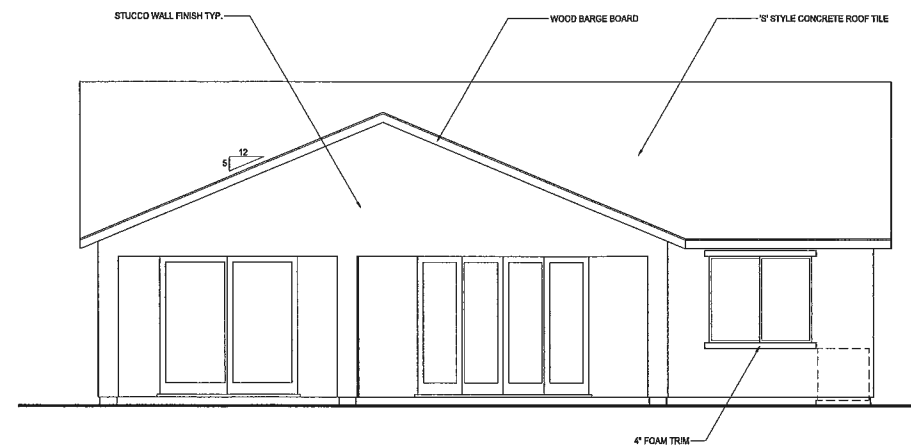
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



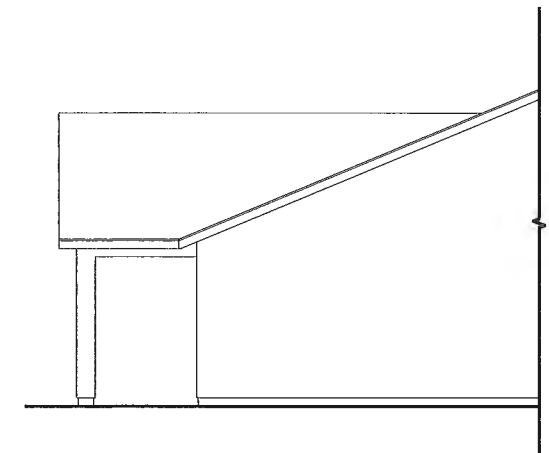
ROOF PLAN
SCALE: 1/4" = 1'-0"



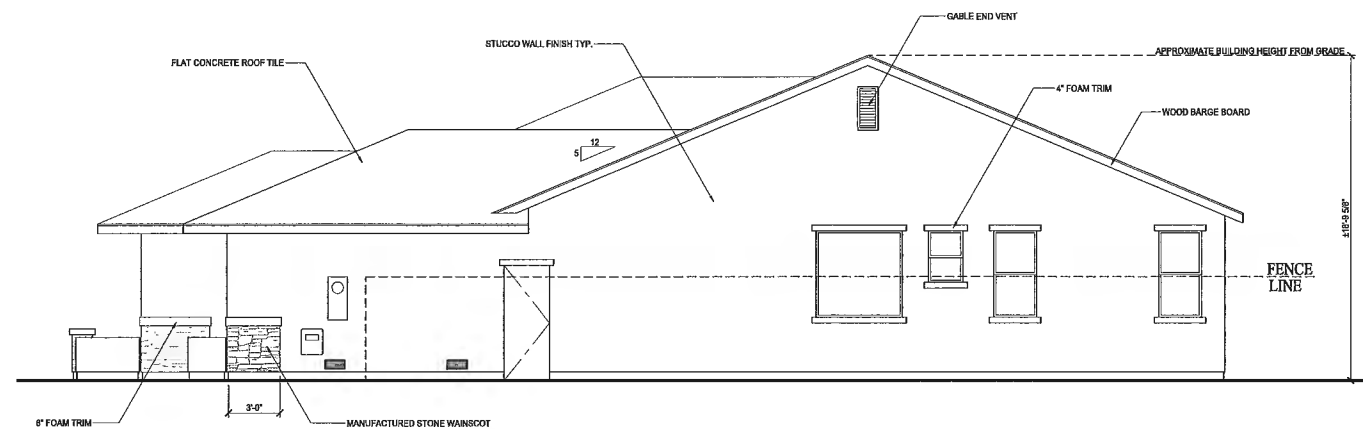
**LEFT ELEVATION @ COVERED
PATIO OPTION**
SCALE: 1/4" = 1'-0"



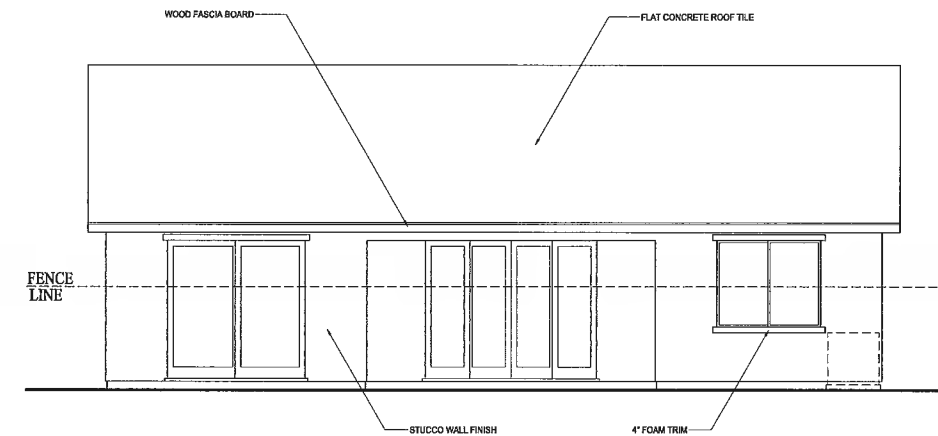
**REAR ELEVATION @ COVERED
PATIO OPTION**
SCALE: 1/4" = 1'-0"



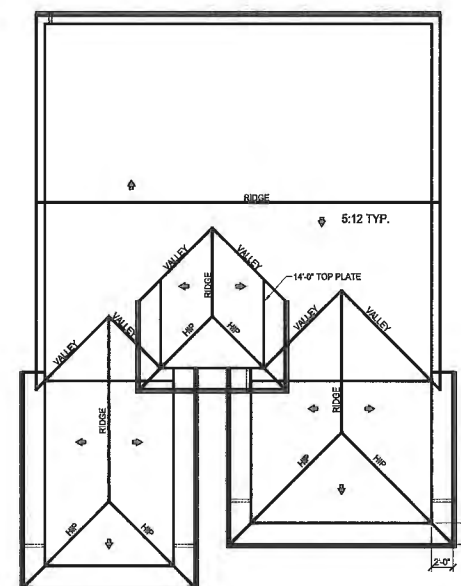
**LEFT ELEVATION @ COVERED
PATIO OPTION**
SCALE: 1/4" = 1'-0"



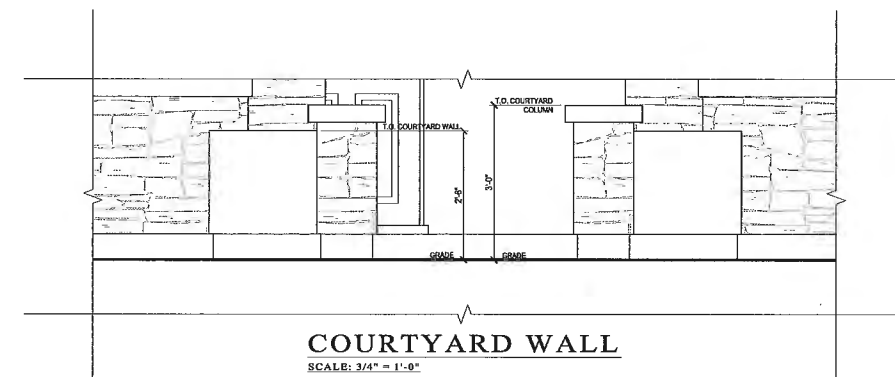
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



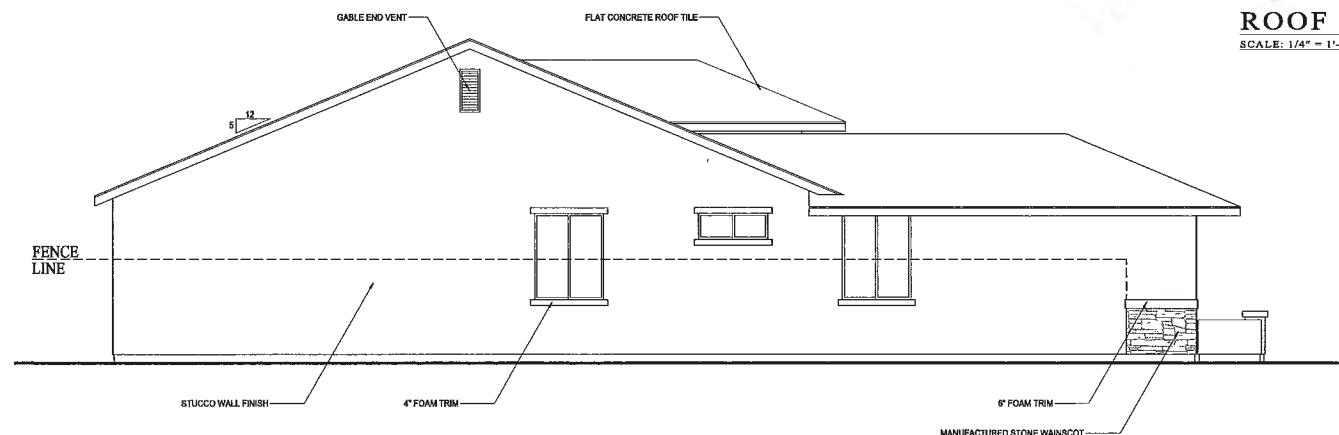
REAR ELEVATION
SCALE: 1/4" = 1'-0"



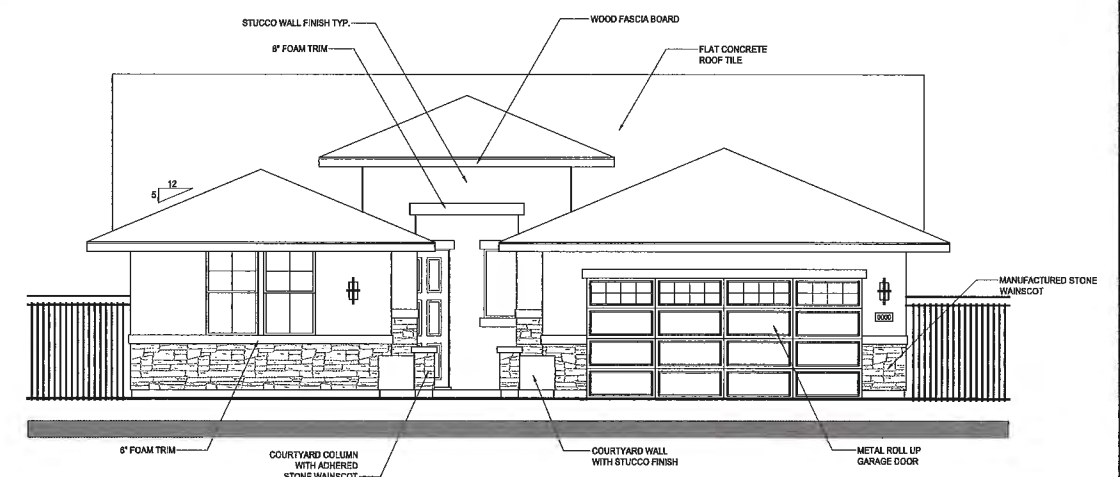
ROOF PLAN
SCALE: 1/4" = 1'-0"



COURTYARD WALL
SCALE: 3/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

RE-ELEVATED
2C EUROPEAN COUNTRY

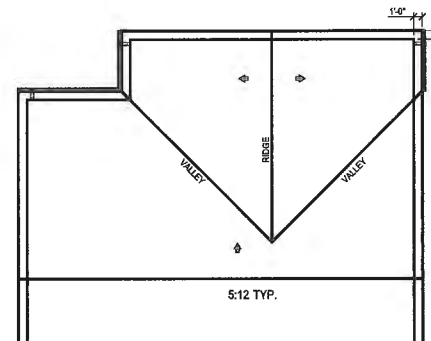
LENNAR

Date: 04/29/2015

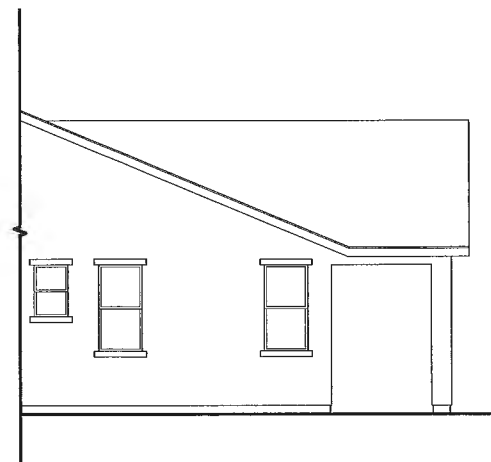
PLAN 2B - PRAIRIE 2C EUROPEAN COUNTRY
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

CHRIS HEINRITZ
ARCHITECTURE

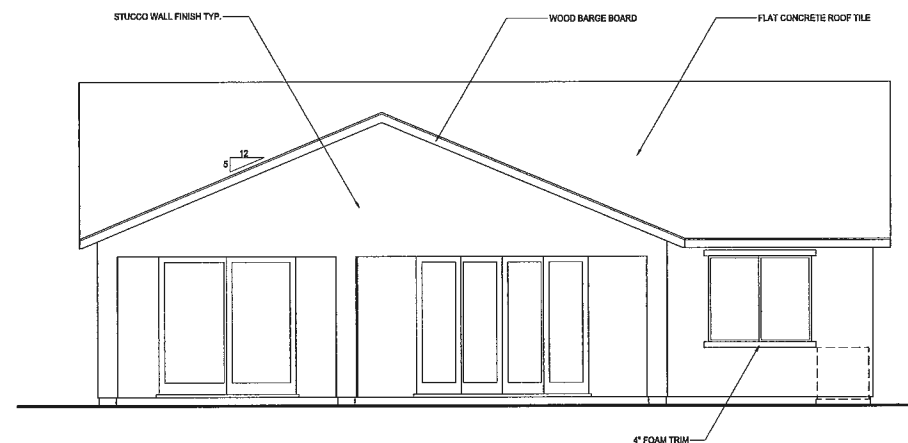
1/4" = 1'-0" U.N.O. 0 2 4 8 12



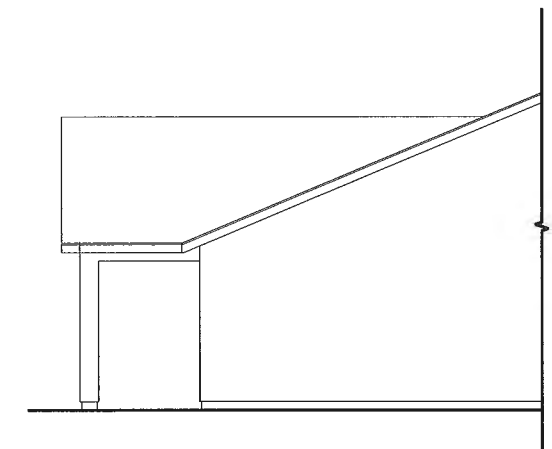
ROOF PLAN
SCALE: 1/4" = 1'-0"



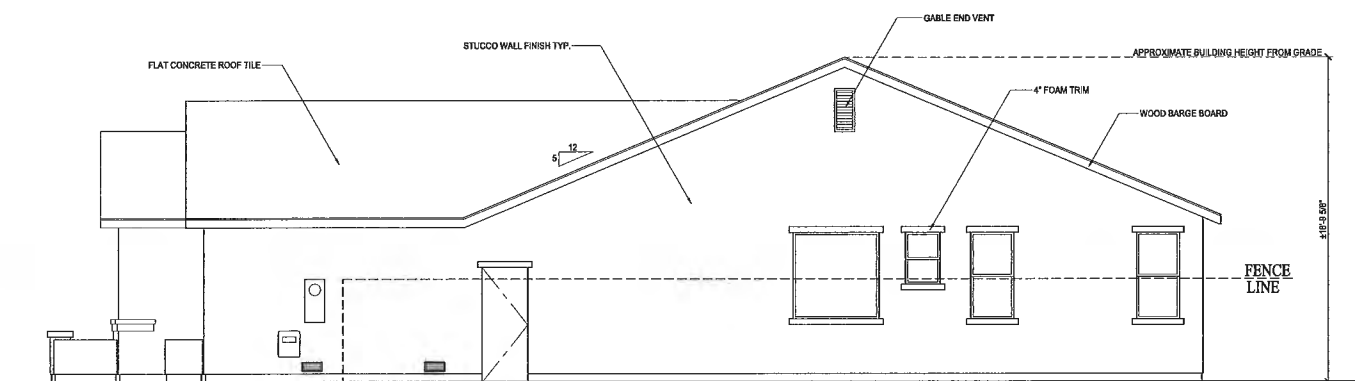
LEFT ELEVATION @ COVERED PATIO OPTION
SCALE: 1/4" = 1'-0"



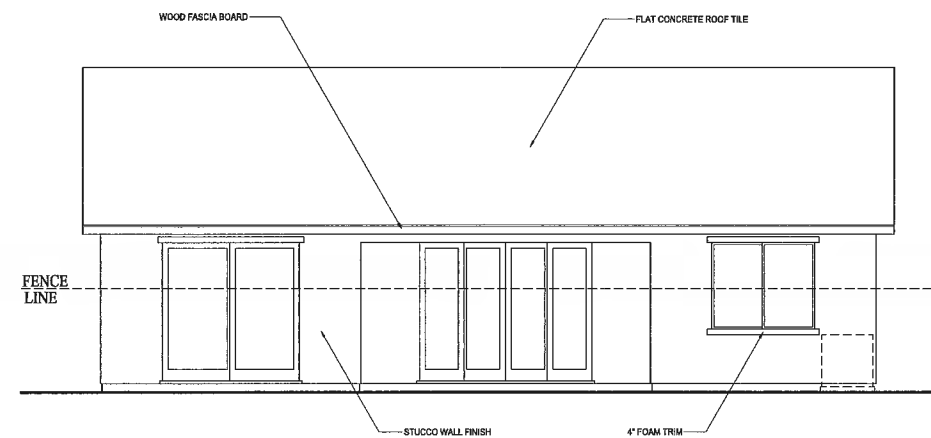
REAR ELEVATION @ COVERED PATIO OPTION
SCALE: 1/4" = 1'-0"



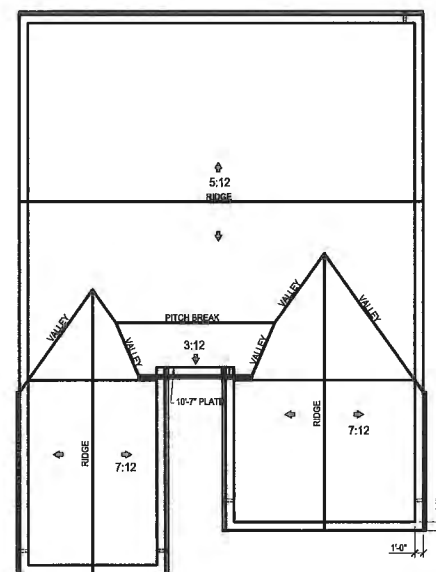
LEFT ELEVATION @ COVERED PATIO OPTION
SCALE: 1/4" = 1'-0"



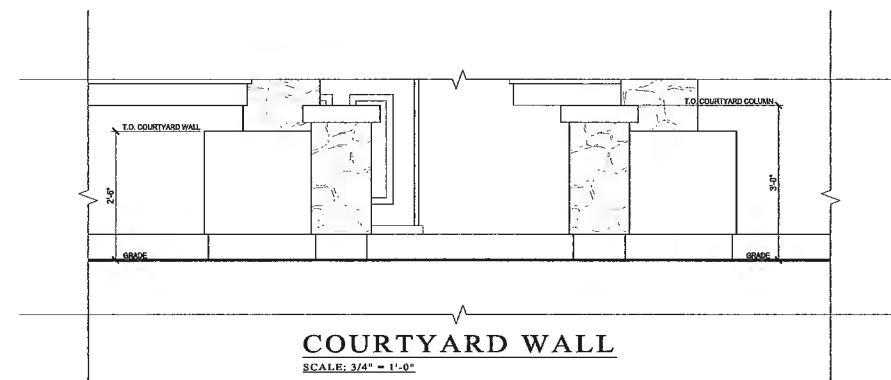
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



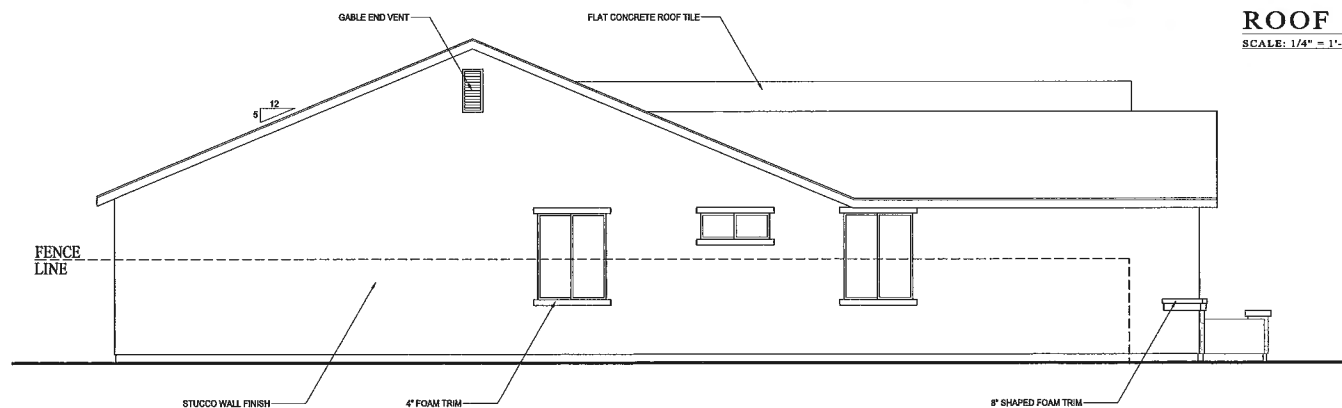
REAR ELEVATION
SCALE: 1/4" = 1'-0"



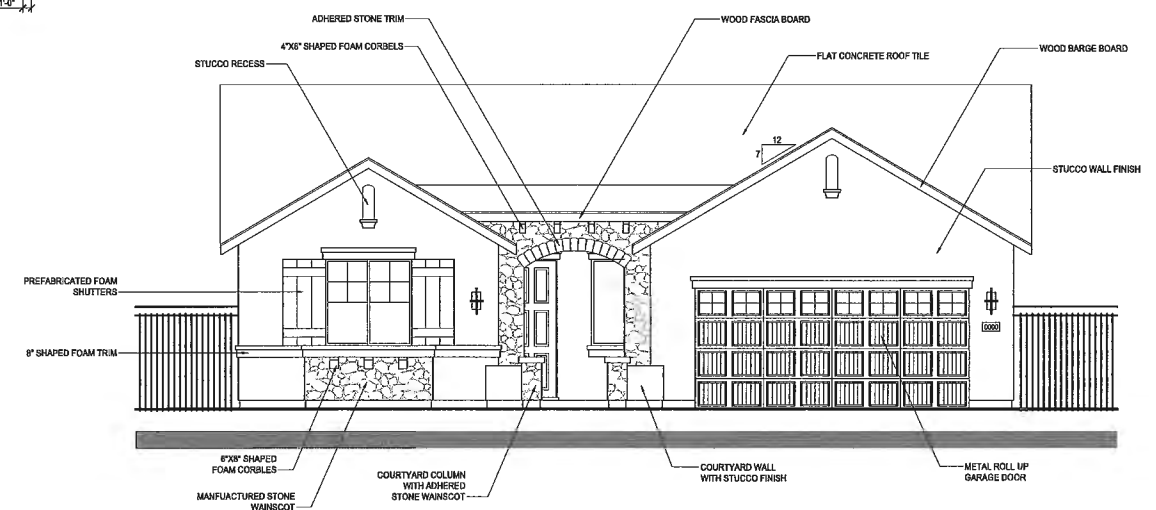
ROOF PLAN
SCALE: 1/4" = 1'-0"



COURTYARD WALL
SCALE: 3/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

RE-ELEVATED
2E FARMHOUSE

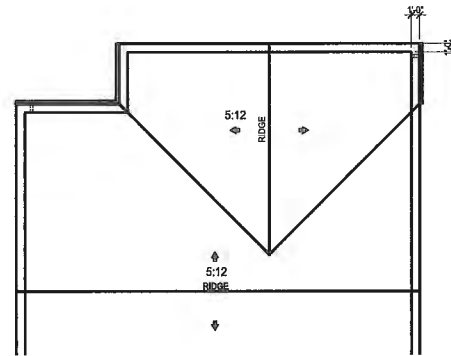
LENNAR®

**PLAN 2C - EUROPEAN COUNTRY
BROOKSTONE AT SPRING LAKE**
City of Woodland, CA

Date: 04/29/2015

**CHRIS HEINRITZ
ARCHITECTURE**

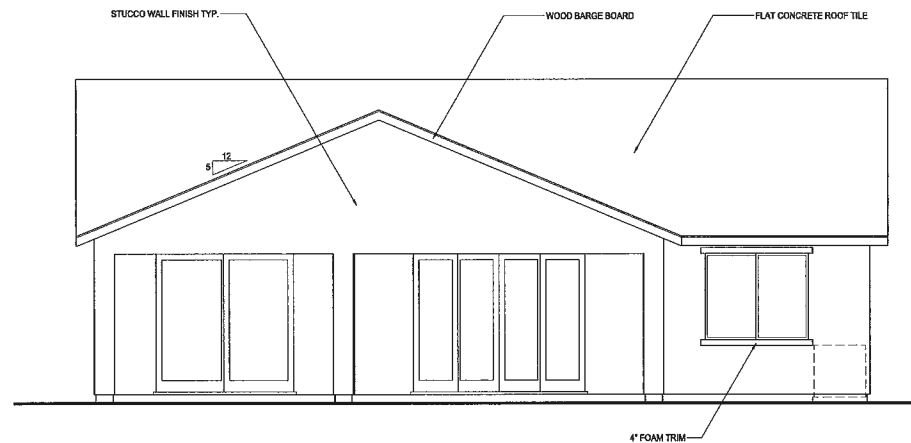
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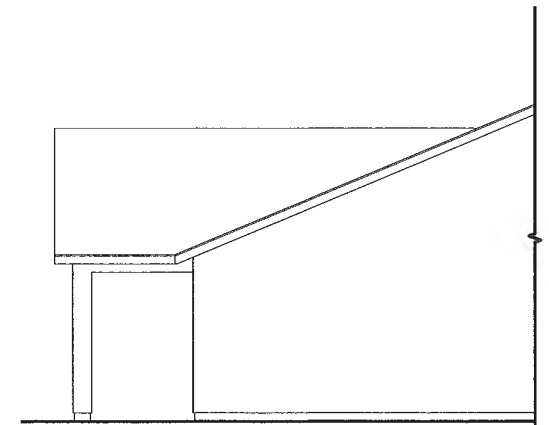
ROOF PLAN
SCALE: 1/4" = 1'-0"



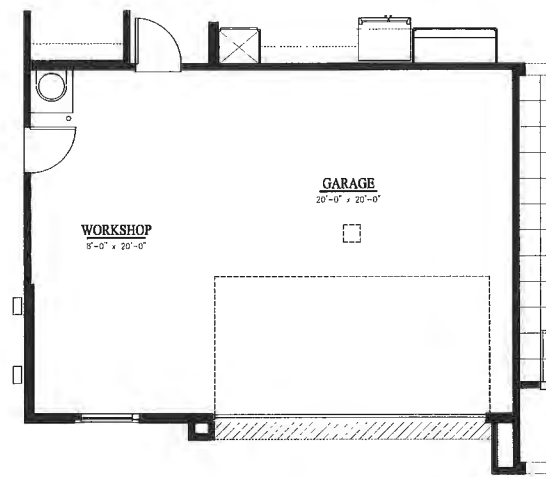
LEFT ELEVATION @ COVERED PATIO OPTION
SCALE: 1/4" = 1'-0"



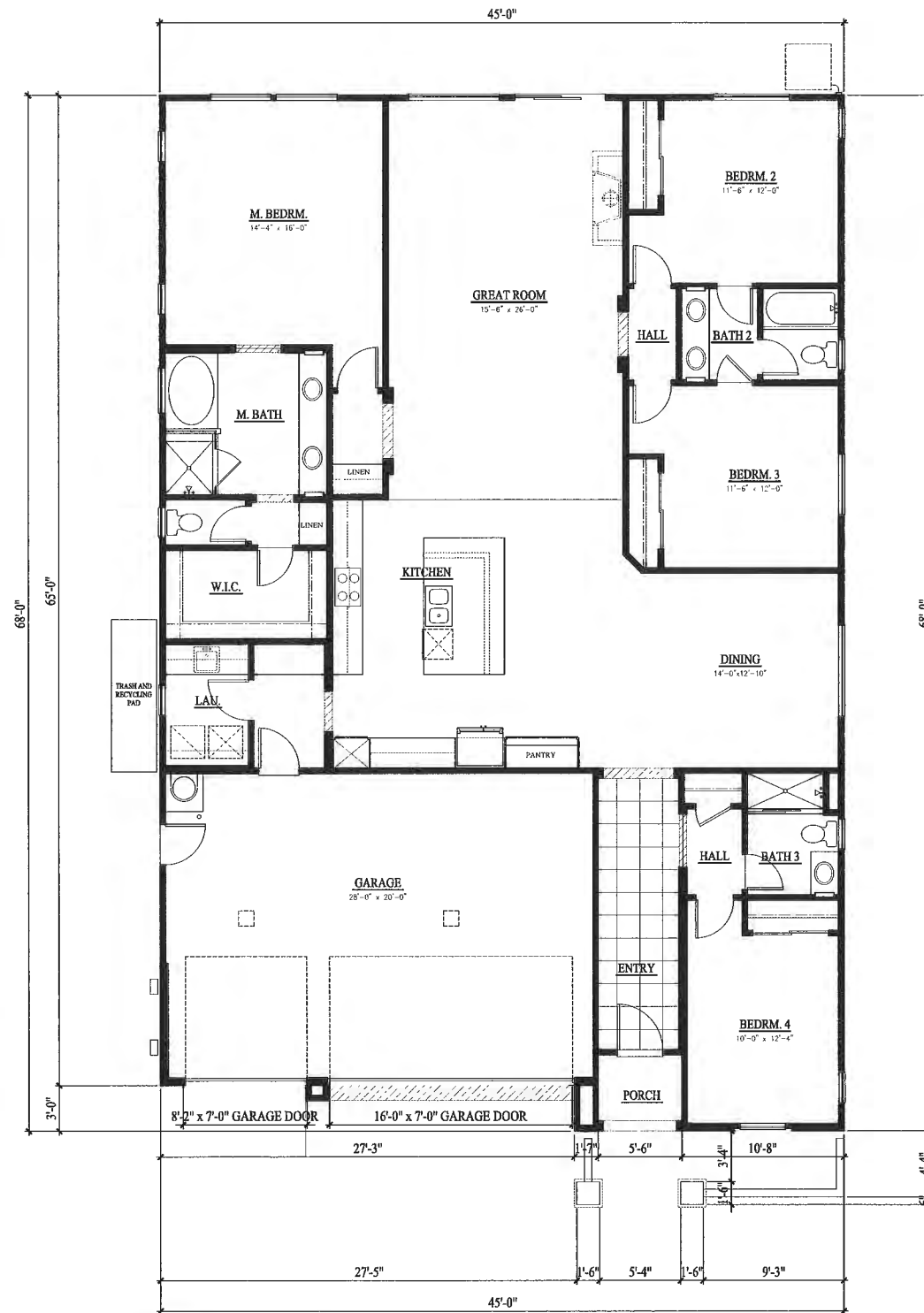
REAR ELEVATION @ COVERED PATIO OPTION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION @ COVERED PATIO OPTION
SCALE: 1/4" = 1'-0"



OPT. WORKSHOP



MAIN FLOOR PLAN

AREA TABULATION

DWELLING	2,361 S.F.
GARAGE	584 S.F.
FRONT COVERED PORCH	29 S.F.

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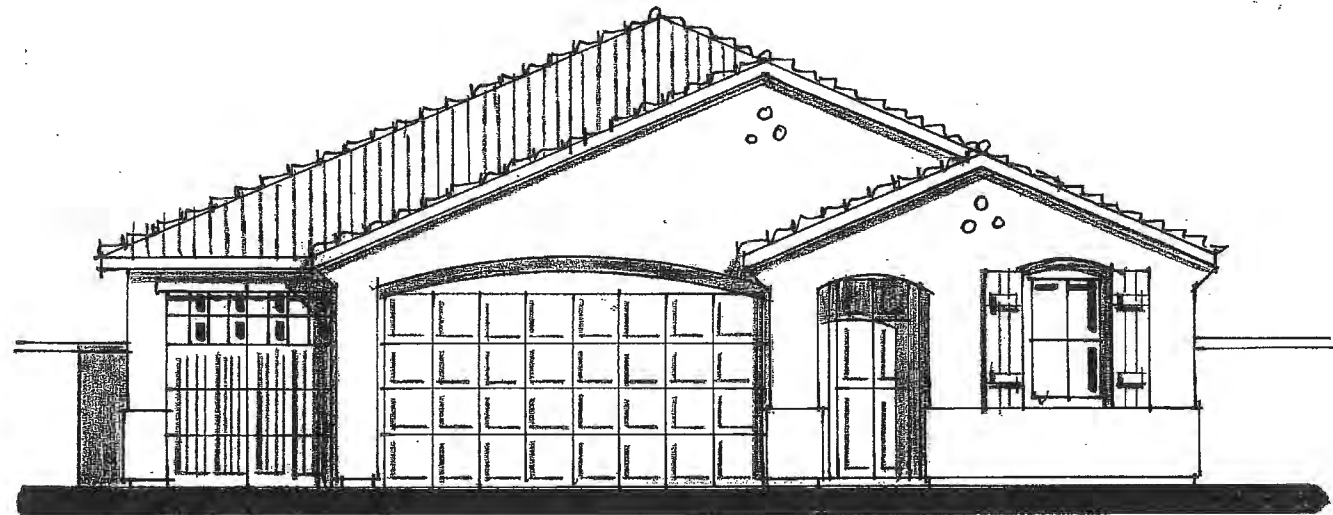
KTGY Job #: 15-0329
Date: 04/29/2015

PLAN 3A (2361)
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

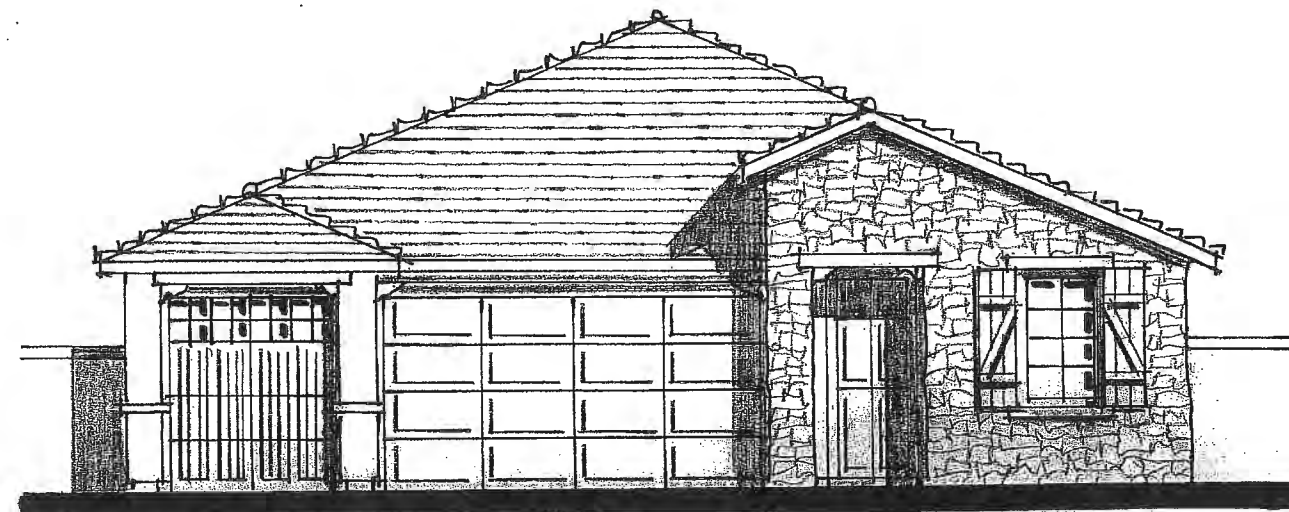


1/4" = 1'-0" U.N.O. 0 2 4 8 12

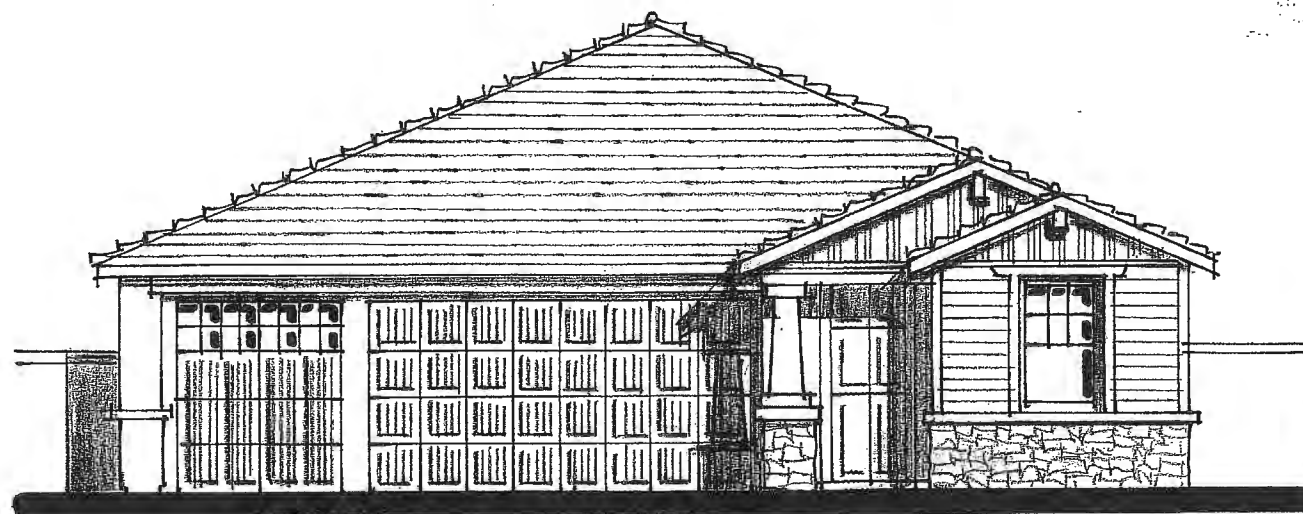
Plan 0329_1.dwg



MISSION A



EUROPEAN COUNTRY C



CRAFTSMAN D

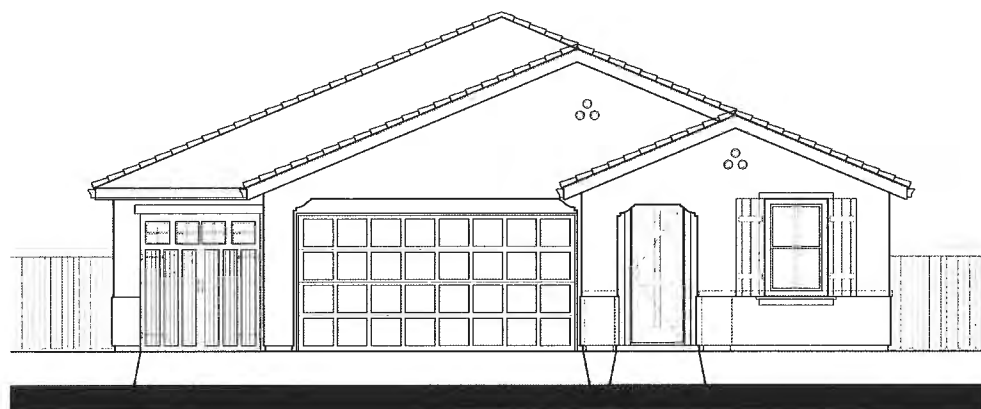
PLAN 3

BROOKSTONE AT SPRING LAKE

15015

5.26.15

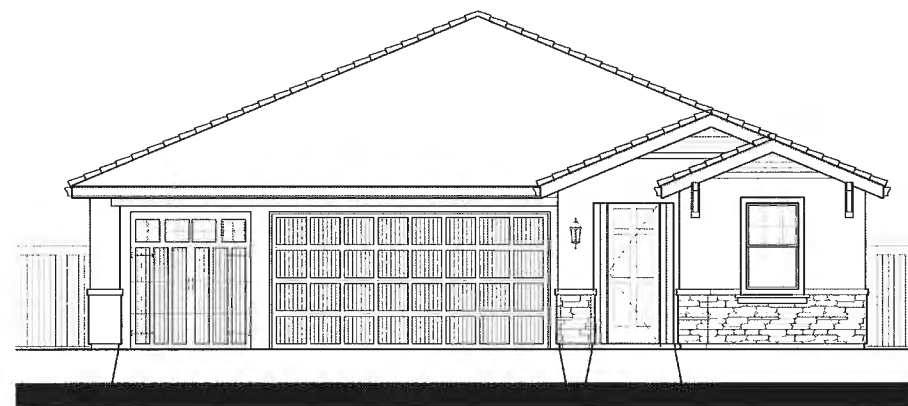
LENNAR



3A
MISSION



3C
EUROPEAN COUNTRY



3D
CRAFTSMAN

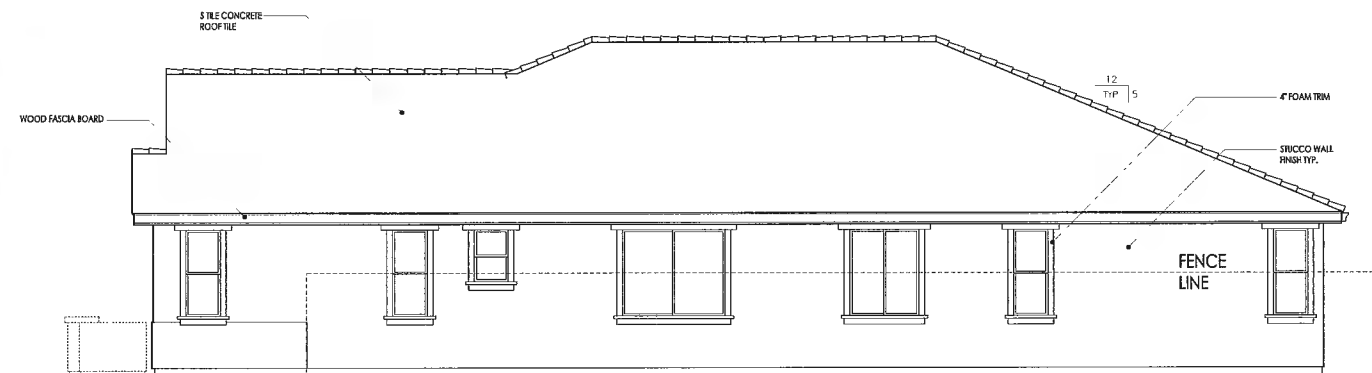
FRONT ELEVATIONS
PLAN 3 (2361)
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

LENNAR®

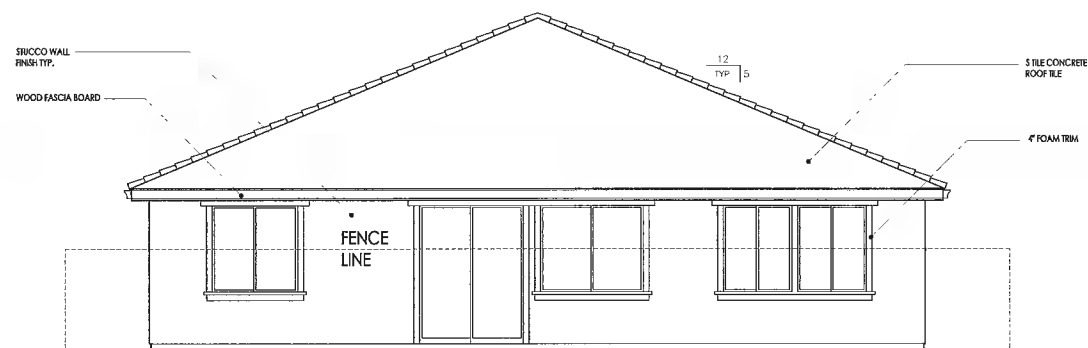
KTGY Job #: 15-0329
Date: 04/29/2015

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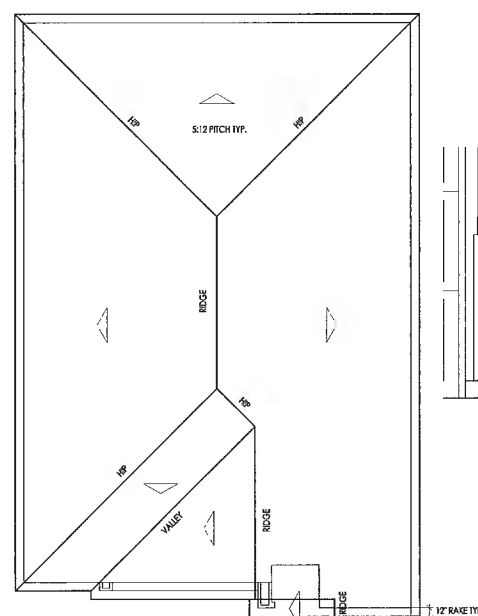
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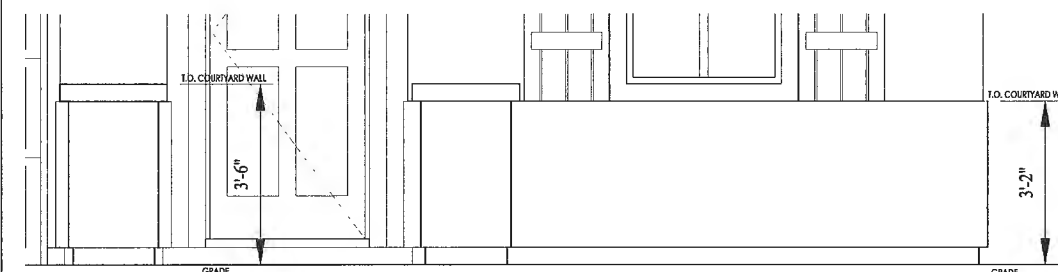
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



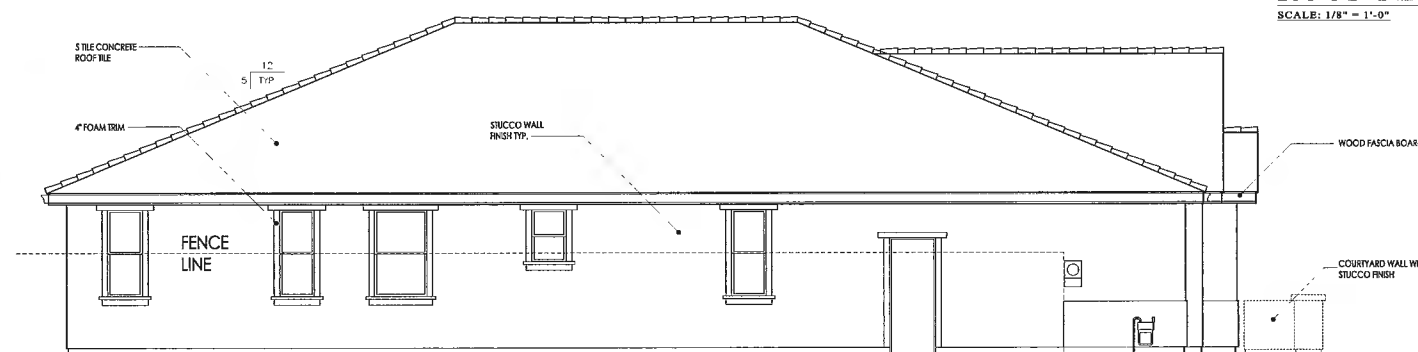
REAR ELEVATION
SCALE: 1/4" = 1'-0"



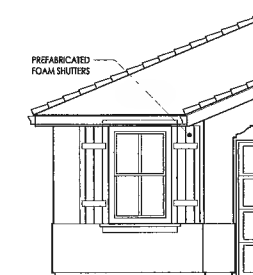
ROOF PLAN
SCALE: 1/8" = 1'-0"



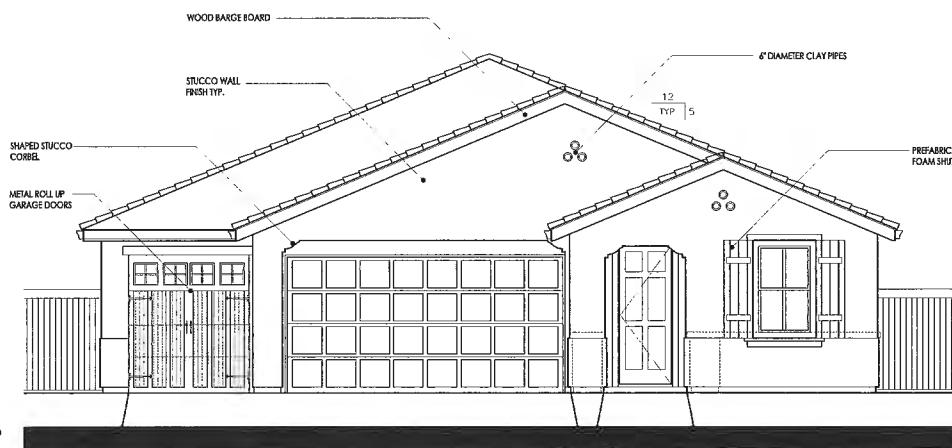
COURTYARD WALL
SCALE: 3/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



OPT. WORKSHOP
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LENNAR

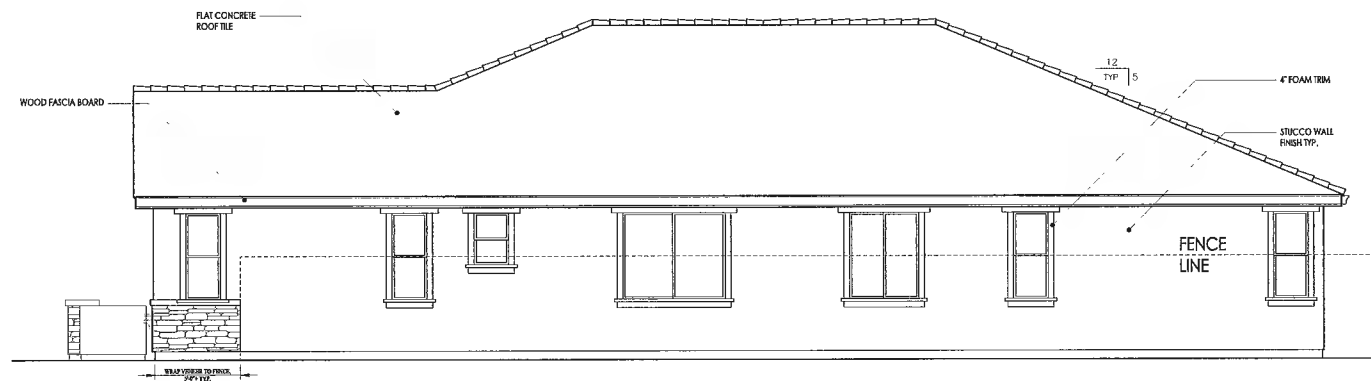
KTGY Job #: 15-0329
Date: 04/29/2015

PLAN 3A - MISSION **BROOKSTONE AT SPRING LAKE** City of Woodland, CA

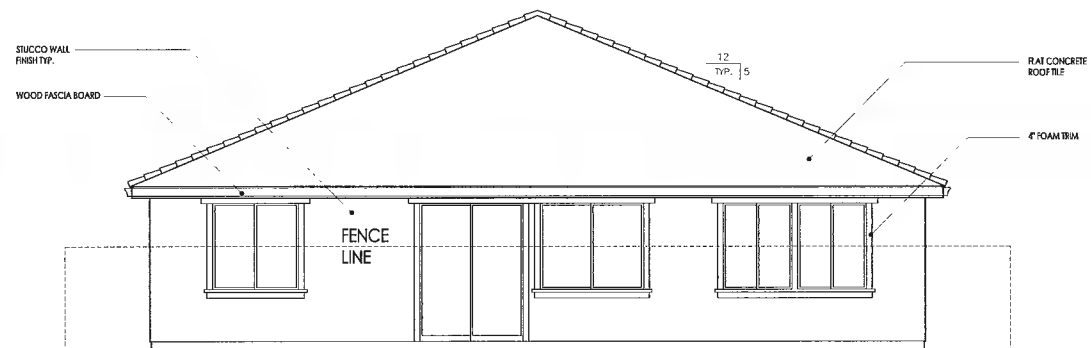
ktgy
Architecture+Planning

1/4" = 1'-0" U.N.O. 0 2 4 8 12

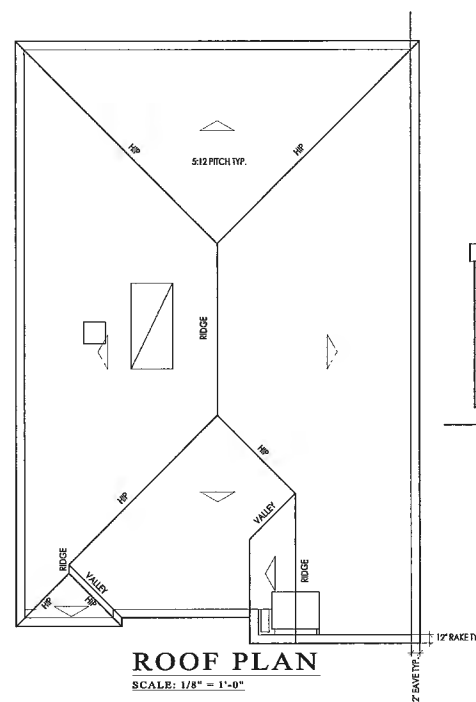
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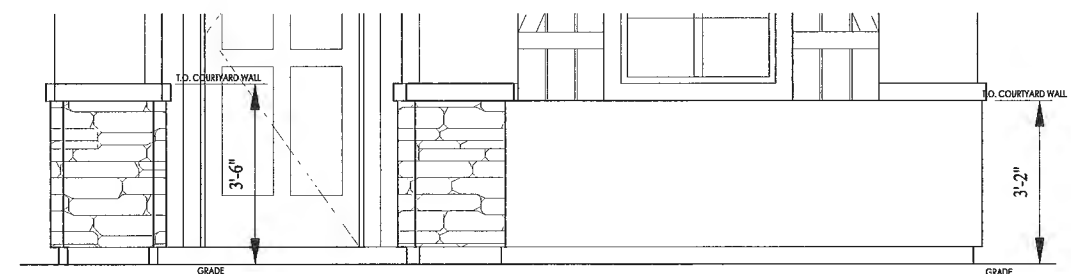
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



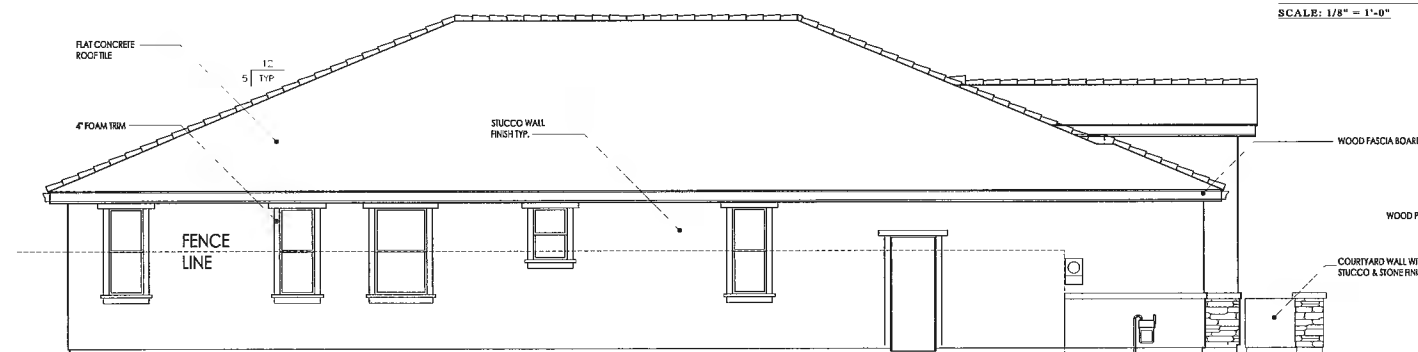
REAR ELEVATION
SCALE: 1/4" = 1'-0"



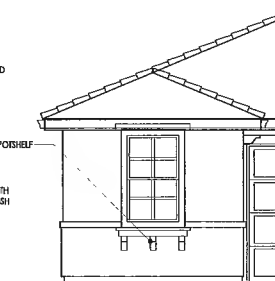
ROOF PLAN
SCALE: 1/8" = 1'-0"



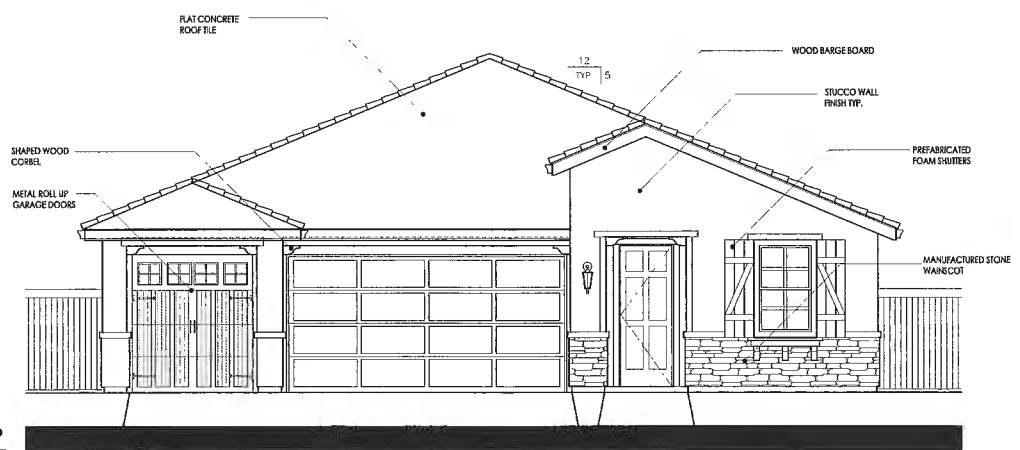
COURTYARD WALL
SCALE: 3/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



OPT. WORKSHOP
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LENNAR

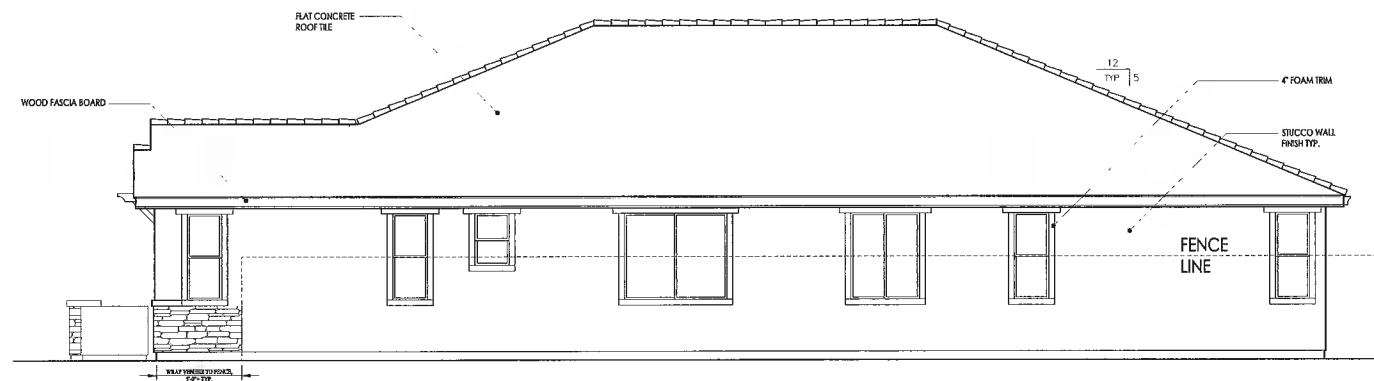
KTGY Job #: 15-0329
Date: 04/29/2015

PLAN 3C - EUROPEAN COUNTRY
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

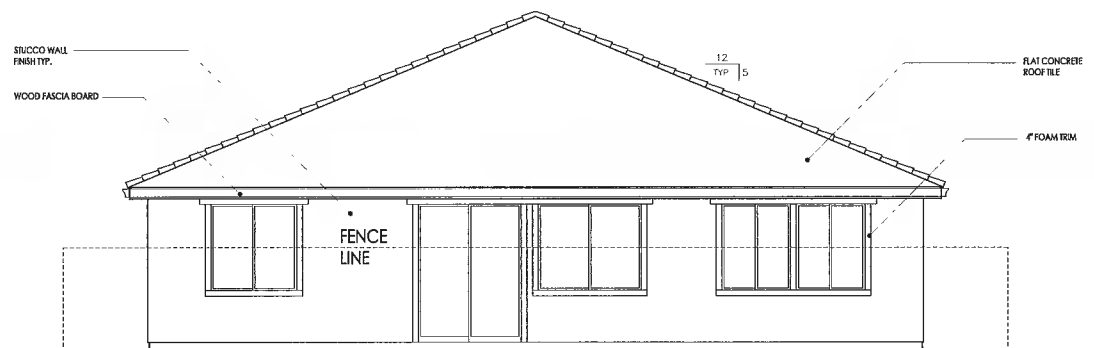
ktgy
Architecture+Planning

1/4" = 1'-0" U.N.O. 0 2 4 8 12

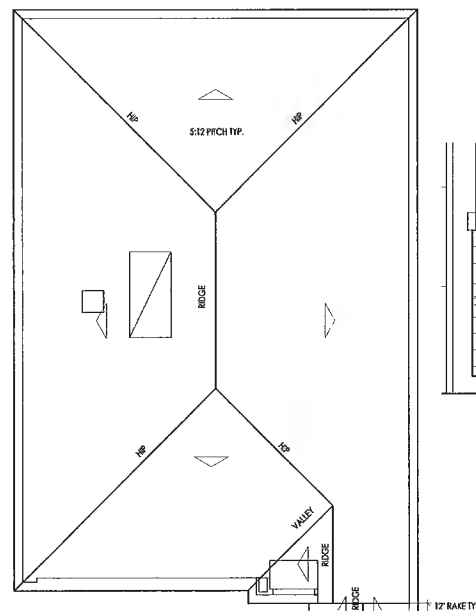
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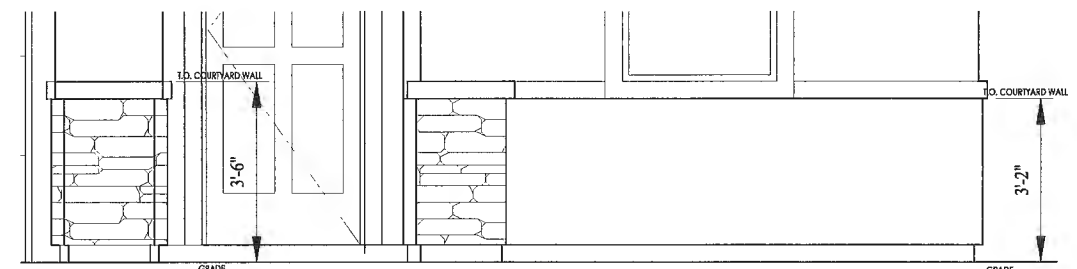
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



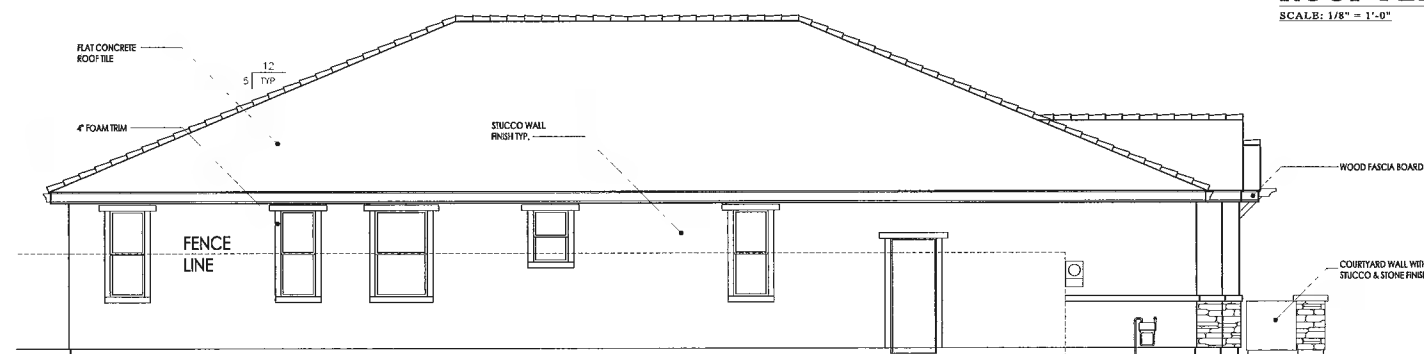
REAR ELEVATION
SCALE: 1/4" = 1'-0"



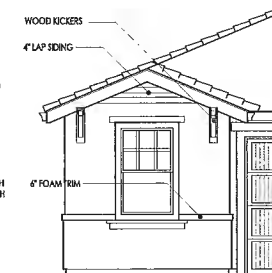
ROOF PLAN
SCALE: 1/8" = 1'-0"



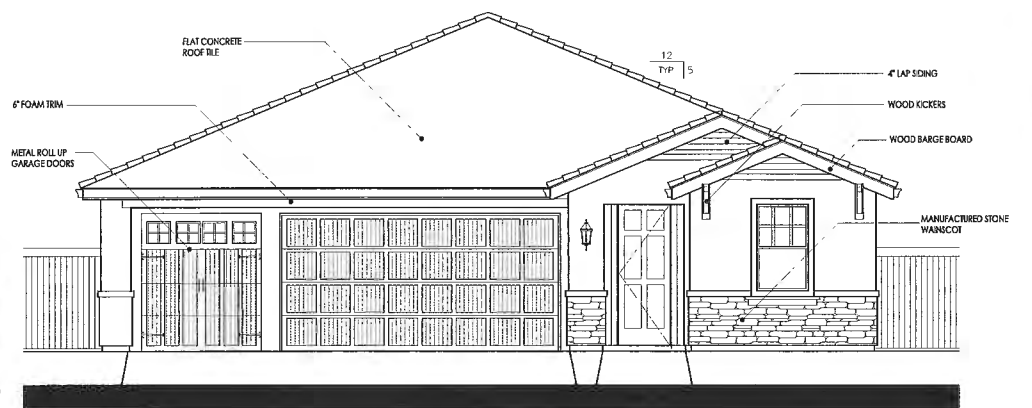
COURTYARD WALL
SCALE: 3/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



OPT. WORKSHOP
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LENNAR

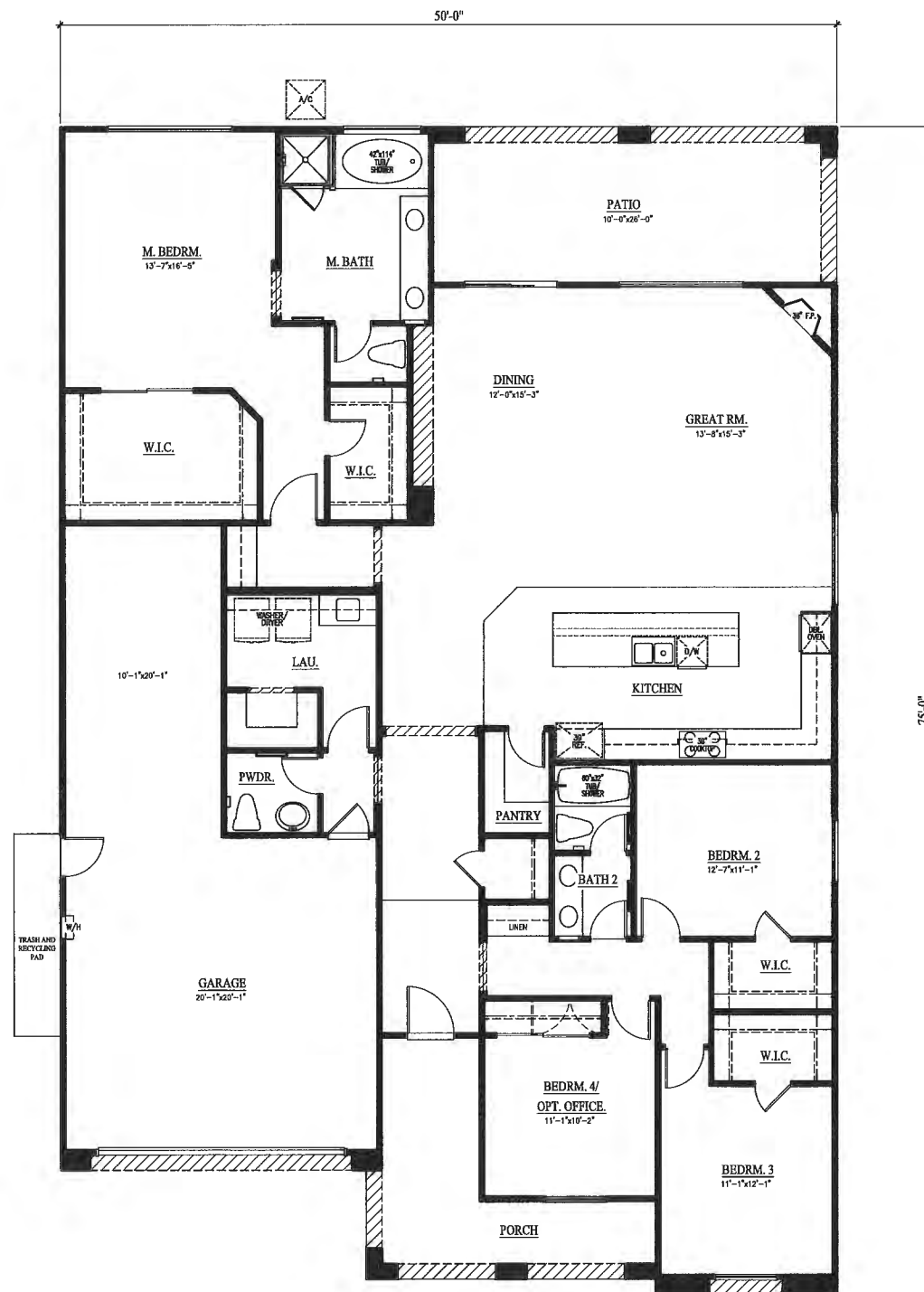
KTGY Job #:15-0329
Date: 04/29/2015

PLAN 3D - CRAFTSMAN **BROOKSTONE AT SPRING LAKE** City of Woodland, CA

ktgy
Architecture+Planning

1/4" = 1'-0" U.N.O. 0 2 4 8 12

Theme: 010203_15.dwg



AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	2,494 SQ. FT.
TOTAL DWELLING	2,494 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	625 SQ. FT.
PORCH "A", "B" & "C"	191 SQ. FT.
PATIO "A", "B" & "C"	260 SQ. FT.

PLAN 4A (2494) BROOKSTONE AT SPRING LAKE City of Woodland, CA

KEVIN L. CROOK
ARCHITECT
INC.

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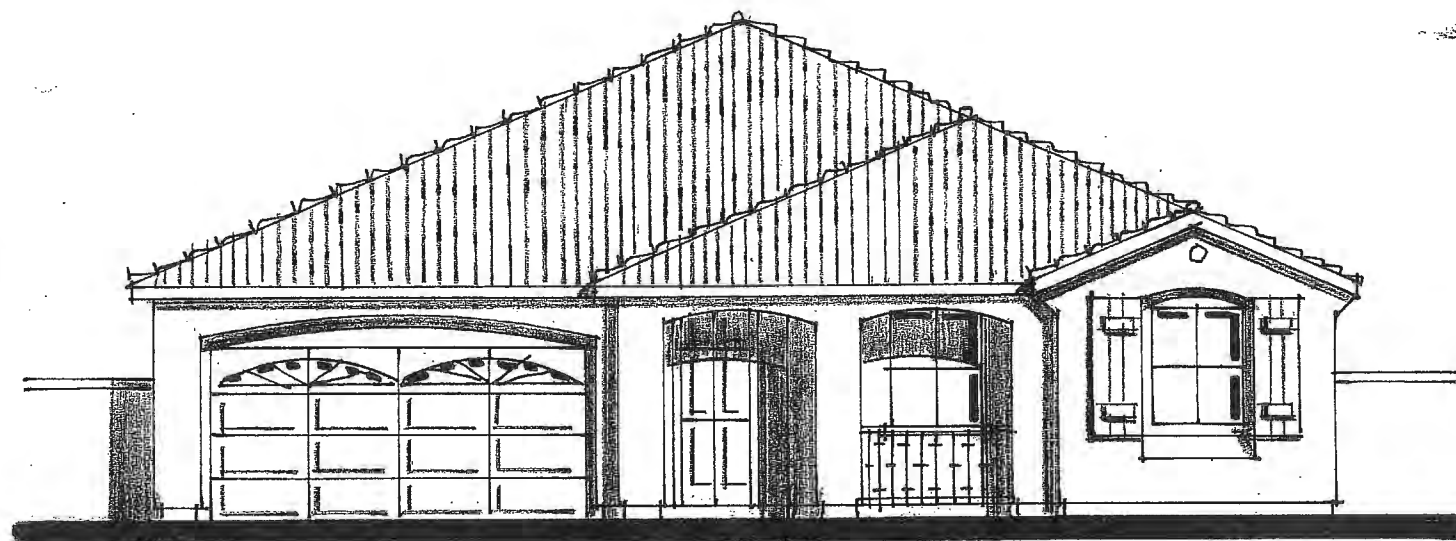
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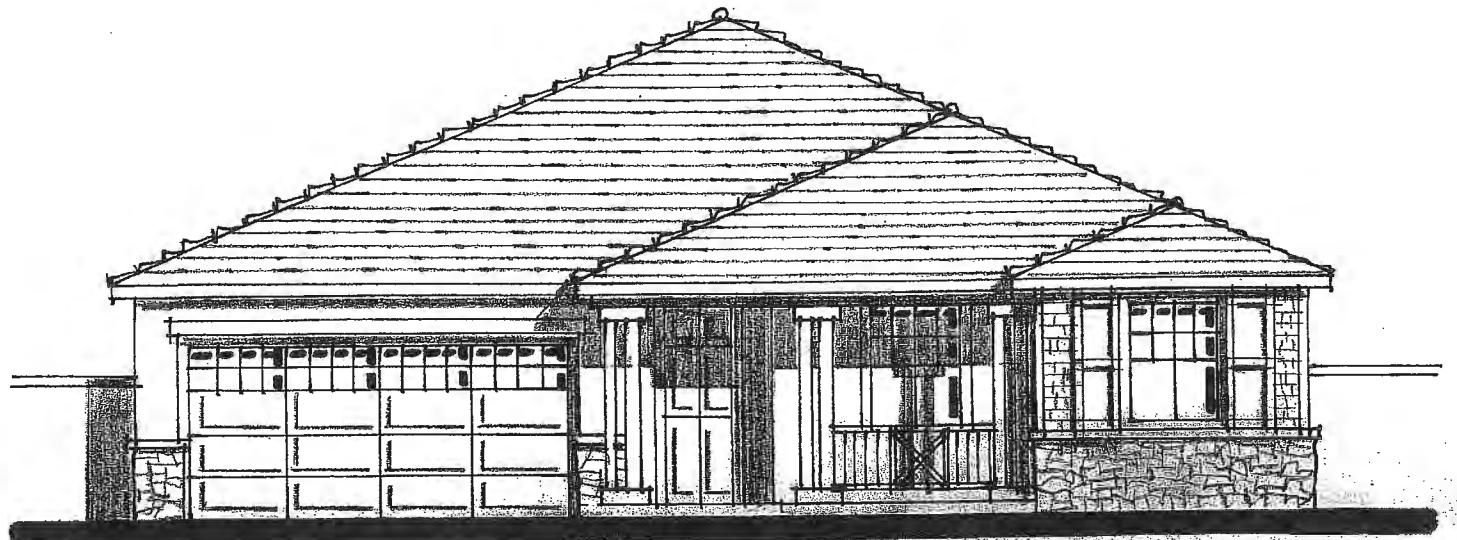
Job #: 15015
Date: 04/29/2015

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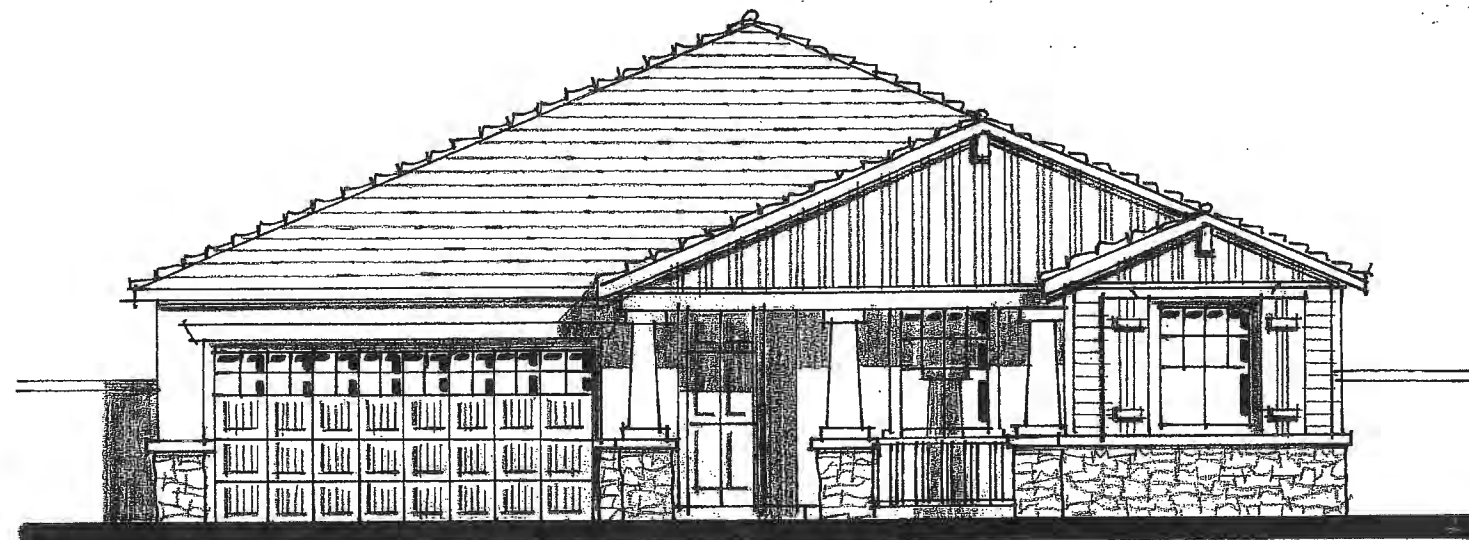
Revised: 04-29-15



MISSION A



PRAIRIE B



CRAFTSMAN D

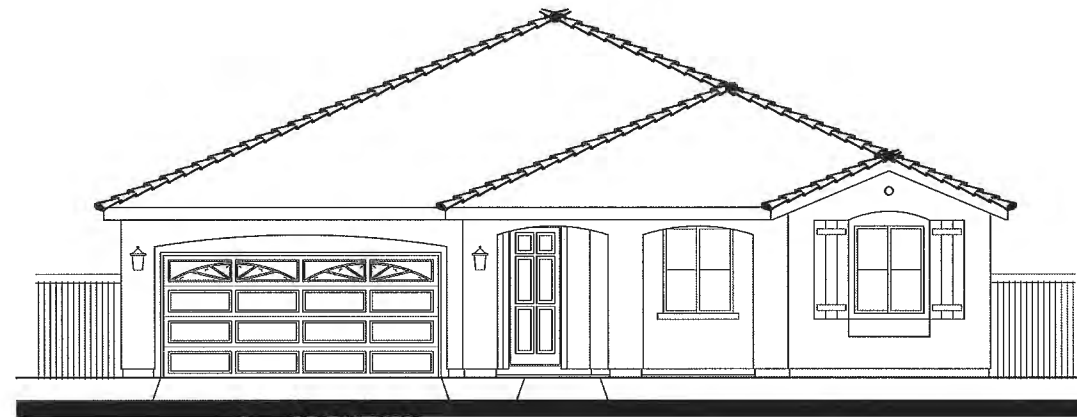
PLAN 4

BROOKSTONE AT SPRING LAKE

15015

5-26-15

LENNAR



4A
MISSION

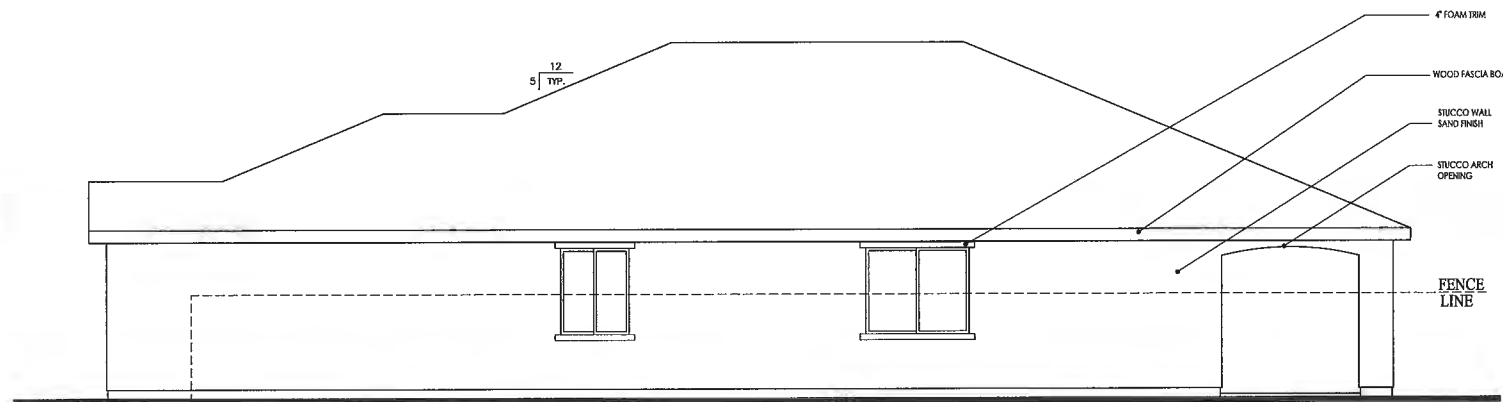


4B
PRAIRIE

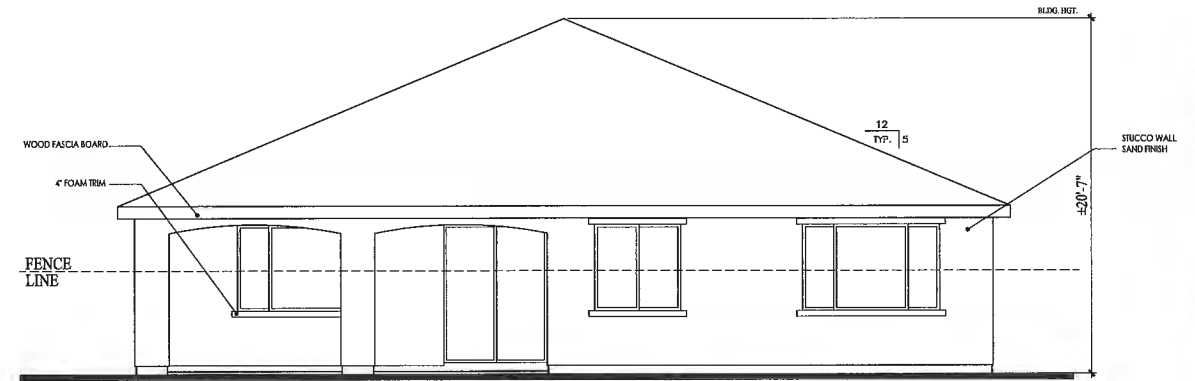


4D
CRAFTSMAN

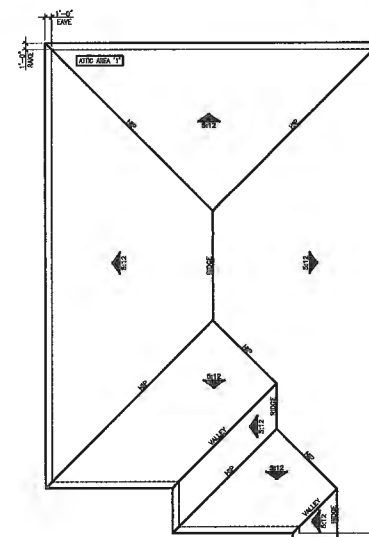
FRONT ELEVATIONS
PLAN 4 (2494)
BROOKSTONE AT SPRING LAKE
City of Woodland, CA



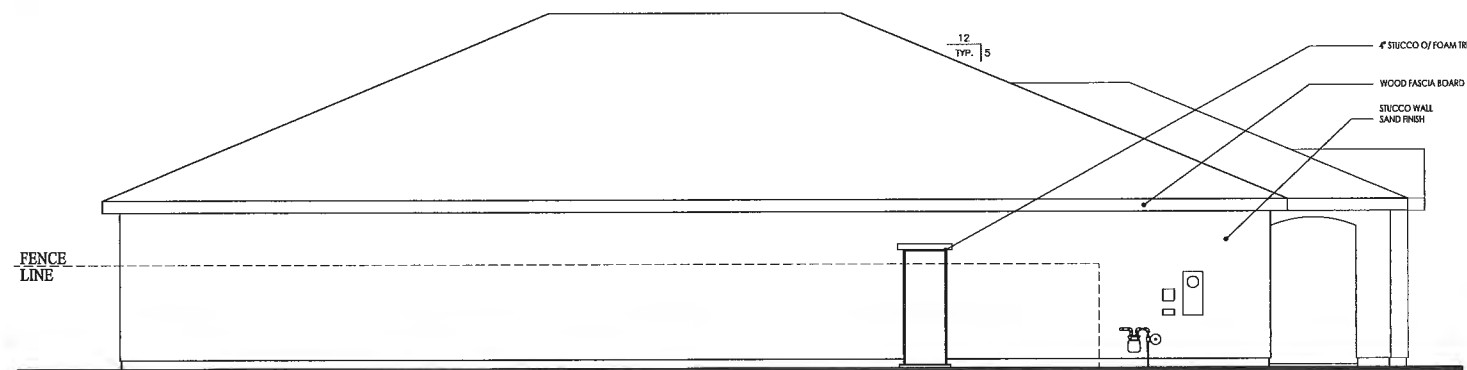
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



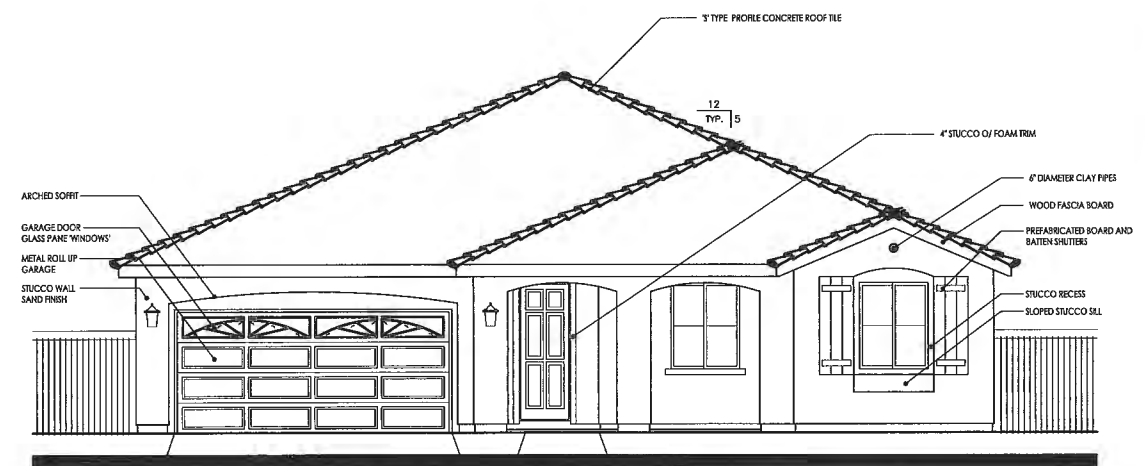
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 4A - MISSION **BROOKSTONE AT SPRING LAKE** City of Woodland, CA

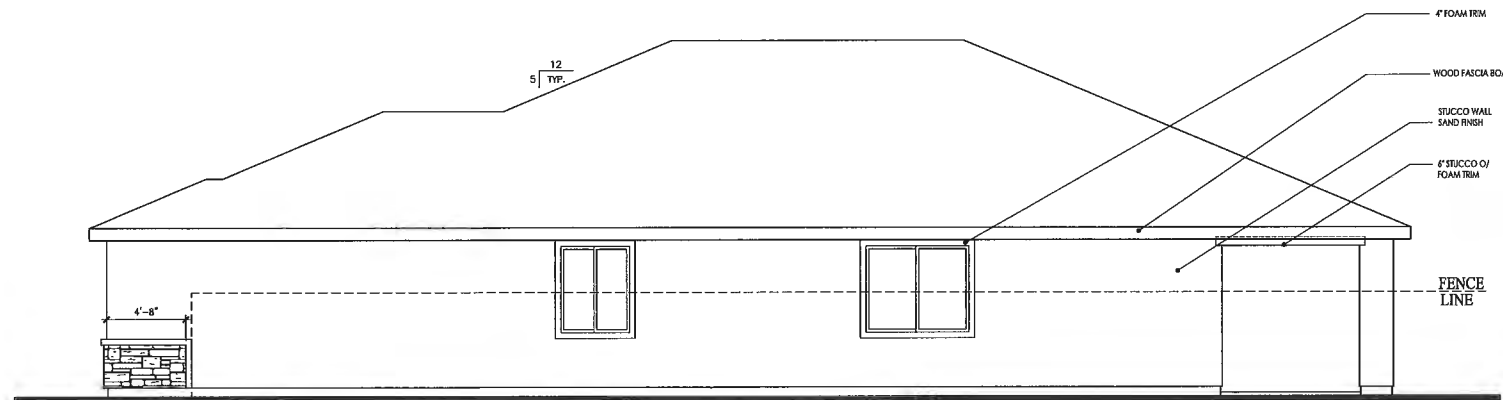
KEVIN L. CROOK
ARCHITECT
INC.

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1/4" = 1'-0" U.N.O. 0 2 4 8 12

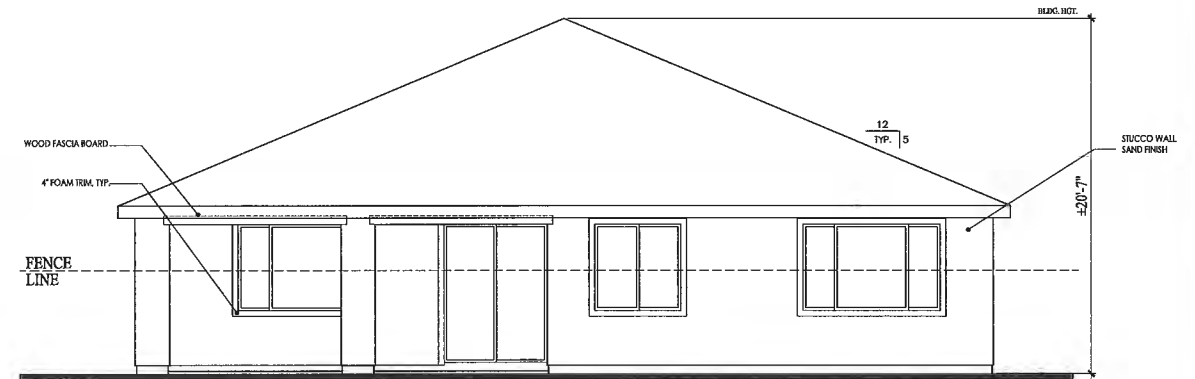
LENNAR

Job #: 15015
Date: 04/29/2015

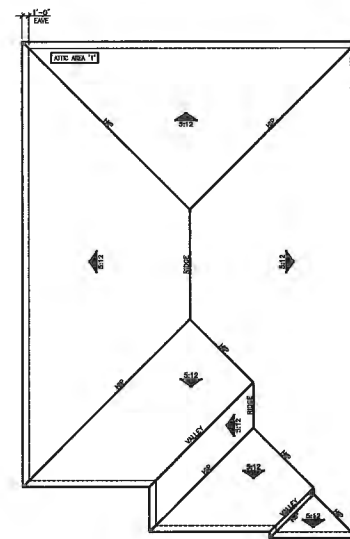
KEVIN L. CROOK ARCHITECT INC. 15015



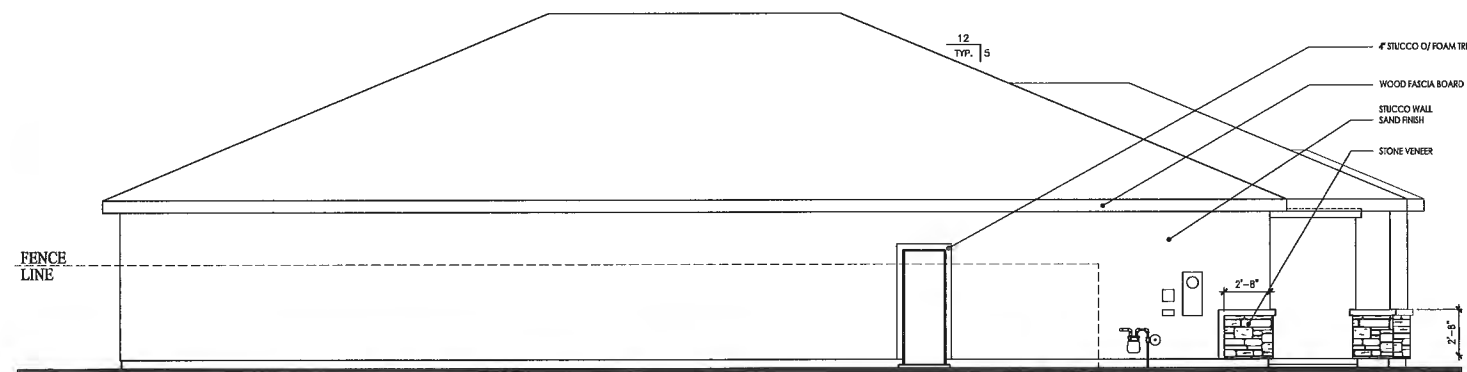
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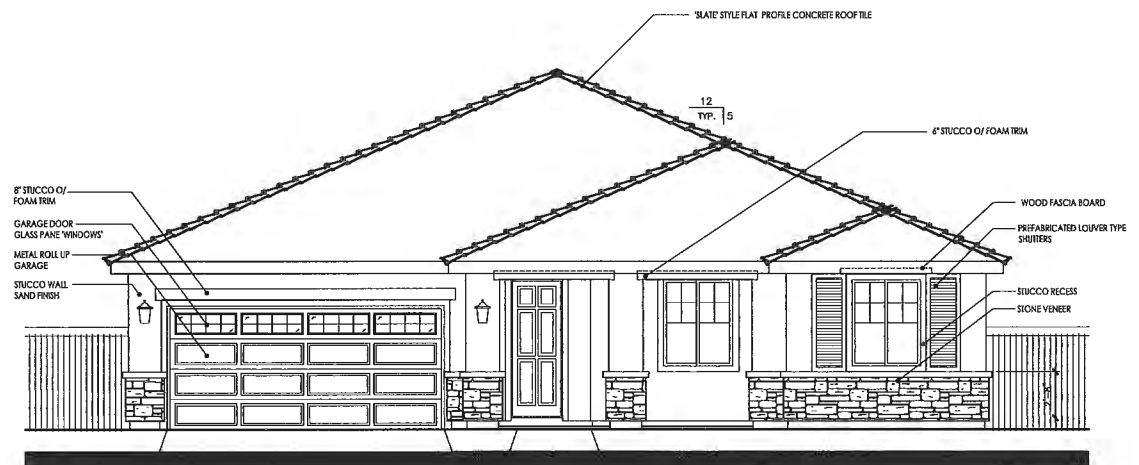
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ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

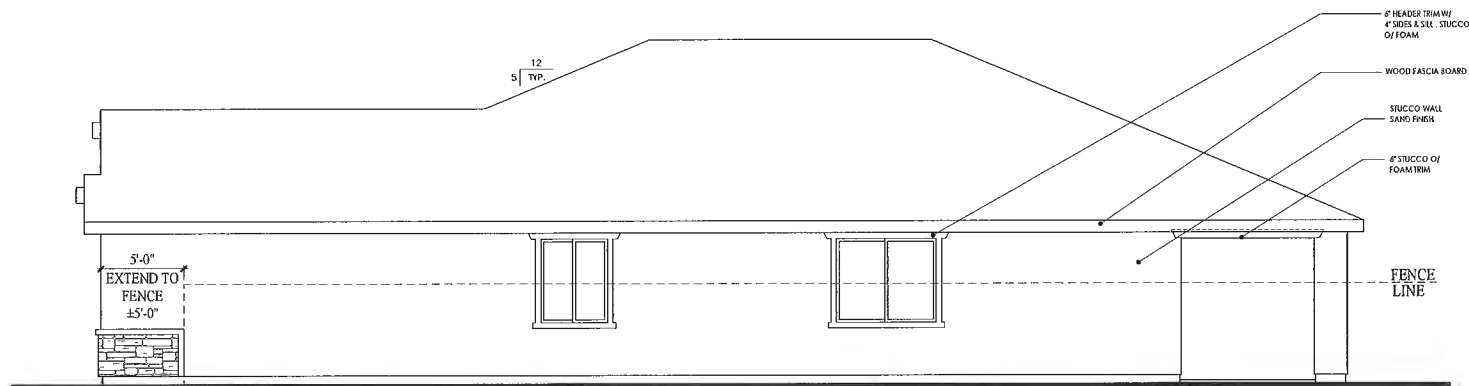


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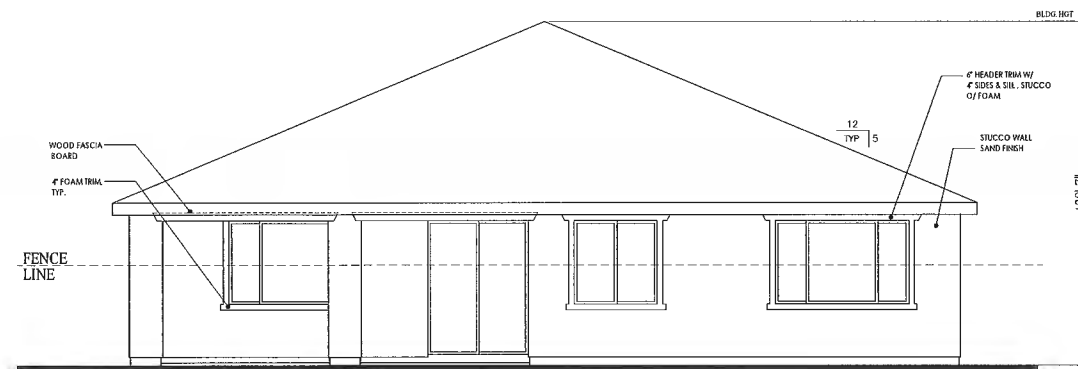
PLAN 4B - PRAIRIE **BROOKSTONE AT SPRING LAKE** City of Woodland, CA

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ARCHITECT
INC.
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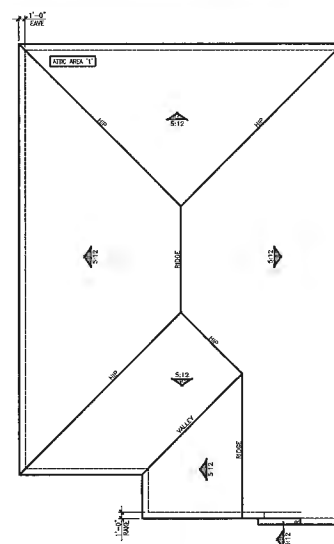
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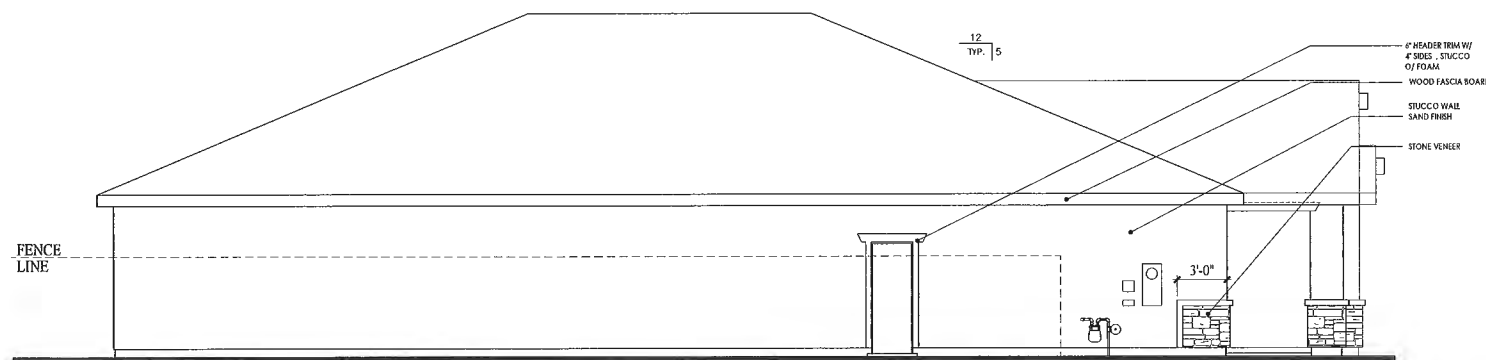
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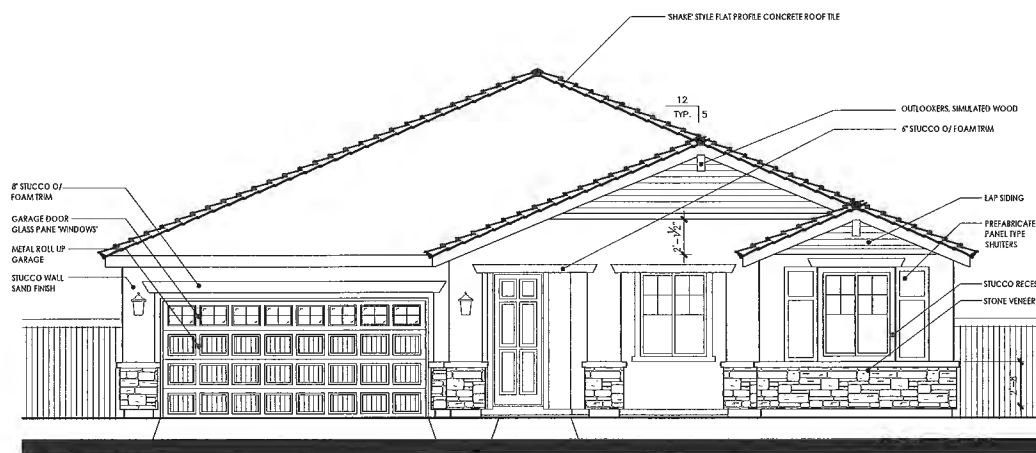
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 4D - CRAFTSMAN **BROOKSTONE AT SPRING LAKE** City of Woodland, CA

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INC.

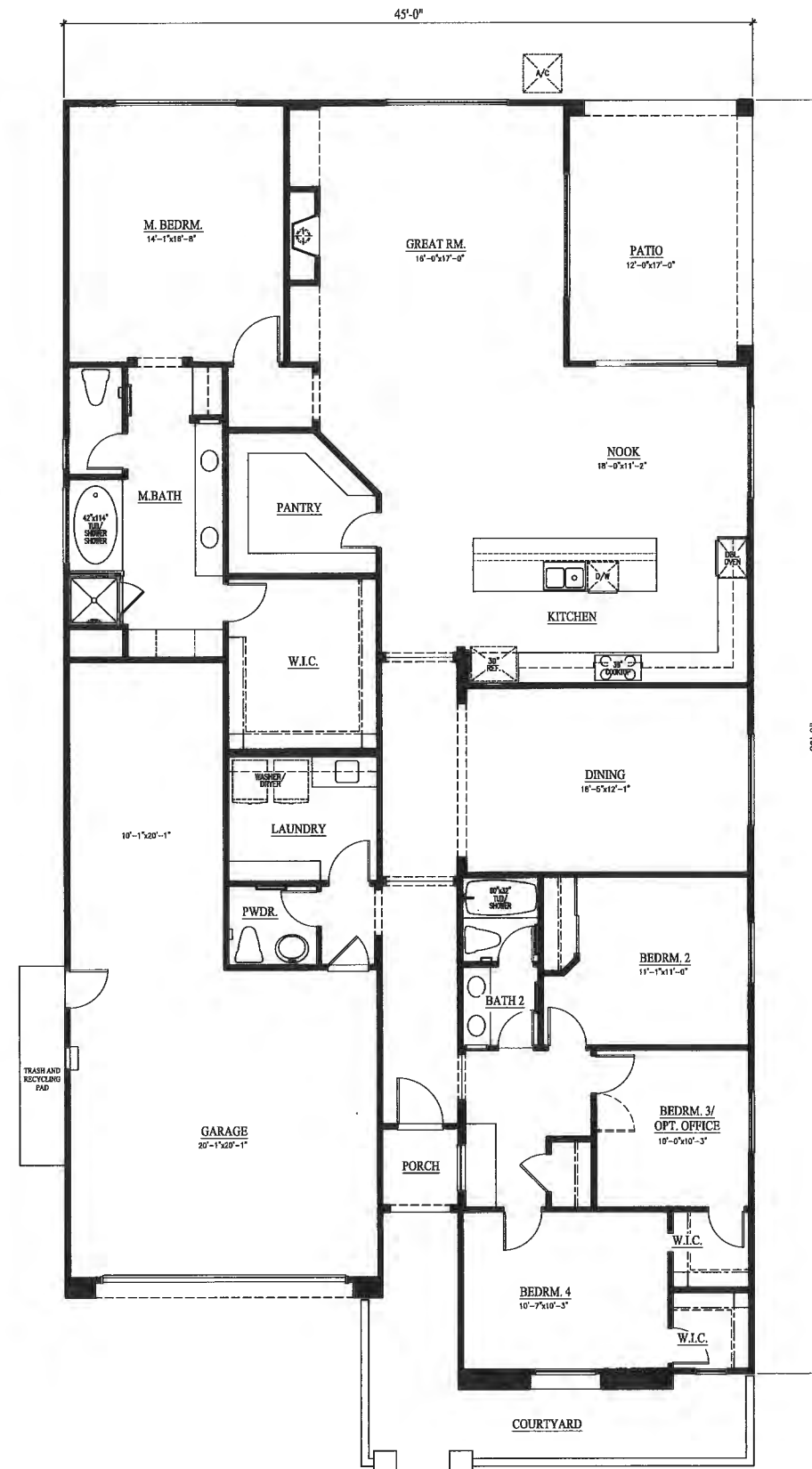
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1/4" = 1'-0" U.N.O.

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Job #: 15015
Date: 04/29/2015

12



AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	2,700 SQ. FT.
TOTAL DWELLING	2,700 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	626 SQ. FT.
PATIO "A", "B" & "C"	240 SQ. FT.

PLAN 5A (2700) BROOKSTONE AT SPRING LAKE City of Woodland, CA

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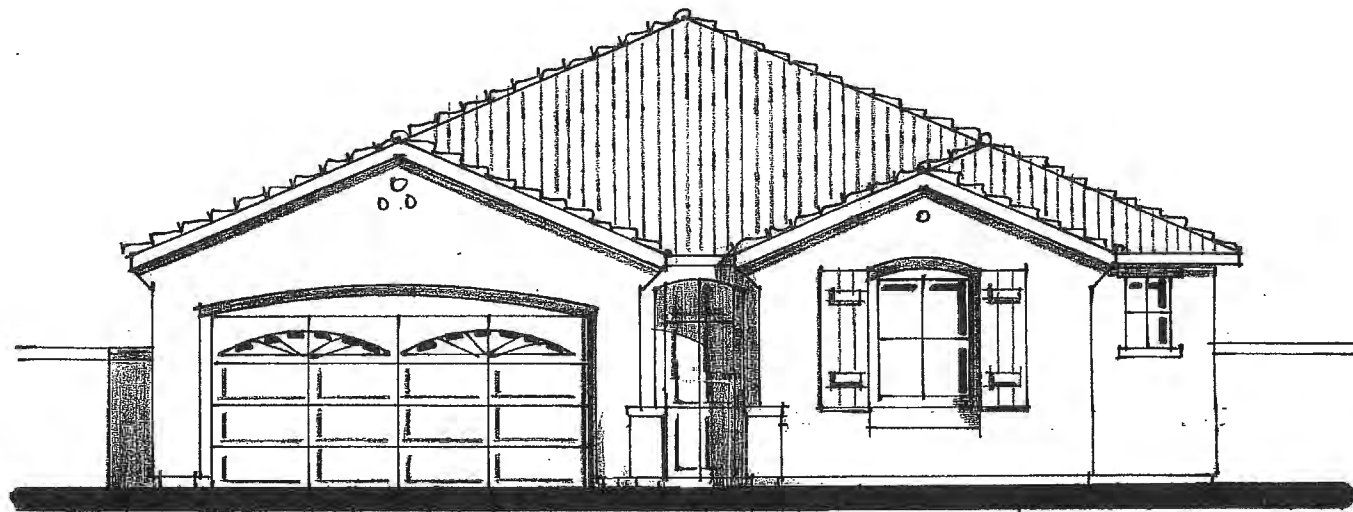
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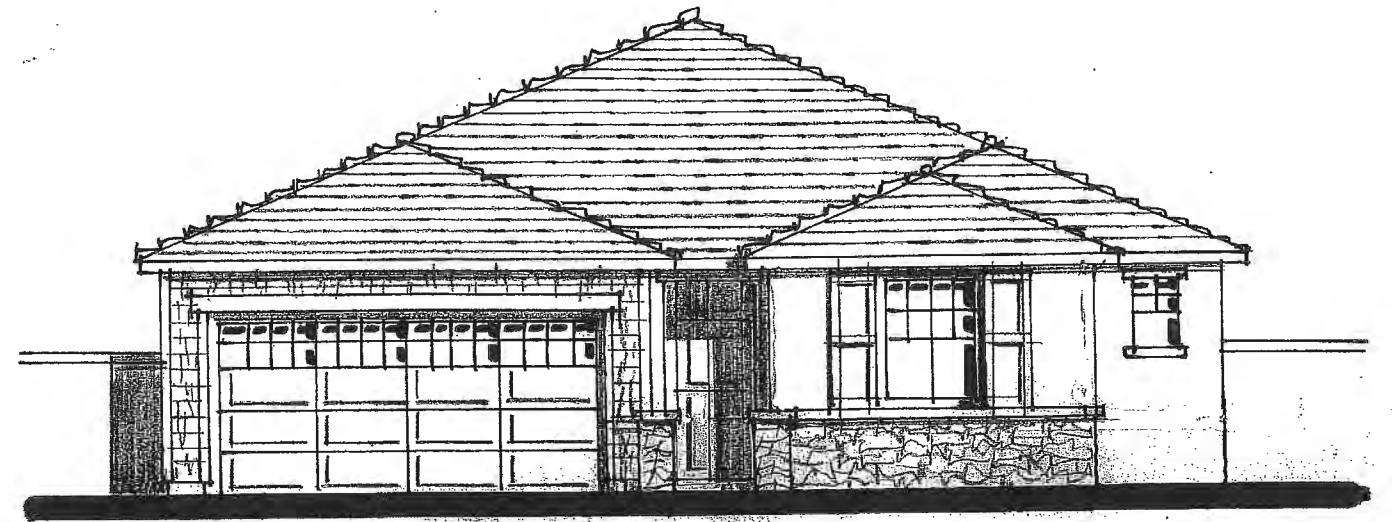
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Job #: 15015
Date: 04/29/2015

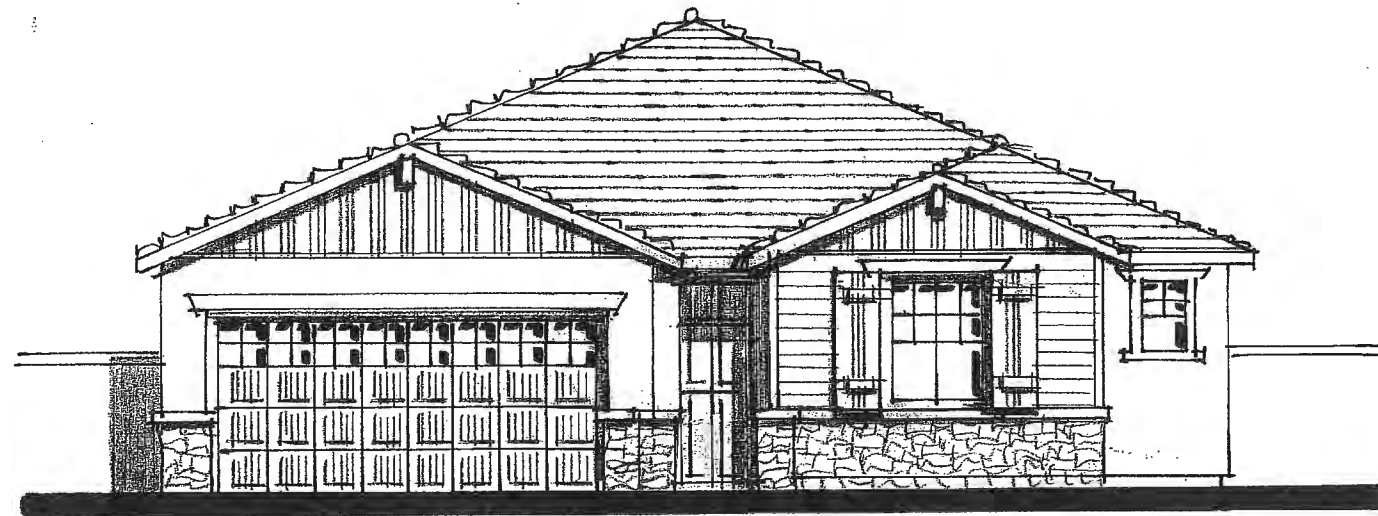
12



MISSION A



PRAIRIE B



CRAFTSMAN D

RAN 5

BROOKSTONE AT SPRING LAKE

15015

5-26-15

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5A
MISSION

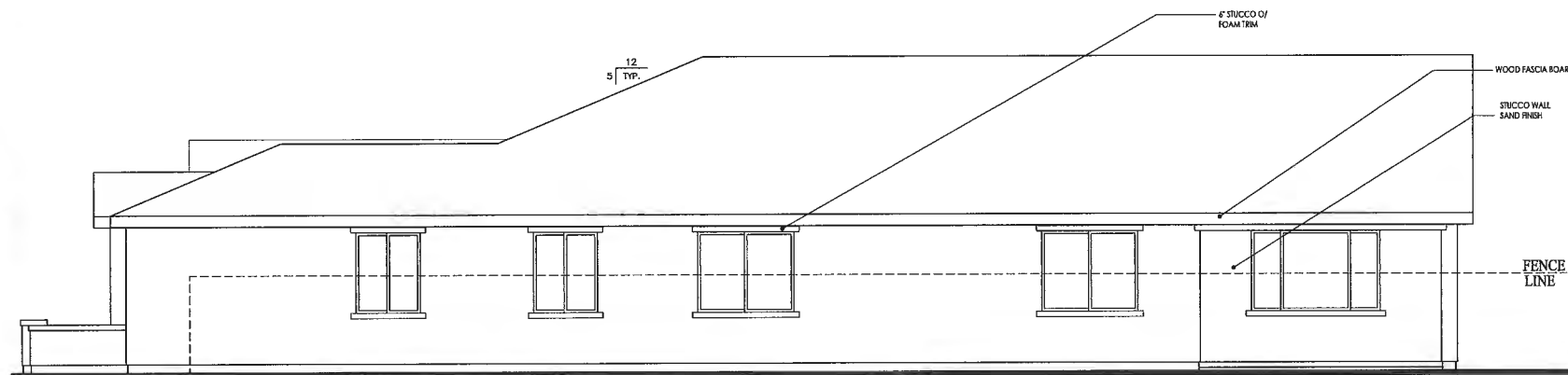


5B
PRAIRIE

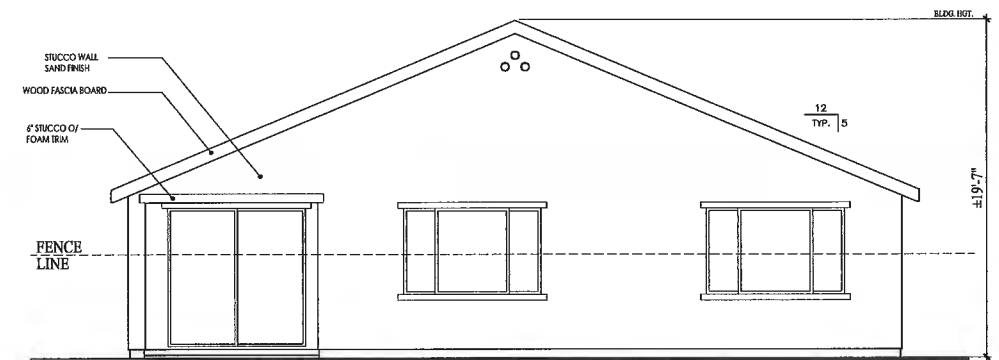


5D
CRAFTSMAN

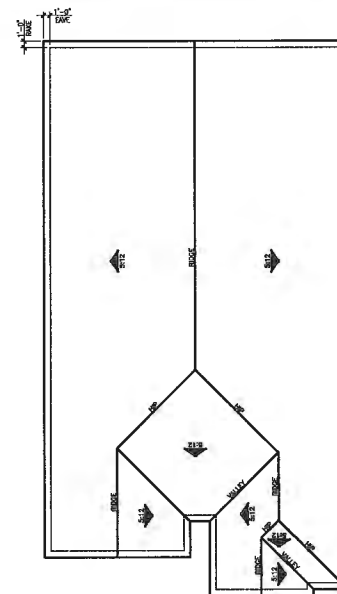
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PLAN 5 (2700)
BROOKSTONE AT SPRING LAKE
City of Woodland, CA



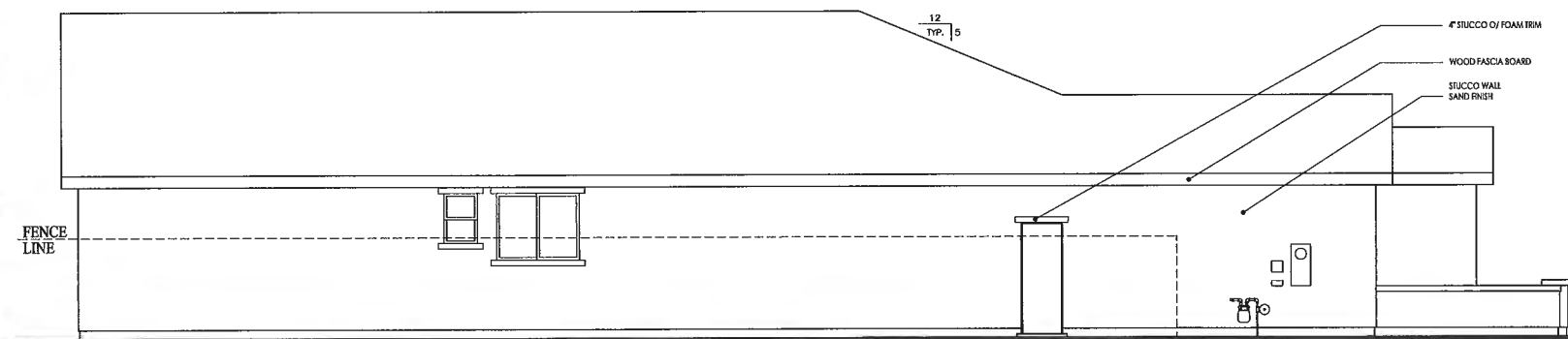
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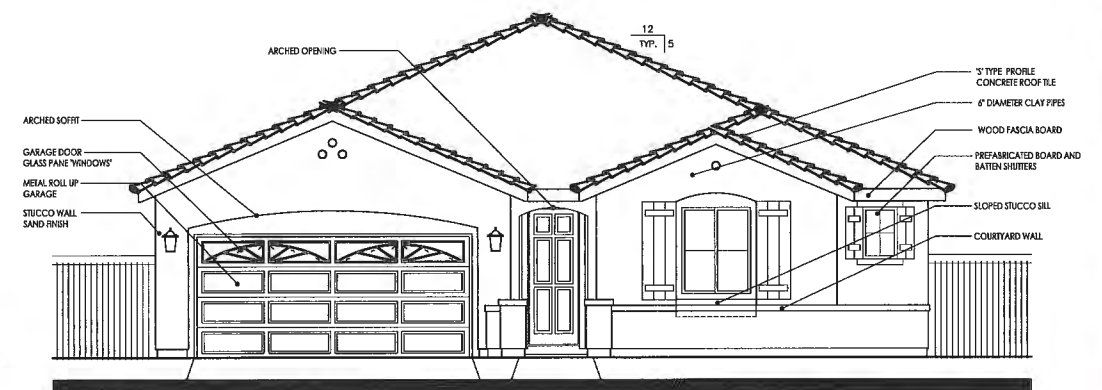
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SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 5A - MISSION **BROOKSTONE AT SPRING LAKE** City of Woodland, CA

LENNAR

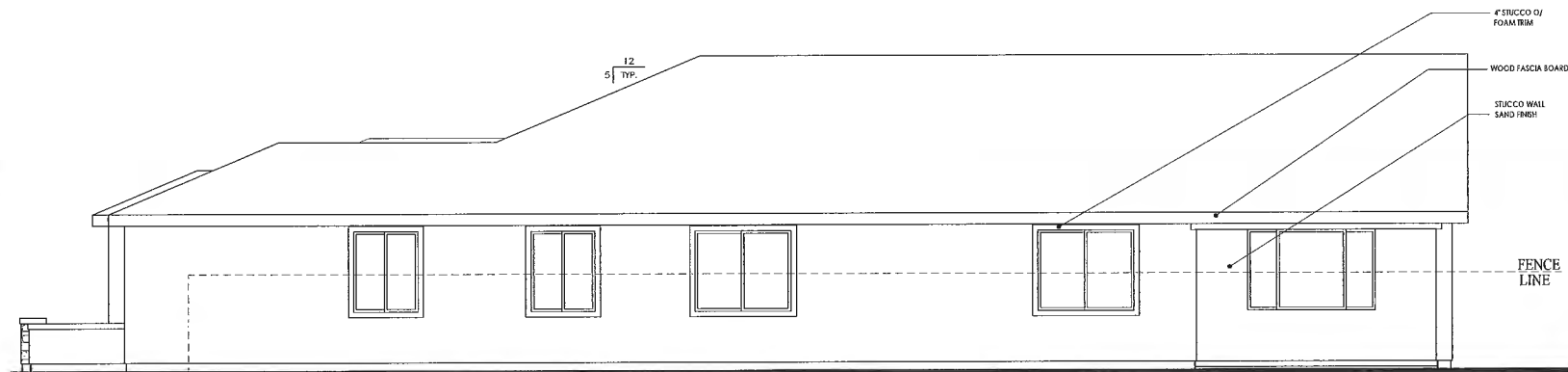
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Date: 04/29/2015

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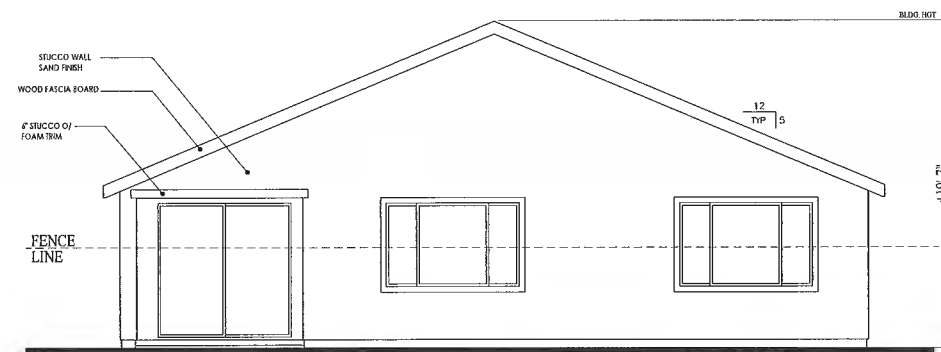
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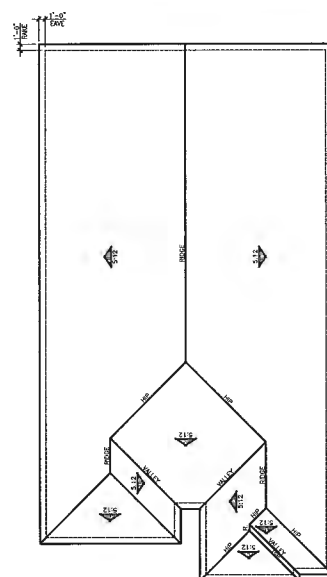
KEVIN L. CROOK ARCHITECT INC. 04/29/2015



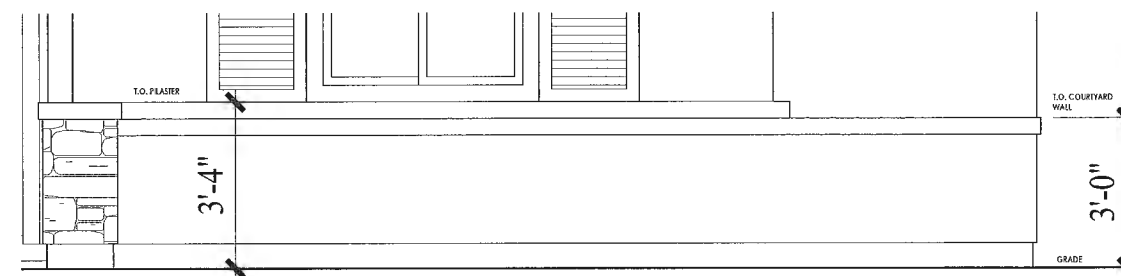
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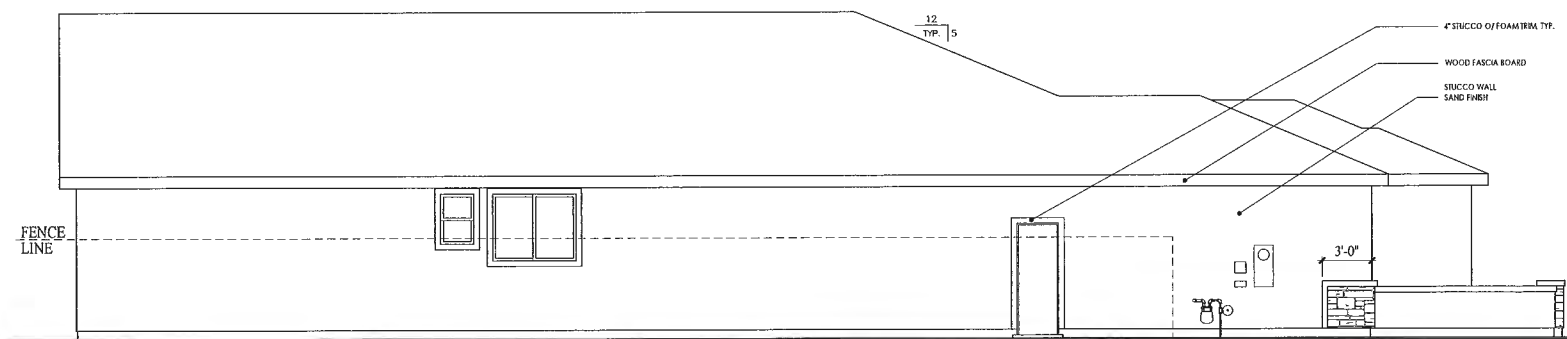
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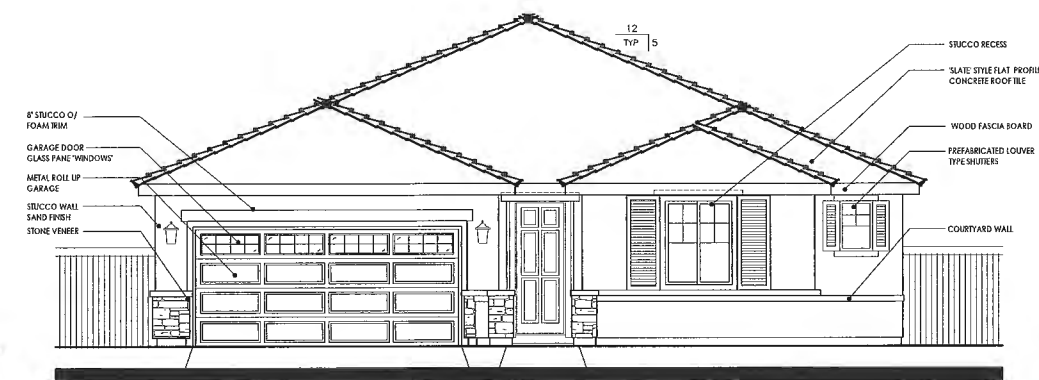
ROOF PLAN
SCALE: 3/32" = 1'-0"



COURTYARD WALL
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 5B - PRAIRIE
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

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INC.

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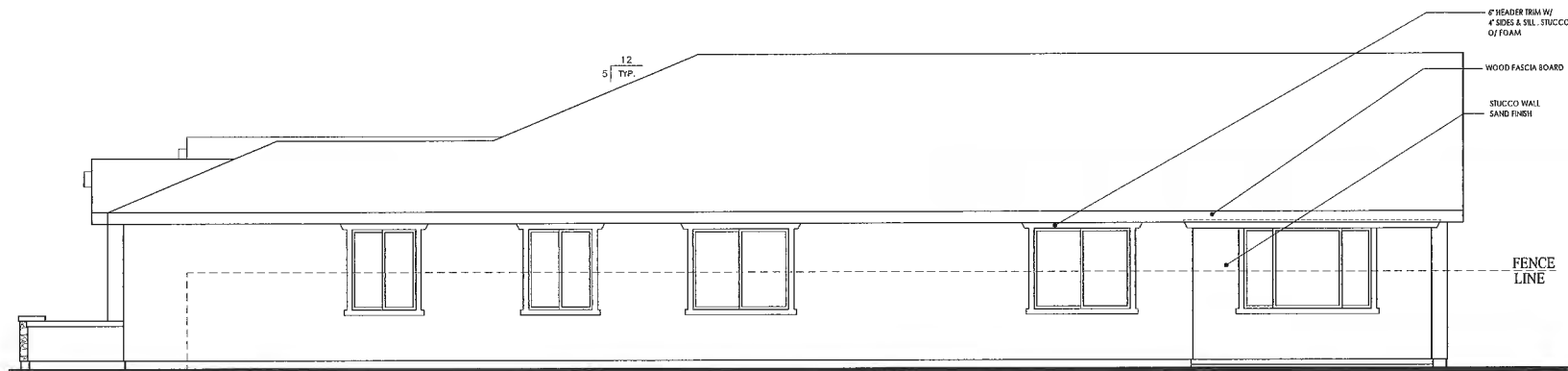
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LENNAR

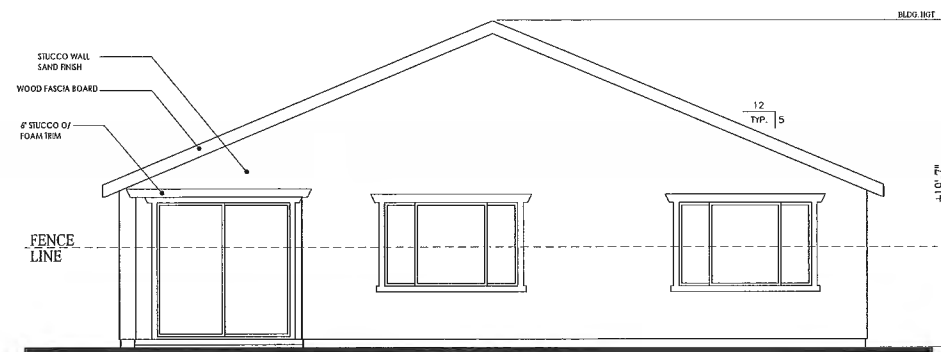
Job #: 15015
Date: 04/29/2015

Rev. 04/29/2015

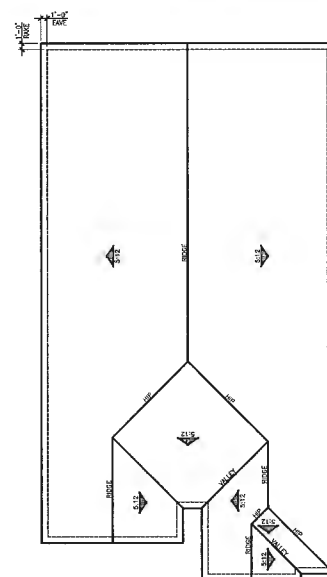
Sheet 02 of 04



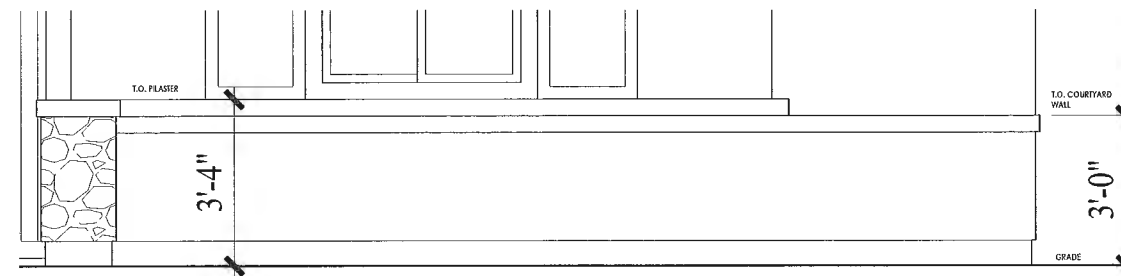
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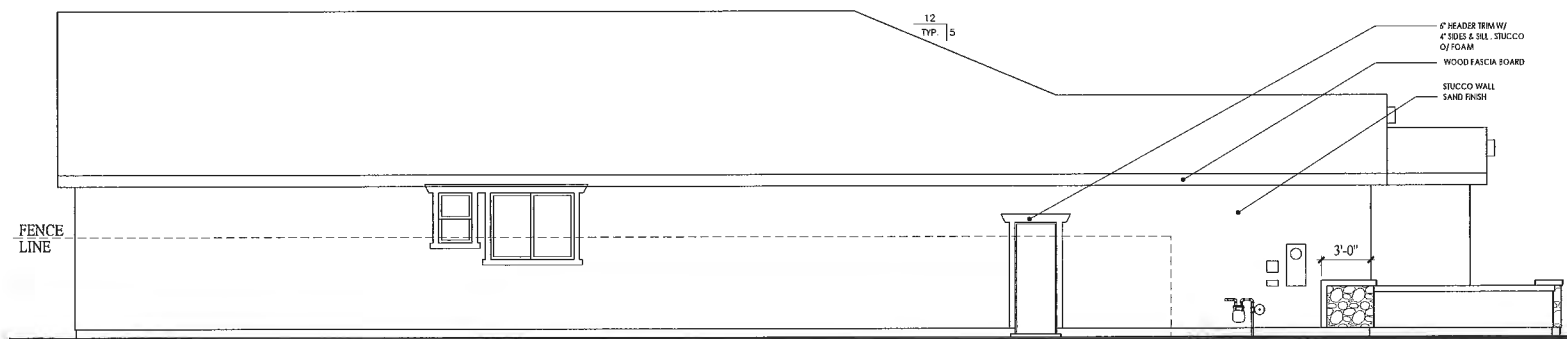
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



COURTYARD WALL
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



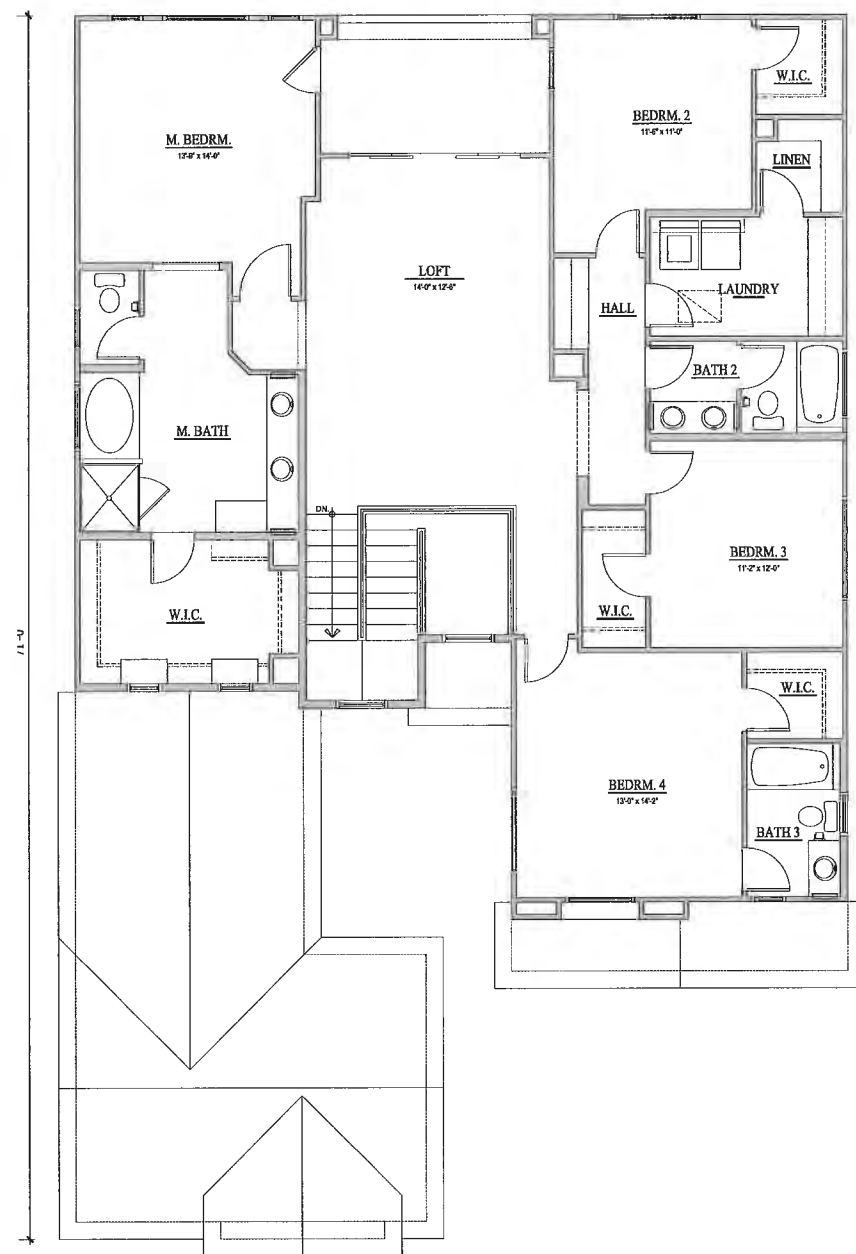
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PLAN 5D - CRAFTSMAN
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

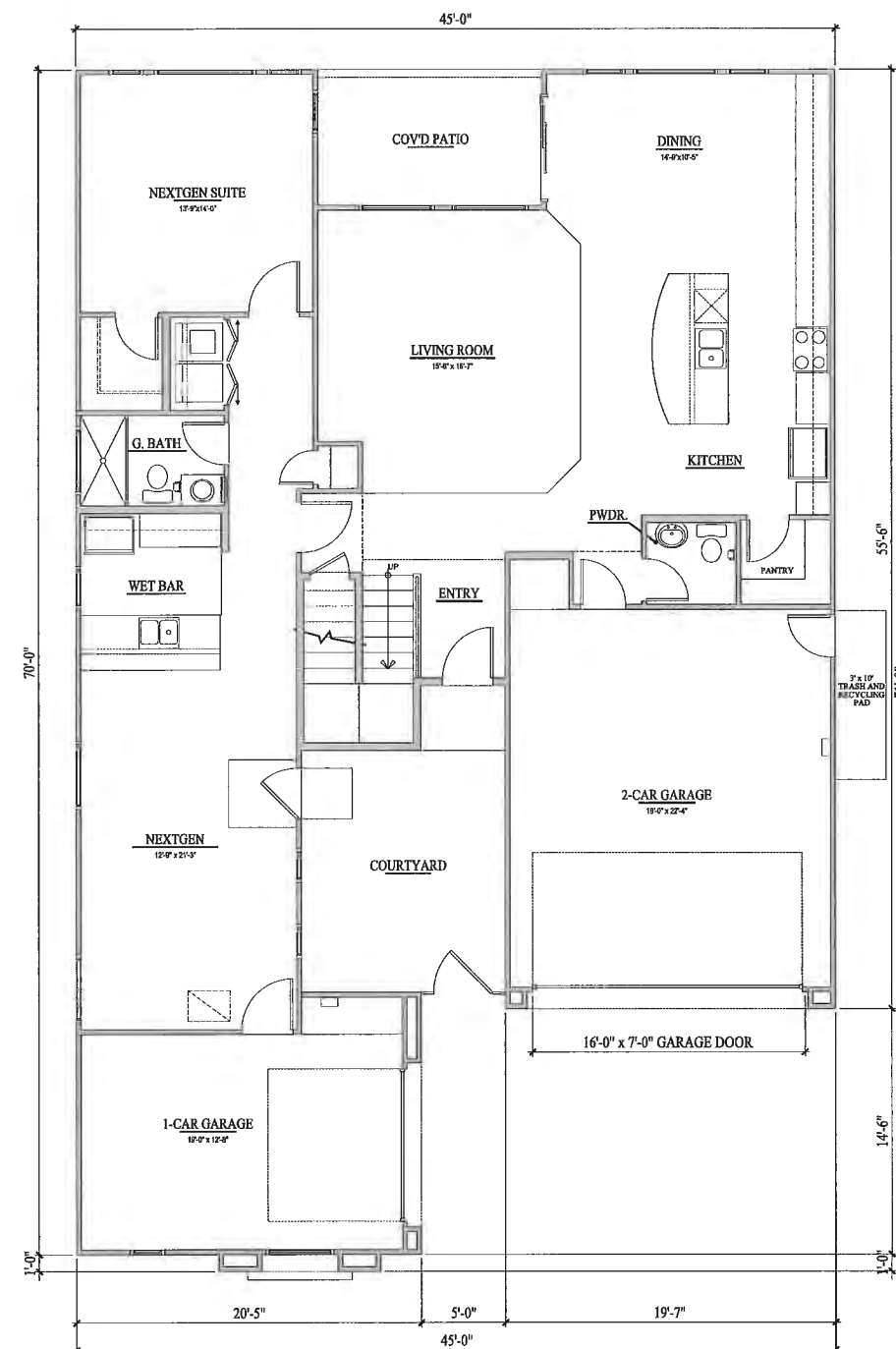
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1/4" = 1'-0" U.N.O. 0 2 4 8 12



SECOND FLOOR PLAN



FIRST FLOOR PLAN

AREA TABULATION		
LIVABLE		2,512 S.F.
1ST FLOOR	1,735 S.F.	
2ND FLOOR	1,777 S.F.	
COVERED ENTRY	26 S.F.	
1-CAR GARAGE	293 S.F.	
2-CAR GARAGE	472 S.F.	
COVERED PATIO	106 S.F.	
COVERED DECK	106 S.F.	
TOTAL AREA		4,514 S.F.



6A
MISSION



6B
PRAIRIE



6E
FARMHOUSE

FRONT ELEVATIONS
PLAN 6 (3512)



6A
MISSION

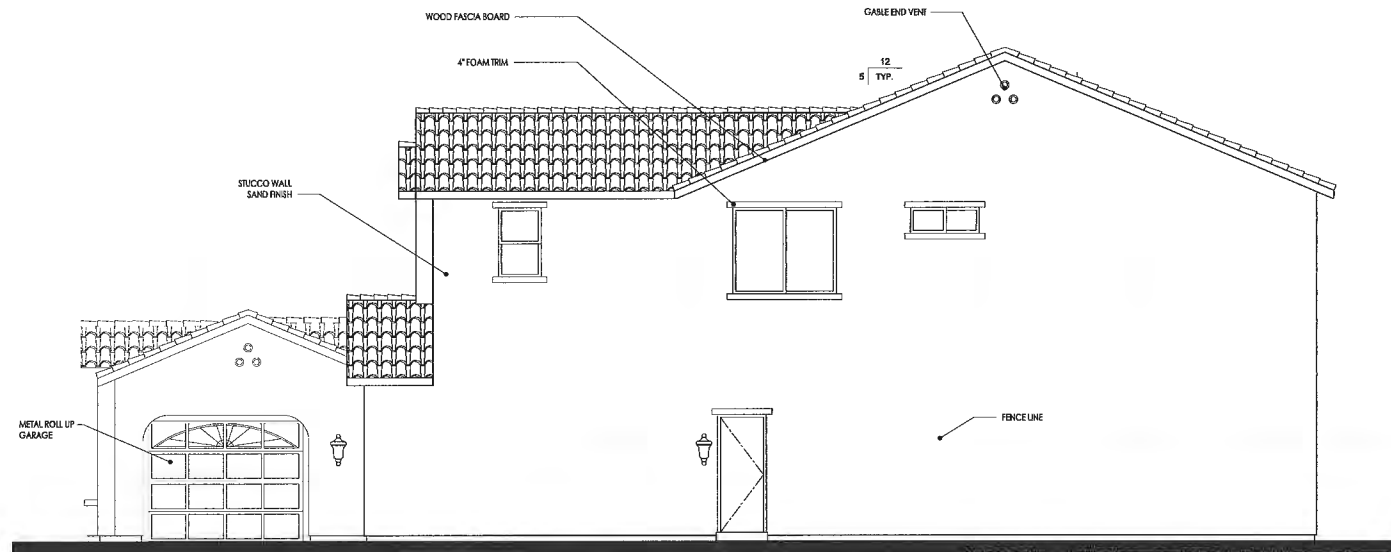


6B
PRAIRIE

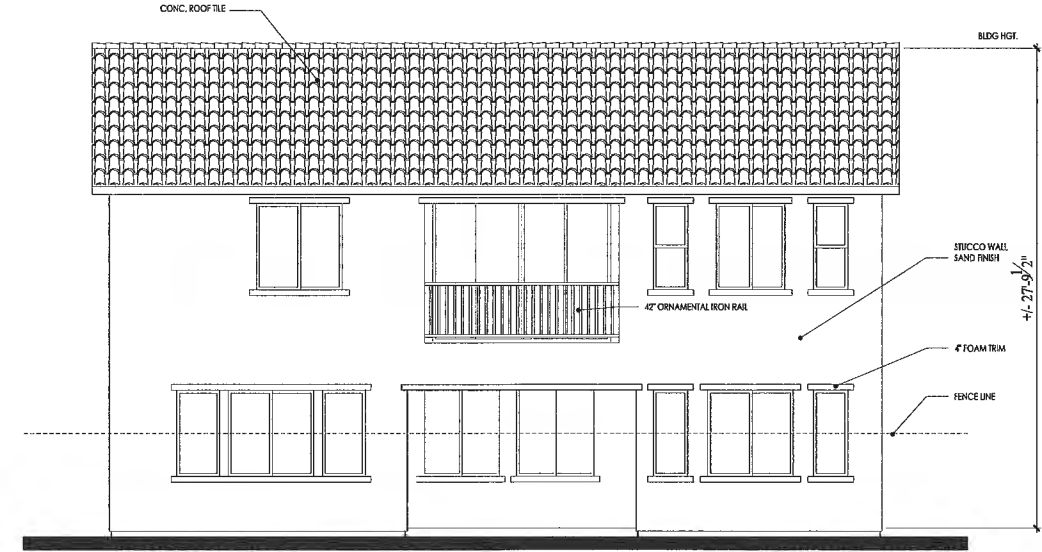


~~6C~~
~~EUROPEAN COUNTRY~~
RE-ELEVATED
6E - FARMHOUSE

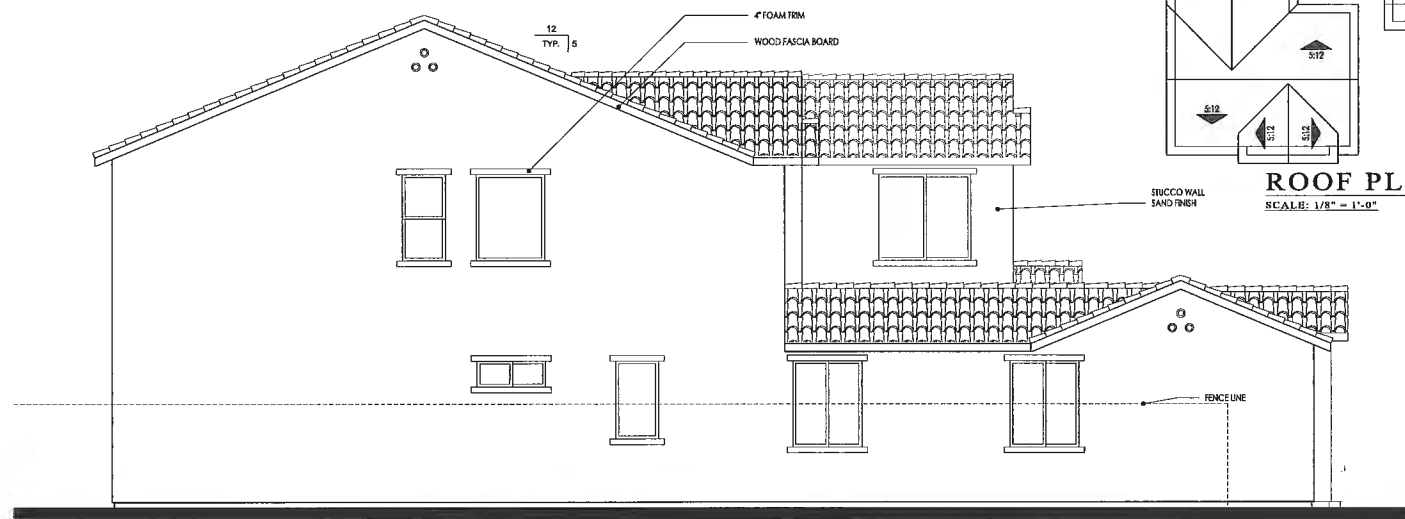
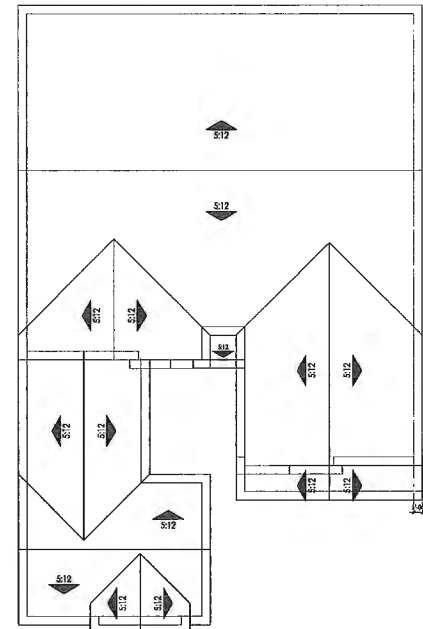
FRONT ELEVATIONS
PLAN 6 (3512)
BROOKSTONE AT SPRING LAKE
City of Woodland, CA



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

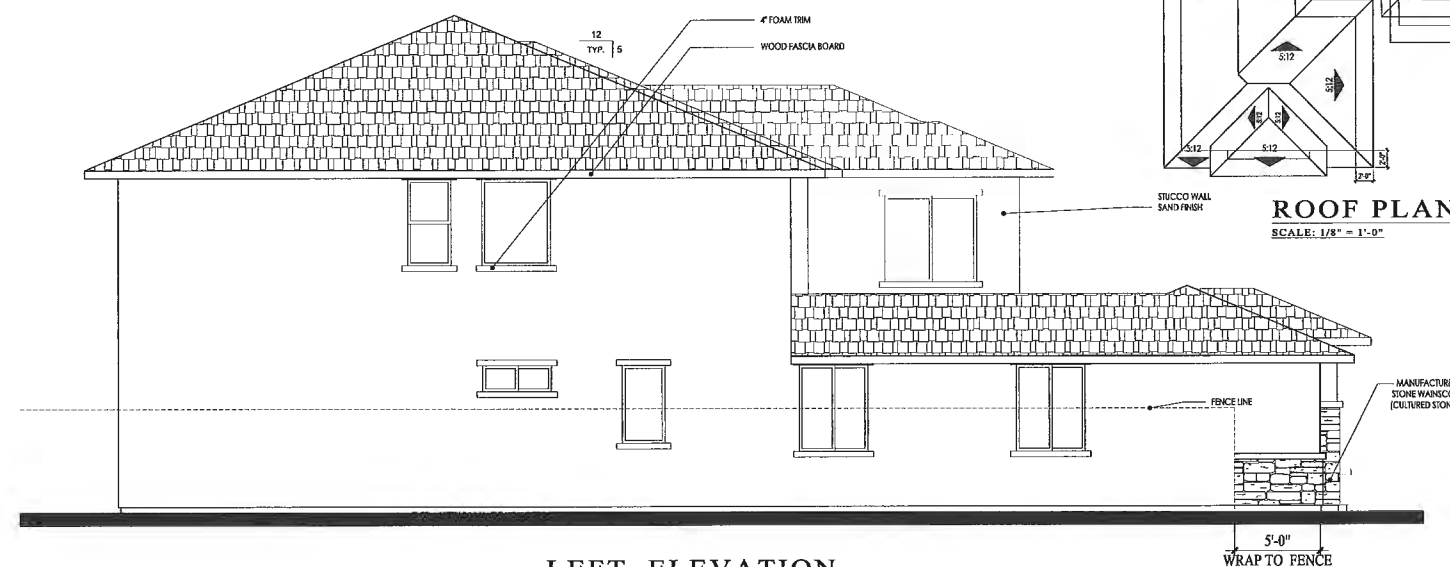
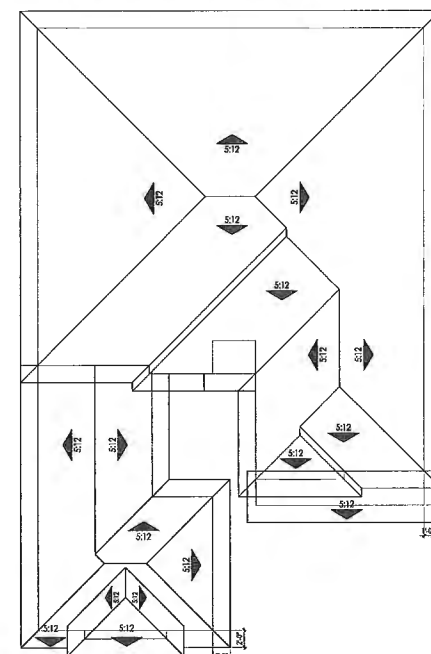
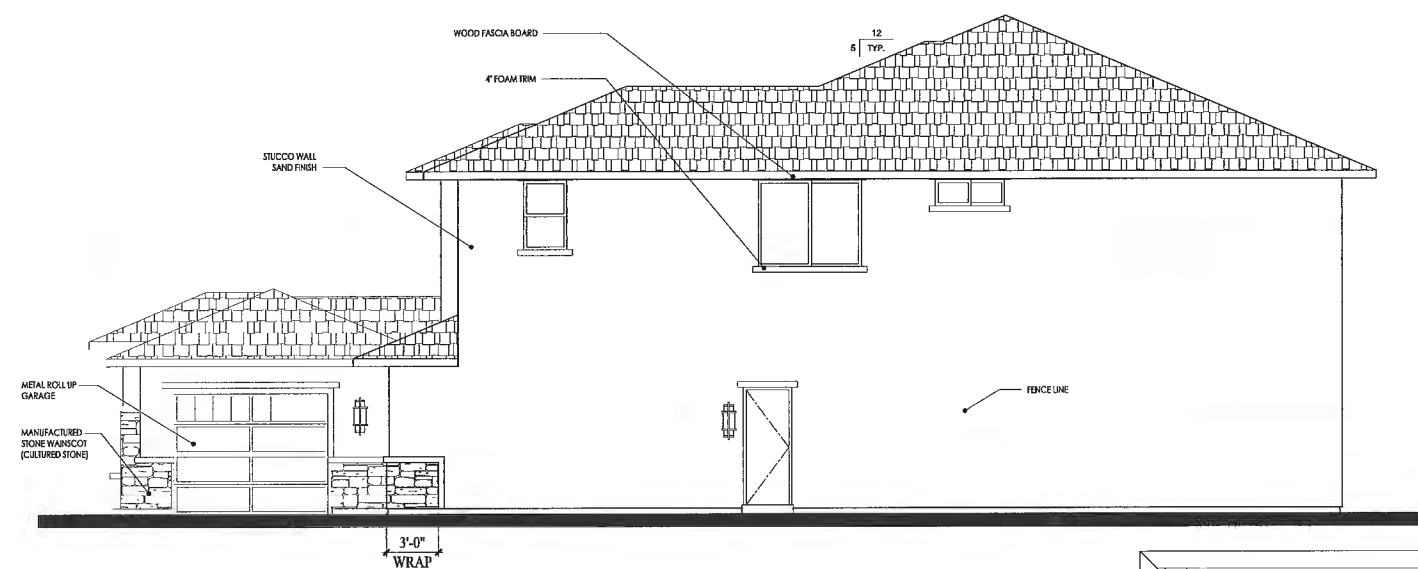
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Date: 04/29/2015

PLAN 6 - MISSION
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

PAZ DESIGN GROUP

1/4" = 1'-0" U.N.O. 0 2 4 8 12

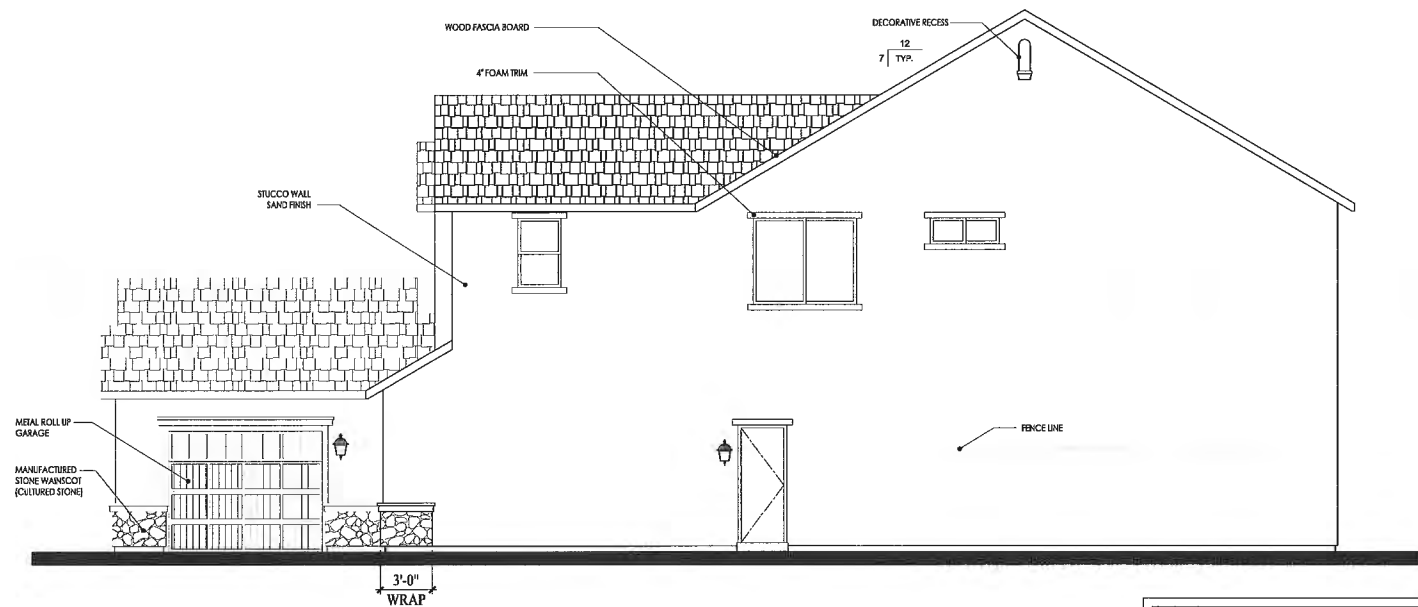
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Date: 04/29/2015

**PLAN 6 - PRAIRIE
BROOKSTONE AT SPRING LAKE**
City of Woodland, CA



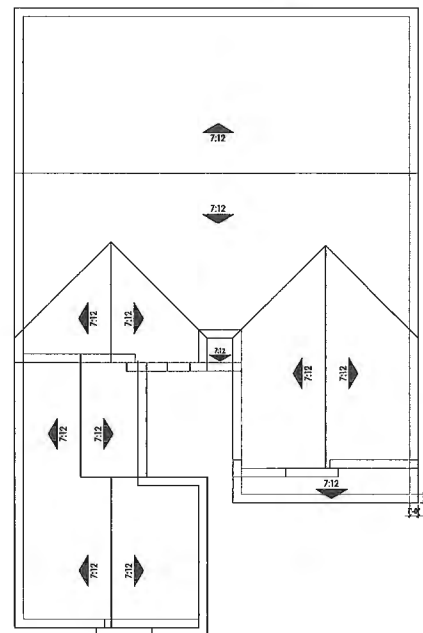
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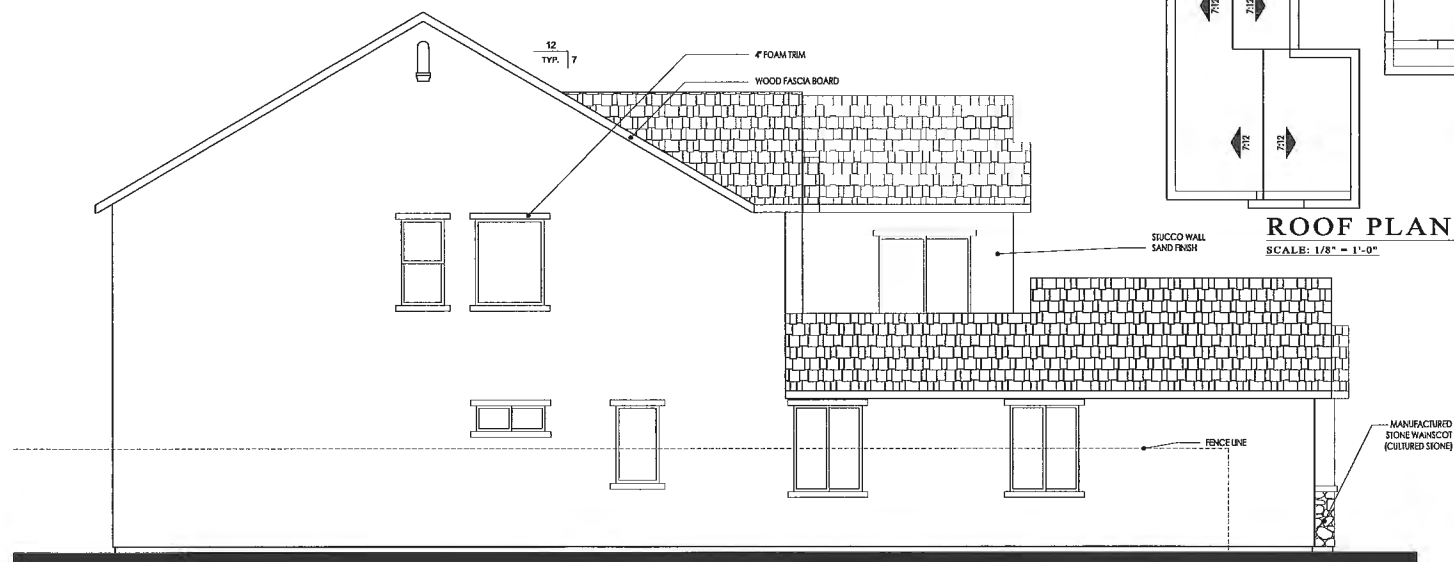
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REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LENNAR

Job #: 15015
Date: 04/29/2015

PLAN 6 - EUROPEAN COUNTRY FARMHOUSE
BROOKSTONE AT SPRING LAKE
City of Woodland, CA

PAZ DESIGN GROUP

1/4" = 1'-0" U.N.O. 0 2 4 8 12

PLANT LIST MATRIX

General design intent shall be the creation of a pleasing mix of plant material as needed to maintain visual interest and a varied but somewhat cohesive streetscape throughout the community. See additional notes below.
See container size recommendations in each section below.
Plant density MINIMUM shall be 1 plant per each 18 square feet of planter area.

STREET TREES: PLAN SYMBOL = (ST) - ALL 15 GALLON SIZE

Street Tree plantings shall be approved by City of Woodland prior to installation. Street tree types and locations by lot shall be shown on final construction drawings. Trees shown on these plans are conceptual only.

Lagerstroemia 'Tuscarora' - standard
Koeleruteria Paniculata
Prunus cerasifera 'Krauter Vesuvius'

Crape myrtle - Pink
Golden Rain Tree
Purple leaf flowering Plum

ACCENT TREES: PLAN SYMBOL = (A) - ALL 15 GALLON SIZE

Installer shall select trees from the following list and attempt to group like trees together per plan. Vary trees from group to group throughout community.
NOTE: Only 1 accent tree to be installed per 2 lots where garages back to one another

Hibiscus syriacus - various colors
Raphiolepis 'Majestic Beauty'
Feijoa sellowiana patio tree

Rose of Sharon patio tree
India hawthorn patio tree
Pineapple guava patio tree

SIDE YARD TREES: PLAN SYMBOL = (SYT) - ALL 15 GALLON SIZE

Installer shall install this tree where shown on ALL side yards throughout community.

Olea Europa - Fruitless - Standard
Fruitless olive tree - single trunk (not multi)

FOUNDATION SHRUBS: PLAN SYMBOL = (F) ALL 6 GALLON SIZE

Installer shall select from the following list and attempt to vary plant groupings somewhat within each lot.
Base selection on planting space provided in each planter area and for desired design intent. For shrubs shown on corner side yards, do not mix varieties within each lot.

Ligustrum texanum
Viburnum tinus 'Spring Bouquet'
Xyloxma congestum 'Compacte'

Texas privet
Laurustinus
Compact shiny xylosma

ACCENT SHRUBS: PLAN SYMBOL = (AS) - ALL 6 GALLON SIZE

Installer shall select accent shrubs from the following list. These plants may vary within each lot and between lots. Installer shall attempt to provide a wide variety of these shrubs with a more random distribution throughout community than other shrub groups listed here.

Lagerstroemia - Bush varieties
Loropetalum 'Purple Majesty'
Coleonema 'Sunset Gold'
Lantana 'Radiation'
Phormium 'Amazing Red'

Bush crape myrtle - all colors
Chinese fringe (purple leaf variety)
Gold breath of heaven
Bush lantana
Striped flax

LAYERING SHRUBS (LARGE): PLAN SYMBOL = (L2) - ALL 6 GALLON SIZE

Installer shall select from the following list for use as a lower layer in front of foundation shrubs above. These should be selected with logical groupings in mind as shown on plan. Plant types may vary within each lot but plant types should remain consistent within each grouping. For side yard shrubs, do not mix varieties within each lot.

Raphiolepis umbellata minor
Hypericum moserianum
Osmanthus heterophyllus 'variegata'
Rosa 'Iceberg'

Compact India hawthorn
Gold flower
Variegated holly leaf osmanthus
White iceberg rose

LAYERING SHRUBS (SMALL): PLAN SYMBOL = (L1) - ALL 6 GALLON SIZE

Installer shall select from the following list for use as a lower layer in front of taller layering shrubs above. These should be selected with logical groupings in mind as shown on plan. Plant types may vary within each lot but plant types should remain consistent within each grouping. For side yard shrubs, do not mix varieties within each lot.

Nandina dom. 'Nana'
Rosa 'Drift' varieties
Spiraea 'Limemound'
Lantana - trailing white or lavender

Dwarf heavenly bamboo
Drift rose (assorted colors)
Limemound spiraea
Trailing lantana

GROUND COVER: PLAN SYMBOL = (HATCH LINES) - ALL 1 GALLON SIZE

General spacing shall be 24" on center for groundcover shrubs.

Myoporum parvifolium 'Putah Creek'
Creeping myoporum

CURBSIDE PLANTER PALLETTE: SEE CURBSIDE PLANTER INSET

Installer shall place shrubs and groundcover approximately per plans, paying special attention to lines of sight for driveway approaches (do not place shrubs within 6 feet of driveway aprons).
Street trees to be installed per approved Street Tree Plan.

Primary groundcover (hatch pattern)

Myoporum parvifolium 'Putah Creek'
Creeping myoporum (24" O.C.)

Larger accent shrubs (A1)

Berberis 'Orange Rocket'
Dietes bicolor
Perovskia 'Blue Spire'

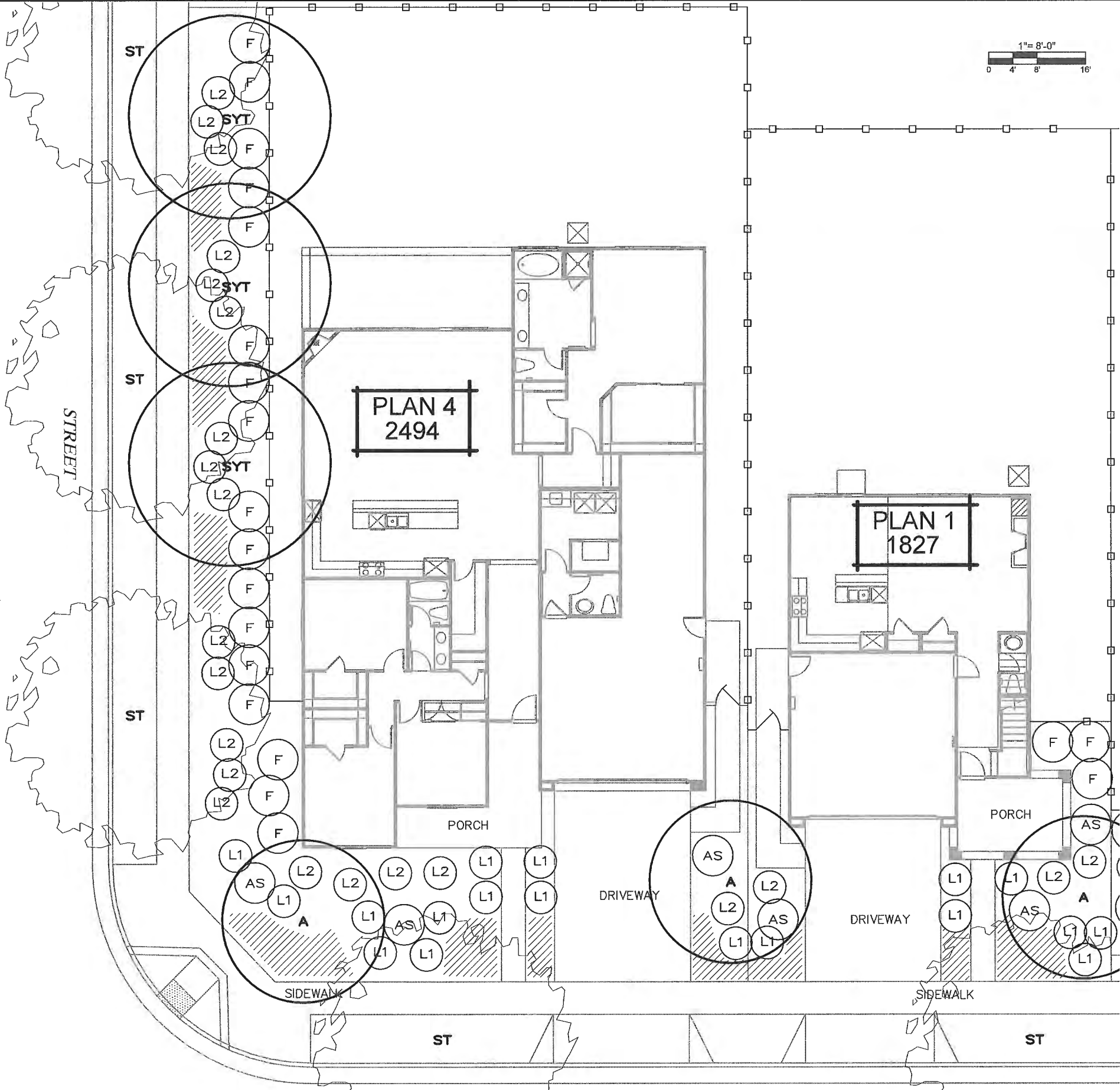
Columnar barberry
Butterfly iris
Russian sage

Medium accent shrubs (A2)

Rosa floral carpet (various colors)
carpet rose

Prostrate accent shrubs (A3)

Lantana - trailing white or lavender
Trailing lantana



BROOKSTONE @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA
LENNAR
1420 ROCKY RIDGE DR. - #320 / ROSEVILLE, CA



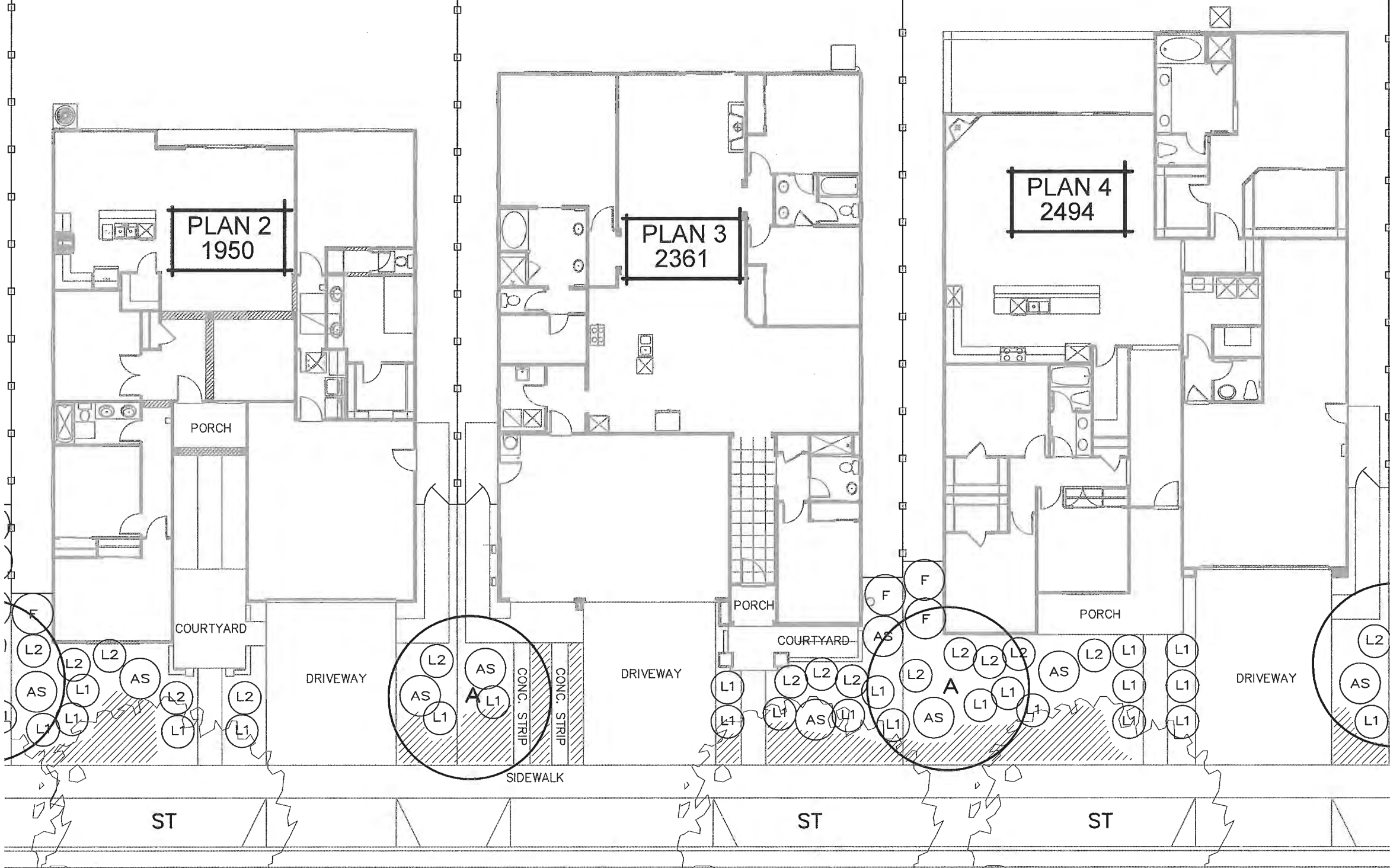
Rev.	Revision	Date

Drawing Title
**CONCEPTUAL
LANDSCAPE
PLAN**

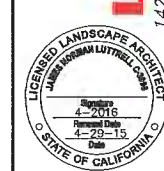
Date
APRIL 29, 2015
Drawn By
JL
Scale
1/8" = 1'-0"

L-1.1

MATCH LINE - SEE SHEET L-1.1



BROOKSTONE @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA
LENNAR
1420 ROCKY RIDGE DR. - #320 / ROSEVILLE, CA

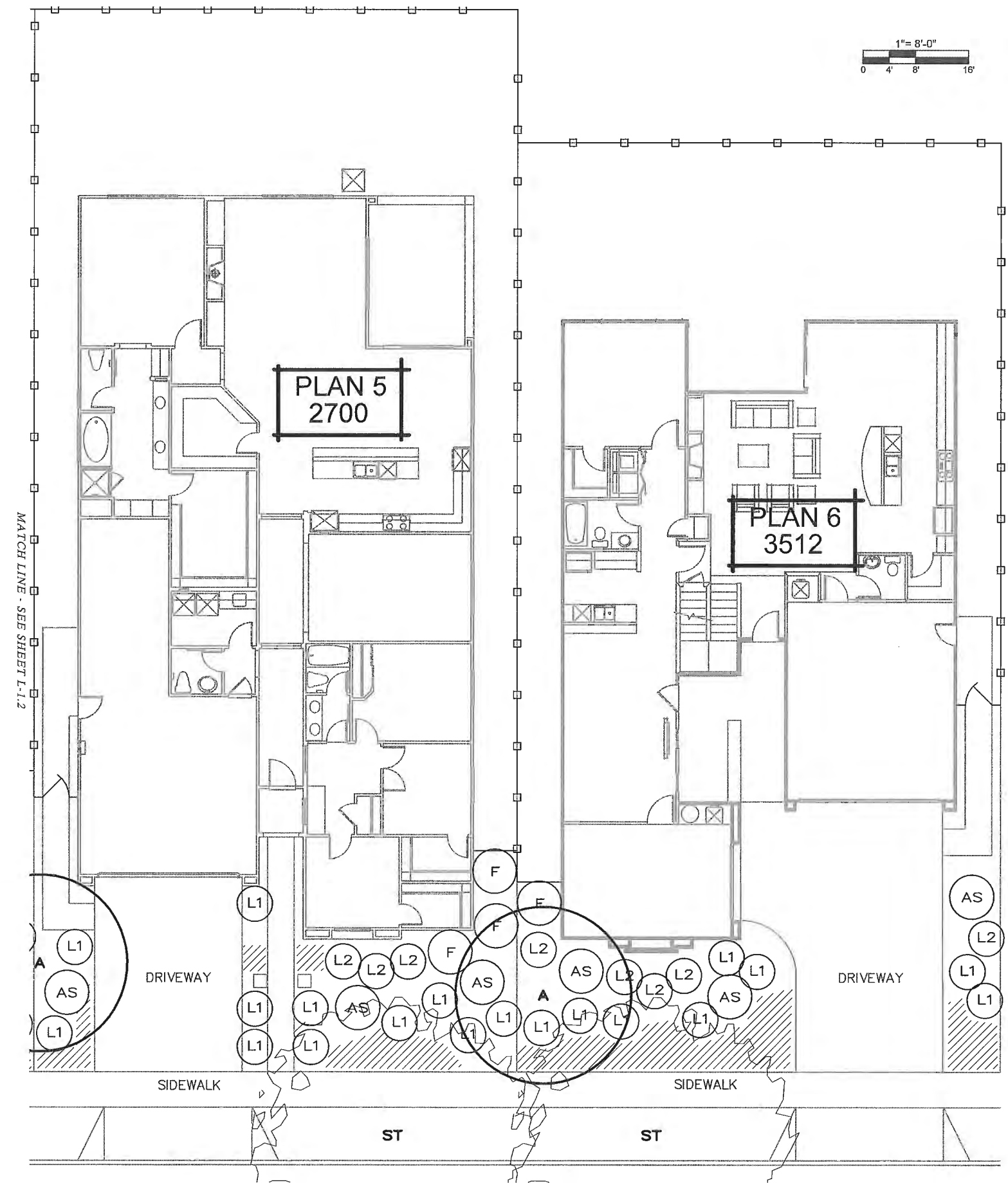
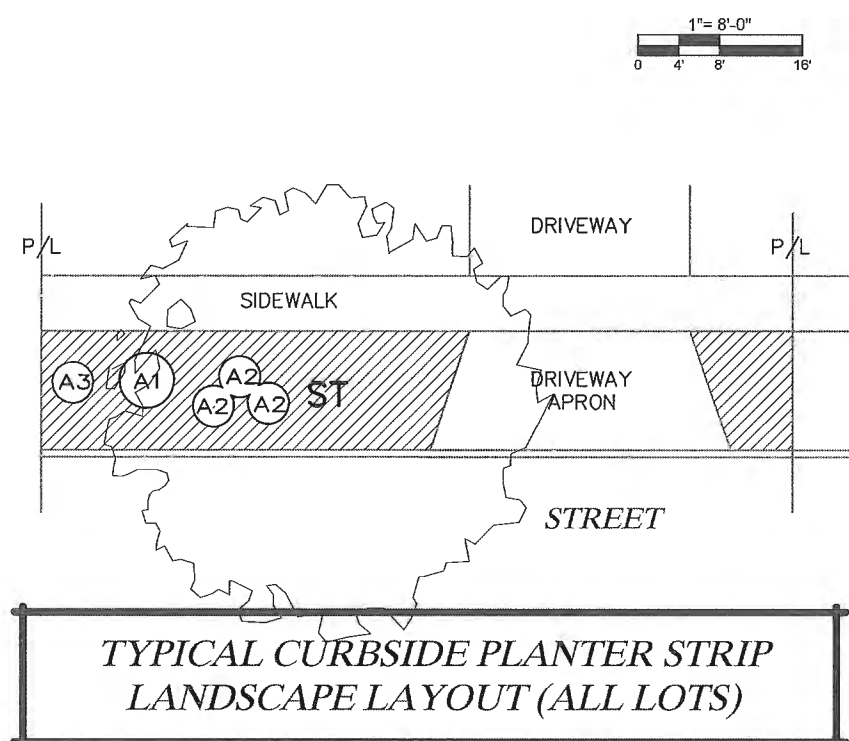


Rev.	Revision	Date

Drawing Title
CONCEPTUAL
LANDSCAPE
PLAN

Date
APRIL 29, 2015
Drawn By
JL
Scale
1/8" = 1'-0"

L-1.2



BROOKSTONE @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA

LENNAR
1420 ROCKY RIDGE DR. - #320 / ROSEVILLE, CA

LICENSED LANDSCAPE ARCHITECT
JAMES NORMAN LUTTRELL, C.A.
Signature: [Signature]
Exp. Date: 4-2016
Plan Date: 2-20-15
State of California

Sign.	Revision	Date

Drawing Title

**CONCEPTUAL
LANDSCAPE
PLAN**

Date: APRIL 29, 2015

Drawn By: JL

Scale: 1/8" = 1'-0"

L-1.3

GENERAL IRRIGATION AND DRAINAGE NOTES:

IRRIGATION:

- Systems are based on a static water pressure of 40 P.S.I. at point of connection. Point of connection is based on 15 gallons per minute max. flow rate at P.O.C. stubbed out at house wall by builder).
- All shrub and groundcover areas shall be drip irrigated.
- All main pressure lines under paving surfaces shall be placed in schedule 40 PVC sleeves (verify sleeve locations on site).

DRAINAGE:

- All areas that cannot be surfaced drained shall be drained using 3" PVC solid drain lines, fittings, inlets, etc. Any areas retaining standing water for more than 2 hours shall be corrected.
- All roof downspouts within property shall be connected to underground drainage system (not shown on plans). This includes all front and rear yard roof downspouts.
- Installer shall place catch basins and / or inlets in appropriate locations throughout each property as needed to minimize standing water (coordinate with homebuilder on site regarding finish grading by others). See standing water condition in note #1 above.
- Installer shall be responsible for providing proper surface drainage throughout site, and in addition, providing proper clearances per local codes and ordinances at house foundation locations.

GENERAL INSTALLATION NOTES

- All shrub and groundcover areas shall receive a 2" minimum layer of bark topdressing. Bark shall be 'Mocha Chips' as available at Hastie's Sand & Gravel / Sacramento, CA (or equal - submit sample for approval).
- Installer shall apply a pre-emergent herbicide to all shrub and groundcover areas per manufacturer's instructions.
- For all tree planting installations, installer shall leave a 24" diameter area around the base of each tree free of any vegetation (including lawn). Bark topdressing may be applied in this area.
- Installer shall make every effort to maintain smooth and even grades throughout contract areas, with no abrupt changes in grade where possible.
- All plant material shall be of acceptable nursery quality. Landscape Architect reserves the right to reject or substitute unacceptable plant material.
- Installer shall make adjustments to plant types and locations as needed if site conditions warrant necessary changes (planter size, sun exposure, etc.)
- All trees (street trees and accent trees) shall be planted no closer than 60" to any water meter box. All other plant material shall be planted no closer than 30" to any water meter box. Distance measurements are from 'centerline to centerline' of meter box to tree / shrub trunk.

STREET

SIDEWALK

SIDEWALK

**TYPICAL LANDSCAPE LAYOUT CALLOUTS
(ALL PLANS)**

1" = 8'-0"
0 4' 8' 16'

6' WOOD FENCE / GATE PER APPROVED DETAIL
(TYP.)

3'-0" CONCRETE WALK
(TYP.)

CURBSIDE PLANTER STRIP (TYP.)

DRIVEWAY

SIDEWALK

4' x 10' CONC. PAD
(TYP.)

3'-0" WIDE CONC.
SERVICE WALK
(TYP.)

PROPERTY LINE
(TYP.)



BROOKSTONE @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA

LENNAR

1420 ROCKY RIDGE DR. - #320 / ROSEVILLE, CA

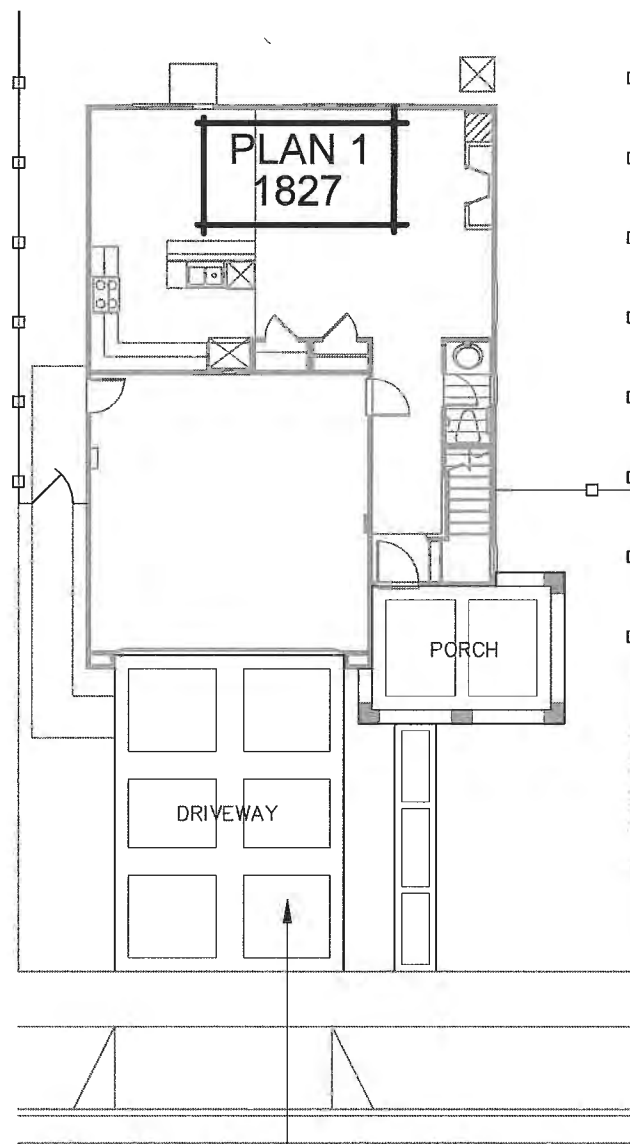


Sym.	Revision	Date

Drawing Title
**TYPICAL
LAYOUT PLAN**

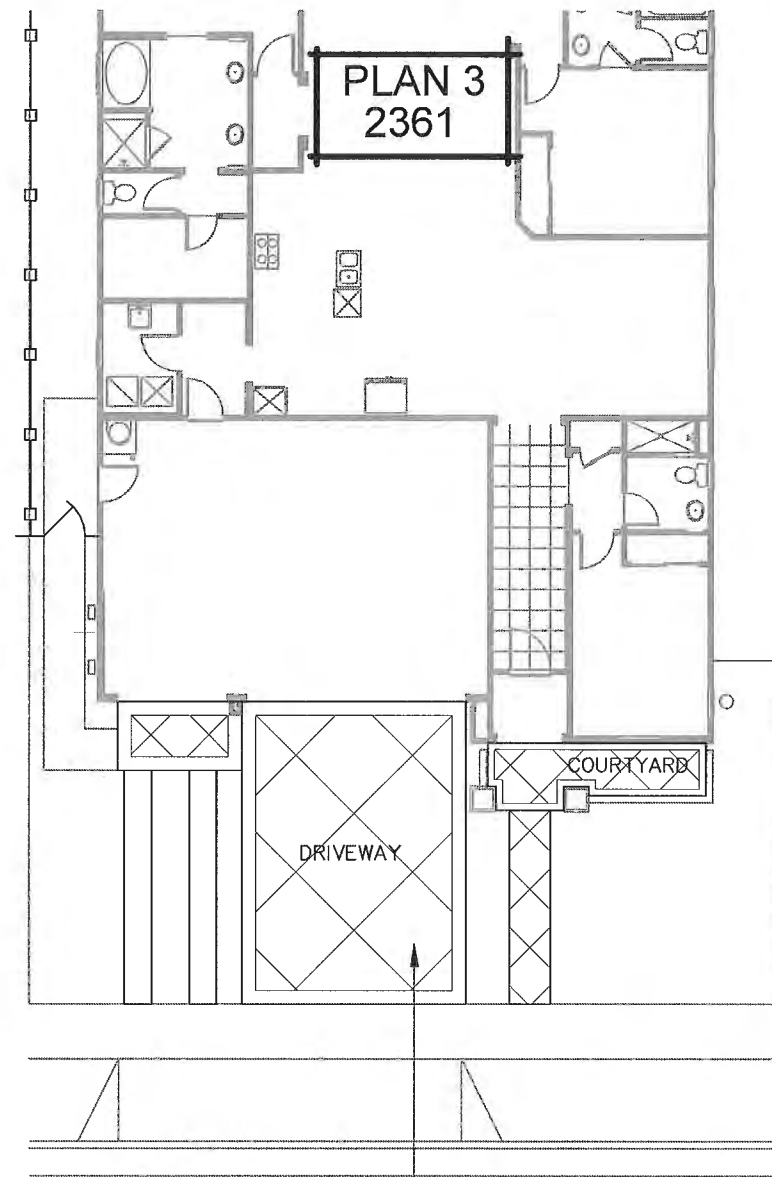
Date: **APRIL 29, 2015**
Drawn By: **JL**
Scale: **1/8" = 1'-0"**

L-2.1



TYPICAL PLANS 1 & 2 CONCRETE SPECIFICATIONS:
(PLAN 1 SHOWN)

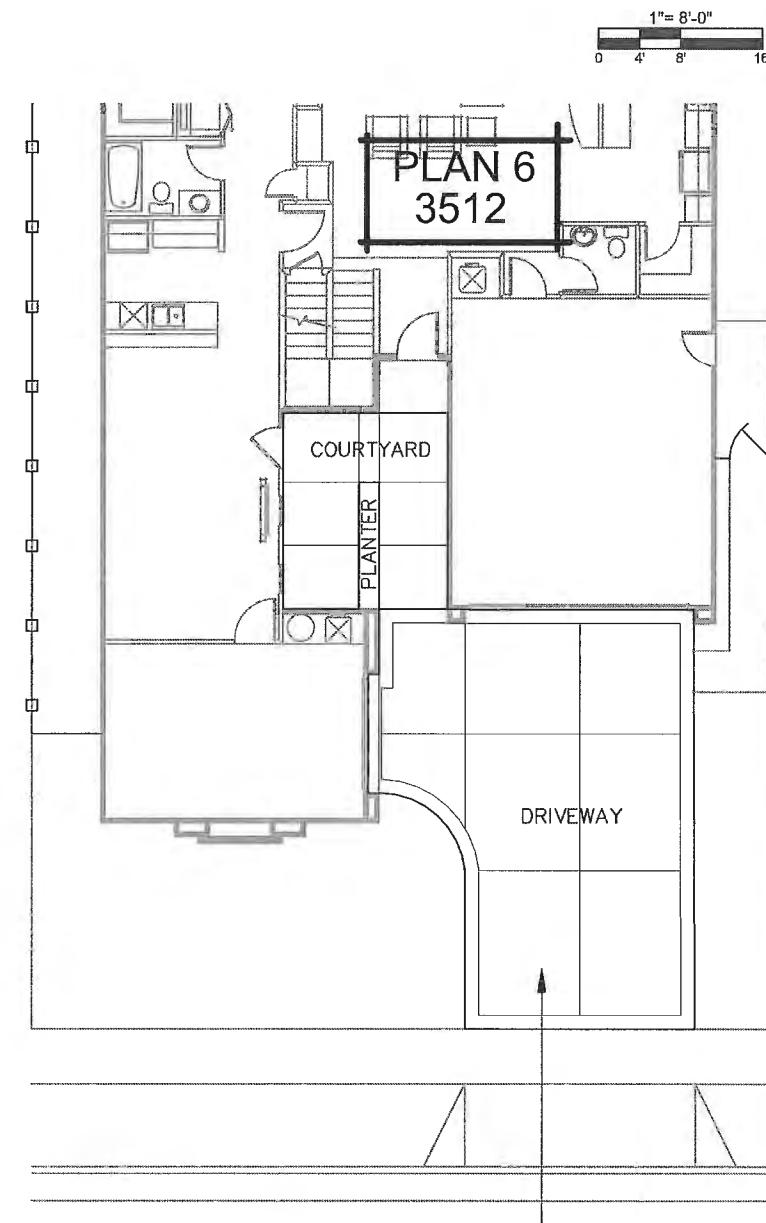
- DRIVEWAY TO HAVE LIGHT BROOM FINISH FIELD AREAS WITH 12" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN
ADD 24" WIDE CENTER BANDS IN DRIVEWAY AS SHOWN
- ENTRY WALKWAY TO HAVE MATCHING LIGHT BROOM FINISH FIELD AREAS WITH 6" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN



TYPICAL PLANS 3 & 4 CONCRETE SPECIFICATIONS:
(PLAN 3 SHOWN)

- DRIVEWAY TO HAVE BROOM FINISH FIELD AREAS WITH +/- 6' WIDE DIAGONAL SCORING - 12" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN (NO DIAGONALS EXCEPT AS NEEDED FOR CONTROL JOINTS)
- ENTRY WALKWAY TO BE LIGHT BROOM FINISH WITH +/- 3' WIDE DIAGONAL SCORING (NO PERIMETER BANDS)

TYPICAL CONCRETE FINISHES
(ALL PLANS)



TYPICAL PLANS 5 & 6 CONCRETE SPECIFICATIONS:
(PLAN 6 SHOWN)

- DRIVEWAY / COURTYARD TO HAVE LIGHT ROCK SALT FINISH FIELD AREAS WITH 12" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN
- ENTRY WALKWAY TO HAVE MATCHING SALT FINISH FIELD AREAS WITH 6" WIDE LIGHT BROOM FINISH PERIMETER BANDS



BROOKSTONE @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA

LENNAR

1420 ROCKY RIDGE DR. - #320 / ROSEVILLE, CA



Syn.	Revision	Date

Drawing Title
CONCRETE FINISHES

Date
APRIL 29, 2015

Drawn By
JL

Scale
1/8" = 1'-0"

L-3.1



Bright Thinking in Solar

Component Specifications

Kiag-Tg aluminum extrusion

- SolarMount™ rails
- Mounting clips and clamps
- Wall legs and L-feet
- Two-piece standoffs

Severe Condition 4 (very severe) zinc-plated welded steel

- One-piece standoffs
- 18-8 stainless steel
- Fasteners

Code Compliant

The SolarMount® system is IEA certified. Call Unirac for documentation applicable to your building code.

Warranty

SolarMount™ is covered by a 10-year limited product warranty and a 5-year limited labor warranty.

For complete warranties, download any SolarMount™ installation manual from our web site.



UNIRAC
A HETI GROUP COMPANY



IEA
PVCS
Product
Certification
Program

Visit us online at www.unirac.com

Step 4: Insert the lag bolt through the components in the order shown in the illustration. Tighten into the rafter.

1. Lag Bolt (Installer Provided)
2. EPDM Washer
3. L-Foot (or other rail attachment piece)
4. Square Aluminum Piece (concave side down)

[illegible]

BUILDER: LENNAR HOMES
1420 ROCKY RIDGE DR, SUITE #320
ROSEVILLE, CA 95661

LOCATION: TRACT NUMBER 2437
EL DORADO HILLS, CA

SolaDeck Installation Instructions

1. Determine the location for the SolaDeck on the roof surface.
2. Use the template from the SolaDeck Carton and position it 1/2" below the shingle line. Trace the outline on the roof (Fig. 1).
3. Use a pry bar to loosen the shingles and remove any nails that will interfere with the flashing sliding beneath the shingles (Fig. 2).
4. Cut the roofing material to the template shape.
5. Inside of the base there are three knockout sizes. Remove the one (s) needed for the conduit fitting (s).
6. Slide the SolaDeck with flashing beneath the shingles into place and trace the knockout hole (s) (Fig. 3).
7. Drill out the traced knockout hole (s) 1/3 larger than the knockout.
8. Slide the SolaDeck base back into place and fasten it to the roof deck with the 1" truss head screws provided. (Fig 4).
9. Use a quality roof sealant to seal the shingles to the SolaDeck flashing.
10. With the base installed, you have several options to wire the SolaDeck enclosure. Use either the sump built into the base or the predetermined centering dimples to knock out a hole for the fitting or conduit size you choose.
 - Dimples at the corners of the base allow for 1/2" or 3/4" fittings.
 - Dimples below the sump allow for 1/2" fittings.
 - These dimple positions accept conduit, liquid tight or strain relief fittings.
11. Peel off the tape on the foam Gasket and position it on the inside of the cover where it will contact the base sump.
12. When connections are complete, finish by fastening the cover to the base using the 8-32 screws with bonded seal washers provided.

***NOTE:** Extra steel studs are provided for installing an isolated negative terminal or power distribution block



3

Requirements

- Use minimum 75 C copper
- Use only code approved, appropriately listed fuse holders and Fuses

Maximum Fuse Rating	30 AMP , 600 Volt
Total Maximum Current Rating	0783-41 / 0786-41 120 AMPS DC
Maximum Fuse Short Circuit Current	10ka
Fuse Holder Torque	13.6 In lb Flat or Phillips Head Driver
Din Rail Mounted Terminal Block Torque	9 - 14 in lb Flat, Head Driver

Wire Size		Torque	
AWG	mm2	In lbs	Nm
14-10	2.1-5.3	35	4
8	8.4	40	4.5
6-4	13.3-21.2	45	5.1
2	13.3-21.2	50	5.7

Wire Size		Torque	
AWG	mm2	Screw Driver	External Drive Wrench
		In lbs	Nm
14-10	2.1-5.3	35	4
8	8.4	40	4.5
6-4	13.3-21.2	45	5.1
Main 20-14	13.3-21.2	0	120

Wire Size		Torque	
AWG	mm2	In lbs	Nm
14-10	2.1-5.3	35	4
8	8.4	40	4.5
6-4	13.3-21.2	45	5.1
2-2/0	13.3-21.2	50	5.7

5

PROJECT: SUMMIT VIEW PHOTOVOLTAIC SYSTEM MASTER PLAN	
SCALE:	NTS
DRAWING TITLE:	EQUIPMENT SPECS
DRAWING NUMBER:	PV-X2

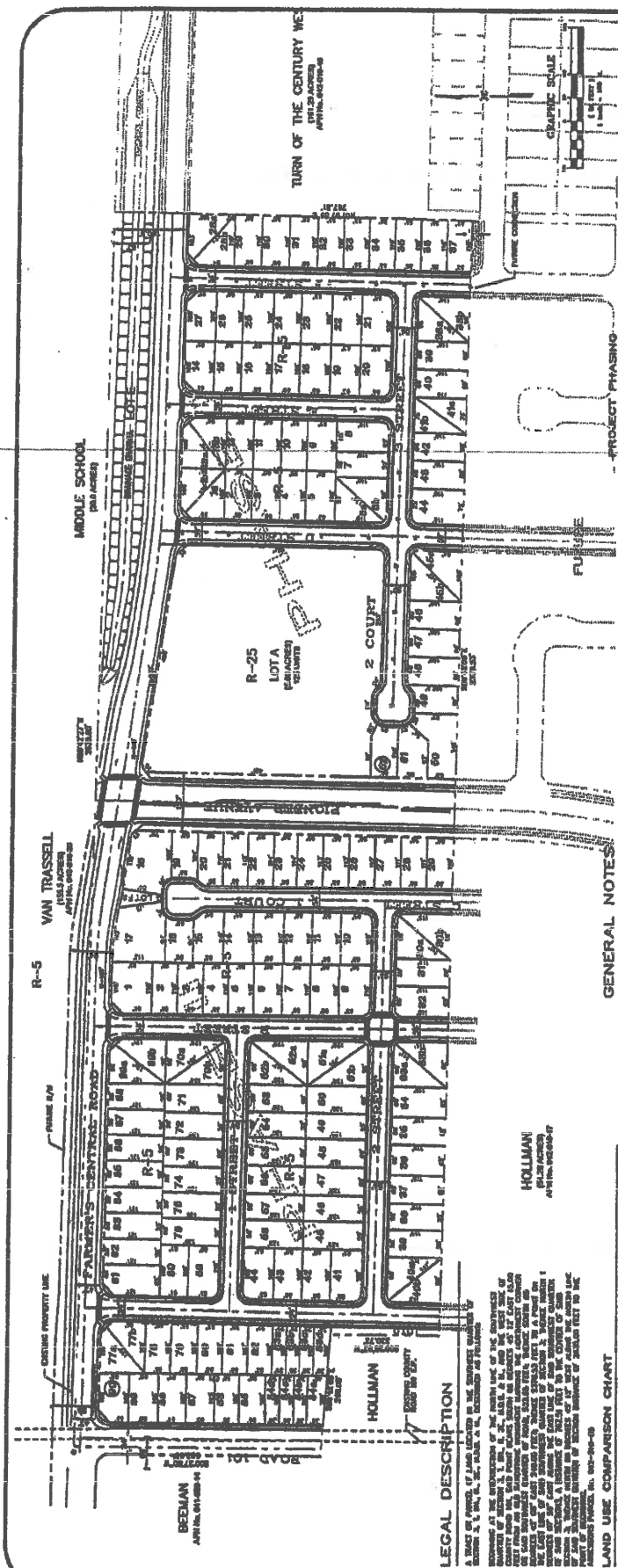
Brookstone at Spring Lake Lot Coverage				
Lot#	Lot Area	Plan ID	Coverage (SF)	Coverage (%)
1	6640	2361	2981	45%
2	5775	1950	2489	43%
3	5775	3512	2564	44%
4	5775	1950	2489	43%
5	5775	1950	2489	43%
6	6300	2361	2981	47%
7	6300	3512	2564	41%
8	6300	2361	2981	47%
9	6789	2361	2981	44%
10	7039	2494	3541	50%
11	6539	3512	2564	39%
12	6539	1950	2489	38%
13	7084	2494	3541	50%
14	7084	2361	2981	42%
15	7083	2494	3541	50%
16	6209	1827	1305	21%
17	7100	1827	1305	18%
18	5842	1827	1305	22%
19	5429	1827	1305	24%
20	6015	2361	2981	50%
21	6021	3512	2564	43%
22	6025	2361	2981	49%
23	6030	1950	2489	41%
24	6034	2361	2981	49%
25	6039	3512	2564	42%
26	6043	1950	2489	41%
27	6048	2361	2981	49%
28	6052	1950	2489	41%
29	6058	2361	2981	49%
30	7022	2494	3541	50%
31	5821	1950	2489	43%
32	7325	2494	3541	48%
33	6055	2361	2981	49%
34	7146	2494	3541	50%
35	5911	1950	2489	42%
36	6712	3512	2564	38%
37	7321	2700	3569	49%
38	7930	2700	3569	45%
39	7318	2700	3569	49%
40	6707	2361	2981	44%
41	7072	3512	2564	36%
42	7500	2700	3569	48%
43	6875	2361	2981	43%
44	7500	2700	3569	48%
45	7500	2700	3569	48%
46	6875	3512	2564	37%
47	7500	2700	3569	48%
48	4625	1827	1305	28%
49	6631	1827	1305	20%
50	6631	1827	1305	20%
51	5625	1827	1305	23%
52	7500	2700	3569	48%
53	6875	2361	2981	43%
54	7500	2700	3569	48%
55	7500	2494	3541	47%
56	6875	3512	2564	37%
57	7500	2700	3569	48%
58	6600	2361	2981	45%
59	6600	1950	2489	38%
60	6600	1950	2489	38%
61	7200	2700	3569	50%
62	6600	3512	2564	39%
63	7200	2700	3569	50%
64	5400	1827	1305	24%
65	6784	1827	1305	19%
66	6657	1827	1305	20%
67	5516	1827	1305	24%
68	7221	2361	2981	41%
69	6621	3512	2564	39%
70	7224	2700	3569	49%
71	6624	2361	2981	45%
72	6626	1950	2489	38%
73	6628	1950	2489	38%
74	6148	1827	1305	21%
75	5220	1827	1305	25%
76	7248	2494	3541	49%
77	7749	3512	2564	33%
78	7388	2494	2489	48%
79	5858	1950	2489	42%
80	5858	3512	2564	44%
81	7388	2494	3541	48%
82	5486	1827	1305	24%
83	6149	1827	1305	21%
84	6509	2361	2981	46%
85	5709	1950	2489	44%
86	6255	2361	2981	48%
87	5727	3512	2564	45%
88	6227	1950	2489	40%
89	5729	3512	2564	45%
90	5754	1950	2489	43%
91	6867	2361	2981	43%
92	5693	1827	1305	23%
93	5029	1827	1305	26%
94	6896	2361	2981	43%
95	5814	1950	2489	43%
96	6321	2361	2981	47%
97	6822	3512	2564	38%
98	5752	1950	2489	43%
99	6566	2361	2981	45%

**ATTACHMENT 5
COURTYARD, PORCH AND GARAGE TABLE**

FEATURE	Story	Front Courtyard (Sq.Ft)	Front Porch (Sq.Ft)	Entry Alcove (depth from front or courtyard wall)	# Garage Spaces/% Front	Garage Setback	House Width	Rear Covered Patio Area (Sq.Ft)	Livable Area/ Total with Patio and Garage (Sq.Ft)
PLAN									
1827	2		15' X 11' 149		2 Car (45%) Measuring the garage door	22'	35'		1827/2400
1950	1	10.2' x 9 92		19'	2 Car (35%)	22'	45'	(Opt) 32	1950/2786
2361	1		5'6" X 5' 4" 29	14.7'	3 Car (53%)/ 2 car opt (35%)	22'	35'		2361/2974
2494	1		161	15'	2 Car (40%)	22'	50'	260	2494/3540
2700	1	5 x 26=130		12'	2 Car (44%)	22'	45'	240	2700/3566
3512	2	20 x 15 = 300	25 (entry)	15'	3 Car (35%)	30'6"	45'	106	3512/4514

The area shown for the courtyards does not include the six (6) foot width across the front entry walk.

- Garage frontage shall not exceed 50% of the house front
- Garages shall be set back from the house front a minimum of 2-feet
- Homes shall not exceed 50% lot coverage



BASIS OF BEARINGS:

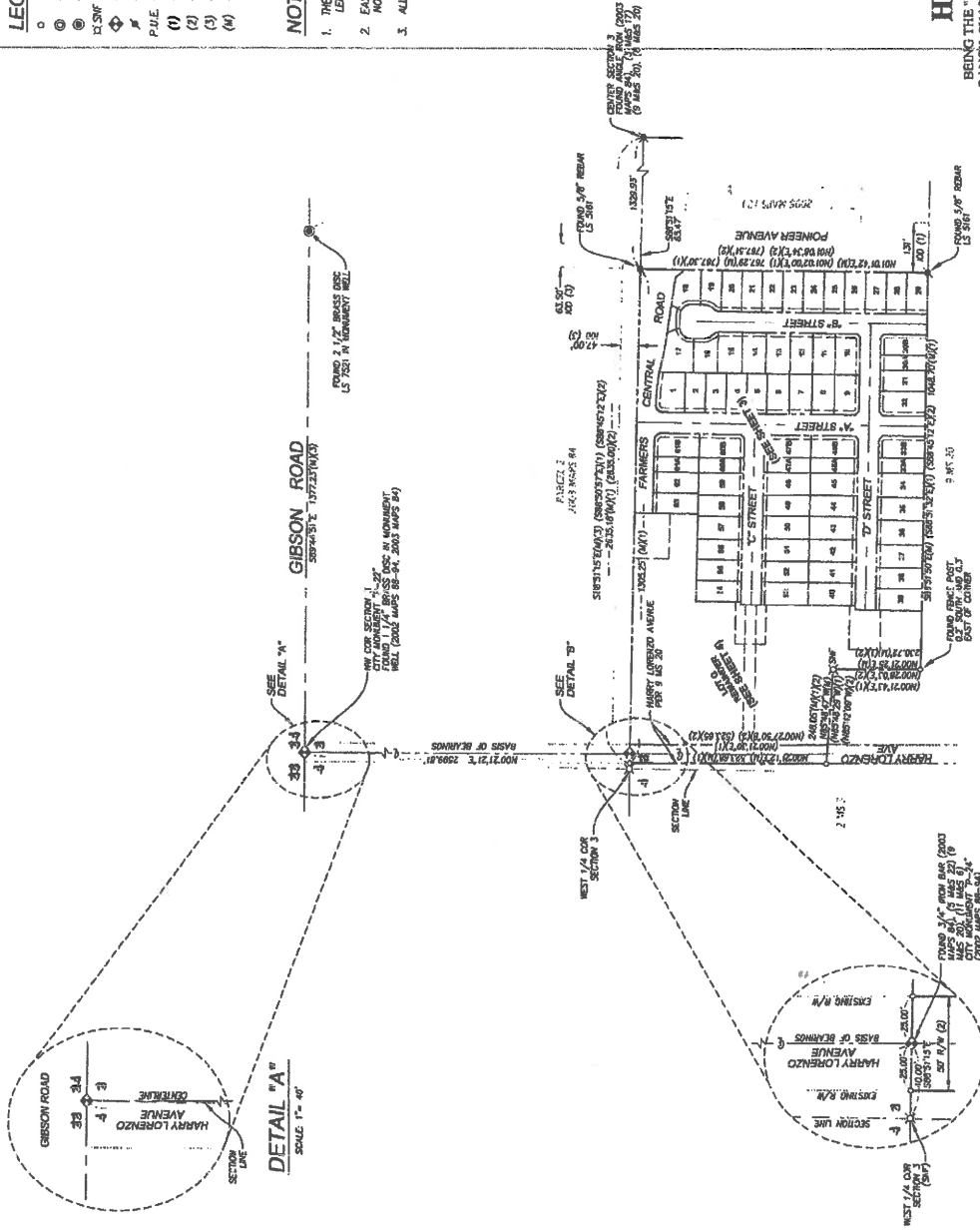
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE LINE FROM P-22 TO P-24, CITY OF WOODLAND GEODETIC CONTROL SURVEY-2002, FILED IN BOOK 2002 OF MAPS AT PAGE 88. DISTANCES ARE GROUND DISTANCES.

LEGEND:

- DIMENSION POINT - NOTHING FOUND OR SET
- ⊙ SET CITY STANDARD MONUMENT - LS 3161
- ⊙ FOUND BRASS CAP IN MONUMENT WELL
- ⊙ MONUMENT SEARCHED FOR - NOT FOUND
- ⊙ FOUND CITY OF WOODLAND MONUMENT AS DESCRIBED
- ⊙ FOUND MONUMENT AS DESCRIBED
- P.U.E. PUBLIC UTILITY EASEMENT
- (1) RECORD DATA PER 2006 MB 124
- (2) RECORD DATA PER 9 MS 20
- (3) RECORD DATA PER 2003 MB 84
- (M) MEASURED

NOTES:

1. THE SUM OF THE PARTS OF A LINE OR CURVE MAY NOT BE EQUAL TO THE WHOLE LENGTH DUE TO ROUNDING.
2. EASEMENTS OR OTHER ENCUMBRANCES MAY AFFECT SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREIN.
3. ALL DISTANCES SHOWN ARE GROUND DISTANCES.



SUBDIVISION MAP NO. 4986 HEIDRICK RANCH, PHASE 2

BEING THE "REMAINDER" AS SHOWN ON SUBDIVISION MAP NO. 4670, "HEIDRICK RANCH, PHASE 1", FILED ON JUNE 19, 2006 IN BOOK 2006 OF MAPS AT PAGE 124-127, IN THE OFFICE OF THE YOLO COUNTY RECORDER, YOLO COUNTY, CALIFORNIA.

CITY OF WOODLAND YOLO COUNTY STATE OF CALIFORNIA

CUNNINGHAM ENGINEERING

AUGUST 2010

SHEET 2 OF 4

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE LINE FROM P-22 TO P-24, CITY OF WOODLAND GEOMETRIC CONTROL SURVEY-2002, FILED IN BOOK 2002 OF MAPS AT PAGE 88. DISTANCES ARE GROUND DISTANCES.

LEGEND:

- DIMENSION POINT - NOTHING FOUND OR SET
- ⊙ SET CITY STANDARD MONUMENT - LS 5161
- ⊙ FOUND BRASS CAP IN MONUMENT WELL
- ⊙ MONUMENT SEARCHED FOR - NOT FOUND
- ⊙ FOUND CITY OF WOODLAND MONUMENT AS DESCRIBED
- ⊙ FOUND MONUMENT AS DESCRIBED
- ⊙ PUBLIC UTILITY EASEMENT
- (1) RECORD DATA PER 2006 ME 124
- (2) RECORD DATA PER 9 MS 20
- (3) RECORD DATA PER 2003 ME 84
- (4) MEASURED

NOTES:

1. THE SUM OF THE PARTS OF A LINE OR CURVE MAY NOT BE EQUAL TO THE WHOLE LENGTH DUE TO ROUNDING.
2. EASEMENTS OR OTHER ENCUMBRANCES MAY AFFECT SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
3. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
4. SEE SHEET 2 FOR BOUNDARY INFORMATION.
5. SEE SHEET 4 FOR CURVE INFORMATION.



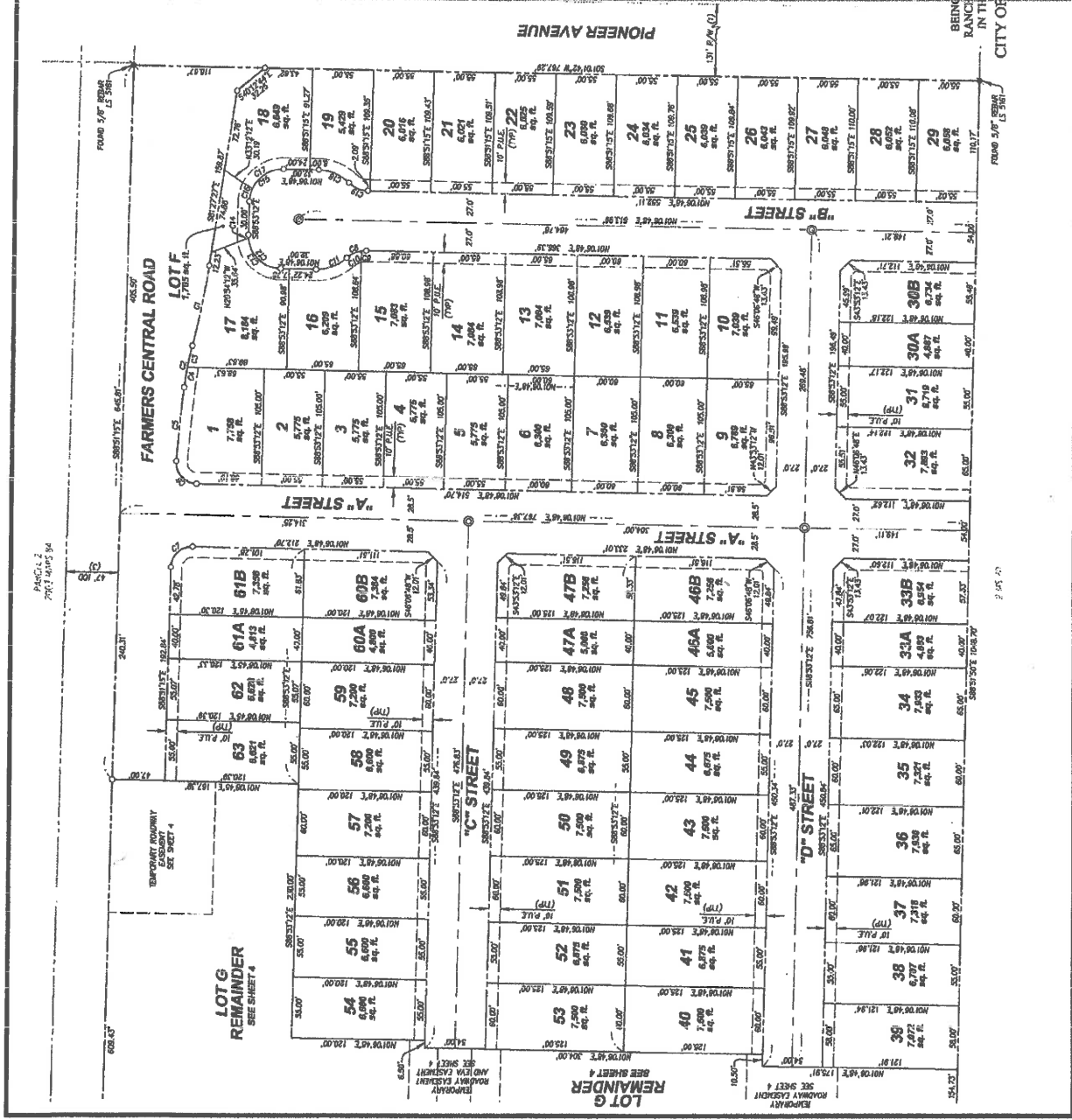
**SUBDIVISION MAP NO. 4986
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CITY OF WOODLAND YOLO COUNTY STATE OF CALIFORNIA
CUNNINGHAM ENGINEERING

AUGUST 2010
SHEET 3 OF 4

91232



Legislation Text

File #: 13-131, Version: 1



City of Woodland

STAFF REPORT

TO: THE HONORABLE MAYOR AND CITY COUNCIL

DATE: August 20, 2013

SUBJECT: Second Reading of Ordinance No. _____ An Ordinance of the City Council of the City of Woodland approving Heidrick Ranch Phase II Development Agreement Amendment between the City of Woodland and Pioneer Investors LLC

Recommendation for Action

Staff recommends that the City Council adopt Ordinance No. _____, approving the Development Agreement Amendment between the City of Woodland and Pioneer Investors, LLC and modified Conditions of Approval

Staff Contact

Paul Hanson, AICP, Senior Planner - 530-661-5820, paul.hanson@cityofwoodland.org

Fiscal Impact

There is no fiscal impact related to the adoption of this ordinance.

Background

On April 6, 2004, the City Council approved the ±44.64 acre, Heidrick Ranch Vesting Subdivision Map No. 4670 consisting of 141 single-family lots at an R-5 density (Phases I & II) and a remainder parcel (Lot "A") at an R-25 density. The approval included zoning, vesting tentative subdivision map, and development agreement. Phase I of the map was recorded and single-family homes have been constructed on a majority of the lots, and the multi-family site has site plan and design approval. On October 21, 2010, the City Council approved a Development Agreement Amendment between the City of Woodland and Pioneer Investors, LLC for Heidrick Phase II and a revised phasing of the approved Heidrick Ranch Tentative Map (21.57-acre parcel (APN 041-010-087)). Subsequently, the Applicant has submitted a request to further amend the Development Agreement to remove conditions that no longer apply and to provide further clarification to infrastructure requirements.

This is the second reading of the ordinance to approve the Development Agreement Amendment.

Discussion

Staff is recommending approval of the requested Development Agreement conditions of approval deletions because the conditions are no longer necessary.

- Condition 58 was an interim condition, while City staff finalized the use of fee credits. As of March 5, 2013, the City has amended the BUA Ordinance and adopted administrative guides for the use of fee credits.
- Condition 1 (b & e) concerning the widening of Pioneer Avenue no longer applies because Pioneer Avenue has been completed using other SLIF funding.

Staff is also recommending approval of Development Agreement conditions of approval amendments to the Harry Lorenzo Avenue (County Road 101) Condition (a) and Farmers Central Road Conditions (j, k, and l) in order to provide for clarification for the required infrastructure improvements. Further, in recognition of importance of ensuring adequate biking facilities, Pioneer Avenue Condition (c.) has been amended to expand the planned 6' sidewalk on the west side of Pioneer Drive to accommodate a 10' wide multi-use path and modify the bus stop configuration. A complete strikethrough and double underline version of the conditions of approval is provided in Attachment "2".

Conclusion

Staff recommends that the City Council adopt Ordinance No. _____, approving the Development Agreement Amendment between the City of Woodland and Pioneer Investors, LLC and modified Conditions of Approval

Prepared by: Paul L Hanson, AICP, Senior Planner

Reviewed by: Cindy Norris, Principal Planner

Reviewed by: Ken Hiatt, Community Development Director



Paul Navazio
City Manager

Attachment 1 - Ordinance No. _____

Attachment 2 - Findings and Conditions of Approval

Attachment 3 - July 16, 2013 CC Staff Report

ATTACHMENT 1

ORDINANCE NO. 1553

AN ORDINANCE OF THE CITY OF WOODLAND APPROVING THE DEVELOPMENT AGREEMENT AMENDMENT BETWEEN THE CITY OF WOODLAND AND PIONEER INVESTORS, LLC – HEIDRICK RANCH II RELATIVE TO PROPERTY LOCATED WITHIN THE SPRING LAKE SPECIFIC PLAN AREA

The City Council of the City of Woodland DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. Purpose. The purpose of this Ordinance is to approve an amendment to the Pioneer Investors LLC - Heidrick Ranch II Development Agreement (the "Agreement Amendment") entered into between the City of Woodland and Pioneer Investors, LLC, relative to the use and development of the property located within the Spring Lake Specific Plan Area, which is more particularly described in said Agreement.

Section 2. Findings. The City Council hereby finds and declares:

1. The City Council previously certified an Environmental Impact Report for the Spring Lake Specific Plan (Turn of the Century EIR, SCH #99022069; August 15, 2000) and adopted addendums to the Turn of The Century EIR. No additional environmental review of the Agreement is required by law, ordinance, or regulations.
2. The City Council adopted Ordinance No. 1390 on April 6th, 2004, approving a Development Agreement between the City of Woodland and Pioneer Investors, LLC relative to Heidrick Ranch II. This Agreement Amendment amends the Development Agreement approved through Ordinance No. 1390 approved on April 6th, 2004 and amended December 14, 2010.
3. Modified Findings of Fact and Conditions of Approval are incorporated into the Agreement Amendment as shown in Attachments "C" & "D."
4. Public hearings on the Agreement Amendment were held by the Planning Commission and City Council and notices of these hearings were given in the form and at the times required by state law and City ordinances and resolutions.
5. The City Council has considered the findings and recommendation of the Woodland Planning Commission. The City Council accepts those findings and recommendation, and incorporates them herein by this reference.
6. The Agreement Amendment is consistent with the objectives, policies, land uses, and programs specified in the City General Plan and the Spring Lake Specific Plan.
7. The Agreement Amendment satisfies the fiscal policies of the General Plan.

8. The Agreement Amendment is consistent with and conforms to the requirements of Government Code Sections 65864-65869.5.

9. The Agreement Amendment is consistent with the provisions of Resolution No. 3542 of the City Council Establishing Procedures for Consideration of Development Agreements and the provisions of Resolution No. 4330 Approving the Spring Lake Specific Plan.

Section 3. Approvals. The Agreement Amendment is hereby approved and the Mayor and City Clerk are authorized and directed to execute said Agreement Amendment on behalf of the City of Woodland.

The City Clerk shall cause the Agreement Amendment to be recorded in the Official Records of Yolo County upon execution, but in no event prior to the effective date of this ordinance.

Section 4. Effective Date and Notice. This ordinance shall take effect thirty (30) days after its adoption and, within fifteen (15) days after its passage, shall be published at least once in a newspaper of general circulation published and circulated within the City of Woodland.

PASSED AND ADOPTED by the City Council this 20th day of August, 2013, by the following vote:

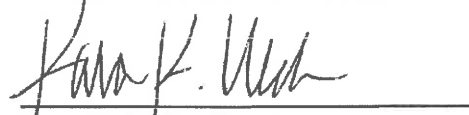
AYES:	Council Members Denny, Hilliard, Marble, Stallard and Davies
NOES:	None
ABSENT:	None
ABSTAIN:	None


Marlin H. Davies, Mayor

ATTEST:


Ana B. Gonzalez, City Clerk

APPROVED AS TO FORM:


Kara K. Ueda, City Attorney

DEVELOPMENT AGREEMENT AMENDMENT BETWEEN CITY OF WOODLAND AND PIONEER INVESTORS, LLC – HEIDRICK RANCH II

This Development Agreement Amendment is entered into effective on the date it is recorded with the Yolo County Recorder by and among the City of Woodland, a California general law city, Pioneer Investors, LLC, a California limited liability company.

Development Agreement Conditions of Approval as shown in strikethrough for deletions and double underline for new text, is hereby amended as follows.

- a. ~~No fee credits may be used toward payment of Spring lake Infrastructure Fee (SLIF) obligations, regardless of whether such credits are held, transferred or generated until such time that the First Release property owners owed reimbursement for oversizing improvements have been fully reimbursed in accordance with the Funding and Reimbursement Agreement (FRA) dated September 7, 2004 (including, but not limited to, Sections 2.3, 2.7, 2.8), or until such time that the FRA may be amended to allow the use of fee credits prior to the complete reimbursement of the First Release property owners.~~
1. Pioneer Drive
- b. ~~Widen the southbound lanes for the segment of Pioneer Avenue, from East Gibson Road to Collector 4, to its ultimate width. Upon the approval of the final map that triggers the 1000th unit in the SLSP planning area east of Highway 113. Bus turn out is required on Pioneer Avenue for southbound traffic south of Collector 4. Within 10 days of approval of this DA amendment the City shall invoice the Pioneer Investors, LLC for the Heidrick map's fair share of the widening of Pioneer Avenue between East Gibson Road to Collector 4 to its ultimate width. The amount of the invoice is \$268,972.02. Applicant shall pay the invoiced amount within 21 days of invoice and prior to any final maps.~~
- c. Full roadway improvements on Pioneer Ave. from the intersection of Farmers Central Rd. to the south boundary of the tentative map shall be constructed with the first final map west of Pioneer Avenue. The standard street section for this section of Pioneer Ave. shall be amended to incorporate a 10' wide multi-use path on the west side of Pioneer Avenue. The incorporation of the multi-use path will not require revisions to the lotting plan or curb-to-curb dimension of the street and shall be submitted to the satisfaction of the Community Development Director. Additionally, the bus turnout on the west side of Pioneer Avenue south of the intersection of Farmers Central Road shall be modified to consist of a curbside bus stop with reinforced concrete street section and shelter/pad to the satisfaction of the City Engineer. Full improvements shall include curb, gutter, sidewalk/path and landscaping on both sides of Pioneer Avenue as well as underground utilities. Two lanes of the four lanes are subject to reimbursement from the initial facilities requirements of the 2004-1 Mello Roos district. Should two lanes of the four lanes be constructed by another project, applicant shall be responsible for connection to the existing project including a transition as determined necessary by the City Engineer.
- e. ~~Intersection of Pioneer Avenue and Collector 4/High School shall include construction of~~

~~signal improvements as identified in the traffic study (with 700th building permit). Signal is to be constructed at applicant's expense subject to a reimbursement from the financing district. This requirement shall be deemed satisfied by payment of funds as described in b. above.~~

4. Farmers Central Road

- j. ~~Final map for lots 77 through 90 shall include dedication of land for a roundabout at Farmers Central Road and Harry Lorenzo Drive (CR 1010). Applicant shall submit design for the roundabout to the City for approval with this final map. Applicant shall modify lots as necessary.~~

Final map for lots 70 - 99 shall include connection of Farmers Central Road (FCR) to Harry Lorenzo Avenue (aka Road 101) and design and construction of the Roundabout at the intersection of Harry Lorenzo Avenue and FCR. Applicant shall construct that includes: full improvements south of centerline and two 12' travel lanes with 4' paved shoulders north of centerline, plus full improvements at the roundabout (within the ultimate alignment). Lots 77 through 99 shall be modified to allow for construction of the roundabout and the onsite right of way required. Condition shall be deemed fulfilled if construction is completed by others; however, a fair share reimbursement amount may be required at final map as determined by the City. City shall include the roundabout in the next SLIF CIP draft update for approval and final consideration by Council. City shall endeavor to collect a fair share of the total cost from adjacent property owners with their next entitlement request.

Should after a good faith effort based on an Appraisal to MAI standards, the applicant has been unable to obtain offsite right of way, the applicant may request that the City obtain the land at the cost of the applicant. Applicant shall fund all costs and deposit estimated cost of land, staff time and attorney time to obtain the land as determined by the City. After land has been obtained, City shall relinquish balance of funds on hand.

- k. Temporary cul de sacs and emergency vehicle access shall have fixed obstacles to prevent traffic from driving across undeveloped ground to road 101. Emergency vehicle access shall have city approved removable bollards to allow for emergency vehicle access. All temporary cul de sacs at the end of roads shall a continuous barrier to traffic in accordance

1. County Road 101

- a. ~~The first final map in Heidrick that connects to Harry Lorenzo (CR 101) Drive shall improve Harry Lorenzo Drive (CR 101) from Farmers Central Rd. to CR 25A. The improvement shall be for type three Slurry or Micro pave as determined by the City plus signing and striping to City Standards.~~

The first final map in Heidrick that connects to Harry Lorenzo Avenue (CR 101) shall improve Harry Lorenzo Avenue (CR 101) from Farmer's Central Road to CR 25A.

unless completed by others. Along the frontage of the map the project shall modify the street section to City structural and drainage standards including a street cross section that include a 12' travel lane, an 8 foot parking lane (including 2 foot gutter pans), 8.5 foot street-side planter strips (including 0.5 ft curb) and 5.5' wide sidewalk on the east half of the street, and include a 12' travel lane, an 8 foot parking lane (including 2 foot gutter pans) and a 0.5 ft curb on the west side of the street (abutting the MPRA), plus transition sections. This will apply unless an alternative interim pavement section is approved by the City Engineer. South of the new street section constructed by the project the improvement shall be for type three Slurry or Micro pave as determined by the City plus signing and striping to City Standards for the existing two lane rural road.

Development Agreement Conditions of Approval are hereby amended as included in enclosure "C."

ATTACHMENT 2

**FINDINGS OF APPROVAL FOR:
PIONEER INVESTOR, LLC - HEIDRICK RANCH II DEVELOPMENT AGREEMENT
AMENDMENTS.**

Prepared for approval by the Woodland City Council on July 2, 2013

CEQA Findings:

1. On August 15, 2000, the City Council certified the Turn of the Century FEIR (SCH #99022069; Resolution No. 4215 adopted August 15, 2000).
2. The City Council subsequently adopted the following CEQA Addendums to the Turn of the Century EIR: a) Addendum #1 (Resolution No. 4330 adopted December 18, 2001) for the purposes of approval of the final SLSP; b) Addendum #2 (Resolution No. 4399 adopted November 19, 2002) for the purposes of amending the Plan to satisfy the Settlement Agreement and to make other staff-initiated errata; c) Addendum #3 (Resolution No. 4406 adopted December 17, 2002) for the purposes of amending the Plan based on a request from the Spring Lake Planning Group LLC; and d) Addendum #4 (April 15, 2003) for the purposes of the Williamson Act Rescission Agreement for the Russell Property.
3. Section 65457(a) of the California Government Code and Section 15182(a) of the California Environmental Quality Act (CEQA) provides that no EIR or Negative Declaration is required for any residential project undertaken in conformity with an adopted Specific Plan for which an EIR has been certified.
4. The EIR for the SLSP has been written to qualify all of the planned SLSP residential projects for this exemption, assuming they are consistent with the SLSP and that they fulfill all conditions and CEQA mitigation measures.
5. The SLSP requires that each development application include certain project-level and project-specific technical analyses to demonstrate consistency with the performance thresholds and requirements of the SLSP and SLSP Mitigation monitoring Plan (MMP). All the required studies have been submitted for the subject project, reviewed by staff, and the following conclusions reached: a) the studies satisfy the SLSP requirements; b) applicable requirements or conditions recommended in the studies have been included in the conditions of approval for the subject project; c) the studies identify no environmental circumstances specific to the subject site or the proposed project that were not previously anticipated and addressed in the original EIR and later addendums.
6. The City of Woodland hereby finds that these studies provide the substantial evidence demonstrating that the project as conditioned is consistent with the adopted Specific Plan and fulfills all conditions and CEQA mitigation measures.
7. Therefore, pursuant to Section 65457(a) of the California Government Code and Section 15182(a) of the CEQA Guidelines, no other CEQA clearance is required for the City to take action to approve this project.

General Plan Consistency Findings:

1. The project is consistent with the General Plan.

Specific Plan Consistency Findings:

1. The project is consistent with the policy language (goals, policies, and objectives) of the SLSP.

Zoning Consistency Findings:

1. The project, as conditioned, meets all applicable regulatory requirements of the Zoning Ordinance.

Findings Related to Community Design Standards:

1. The project substantially satisfies the requirements of the Community Design Standards.

Findings Related to Other Regulatory Requirements:

1. The project substantially satisfies the relevant requirements of the City's Standard Specifications and Details.
2. The project substantially satisfies the Infrastructure Master Plans for streets, water, sewage, and storm drainage.
3. The Development Agreement satisfies the City's Development Agreement Resolution and the requirements of State law.

FOU PAULS Spring Lake Heidrick II Final FINDINGS OF APPROVAL FOR HEIDRICK RANCH PROJECT.docx

CONDITIONS OF APPROVAL: The following conditions shall be fully satisfied prior to acceptance of final map (unless otherwise stated). **Conditions shown in strikethrough for deletions and double underline for new text.**

Community Development Department:

1. The project is as described in the staff report for the Heidrick Map prepared for the March 4, 2004 and October 21, 2010 Planning Commission. The project shall be substantially (as determined by the City) constructed as depicted on the maps and exhibits included in the March 4, 2004 and October 21, 2010 staff report for the Heidrick Map, except as modified by these conditions of approval.
2. The applicant shall hold harmless the City, its council members, officers, agents, employees, and representatives from liability for any award, damages, costs, and fees incurred by the city and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of the permit. Applicant further agrees to provide a defense for the City in any such action.
3. Landscaping design, materials, installation, and maintenance in roadway medians, greenbelts, subdivision trails, and other public areas shall be consistent with applicable City requirements. Landscaping shall satisfy and fully implement Development Regulations 2.15.1 and 4.16 (Tree Canopy Requirement), 2.22 (Drought-Tolerant Plantings), 4.17 (Timing of Landscaping), 4.17.1 (Landscaping at Intersections), 4.18 and 4.19, and 7.13.
4. The minimum paved section for any combined pedestrian/bicycle (multi-use) pathway is 10-feet, plus a two-foot clear area on either side, for a total of 14 feet (Development Regulation 4.19.1). Pathways shall be designed to satisfy and fully implement Development Regulation 4.21, 4.26, 4.27, and 5.26.
5. Drainage of vacant parcels shall be maintained so as not to cause erosion or run-off problems.
6. The location of all utility structures shall be coordinated with and depicted on the landscaping plan. Location and installation of utility structures shall be to the satisfaction of the Community Development Director and City Engineer. Public utility lines, along public street frontages and/or in landscaped areas shall be underground type unless otherwise approved by the Community Development Director and City Engineer. The applicant and the City shall ensure consistency with Development Regulation 2.11 (Utilities), 2.13 (Connectivity) 2.21 (Utility Facilities), and 6.17 through 6.19. Light poles shall not be located so as to conflict with the planting or future growth and shading of trees throughout the site.
7. A design for fencing along Farmer Central shall be submitted to the Community Development Director and Public Works Director for approval. This design shall satisfy the requirements of the SLSP Design Standards (Section 6.2.2, Privacy Walls, see photograph and description).

8. Sidewalk access for handicapped shall conform to federal, state, and local requirements pursuant to Development Regulation 4.9.4. Sidewalks shall be linear pursuant to Development Regulation 2.22.3 (Sidewalk Design).
9. Conceptual architectural plans and elevations shall be submitted for review and approval by the Planning Commission to ensure consistency with the Land Use Concept described on page 2-1 of the SLSP and the SLSP Design Standards. All mechanical equipment, whether roof-mounted or on the ground, shall be fully screened from view. All antennas shall be placed in building interiors. Satellite dish antennas are prohibited on roofs. Units shall be energy efficient pursuant to Development Regulation 2.25 (Energy Efficiency). Dwelling units shall be oriented towards the street pursuant to development Regulation 2.31 (Street Loading). Development Regulations 2.35.3 (Separated Entry walks), 7.5 (Fireplaces), 7.6 (Air Conditioning), 7.7 (Wiring), 7.10 (Energy Efficiency), 7.16 through 7.18, 7.20, and 7.21.1 and 7.21.2 relating to energy conservation shall be addressed.
10. Setbacks and other area requirements for all homes and related structures shall be consistent with the requirements of Table 2.4 on page 2-21 of the SLSP.
11. Deed disclosures that satisfy Development Regulation 2.1 (Disclosures) and Regulation 2.2.2 (Agricultural Disclosures) shall be submitted for review and approval by the Community Development Director and City Attorney. These approved disclosures shall be placed on deeds for final lots as specified by the Development Regulation. The deed disclosures for all lots shall include language that addresses Development Regulation 2.35.6 (Landscape Strips Along Local Streets).
12. Mitigation for loss of agricultural land and hawk habitat in the form of land set-asides shall be fully executed and in place pursuant to Development Regulation 2.2 (Land set-Asides) and 7.2 related to the 1:1 mitigation requirement. Fully executed, meaning signed and recorded with the County. The Merritt property (APN 041-060-06) has been proposed for project mitigation. Refer to Attachment 8 of the March 4, 2004 Planning Commission Staff Report.
13. The applicant/project agrees to fund on a fair-share basis as determined by the City of Woodland nexus study, public facilities, services, and improvements including transit capital and operating costs, design and construction of transit stops, fire station construction and operations (Development Regulations 4.7.3, 4.9.5, 6.22 and 6.23), police operations (Development Regulations 6.30 and 6.31), park development (Development Regulation 5.6), greenbelts/pathways/trails (Development Regulation 5.28), and library services (Development Regulation 6.42 and 6.43), pursuant to Development Regulation 2.7 (Fair Share fees and Financing).
14. Prior to occupancy within any subdivision, necessary backbone infrastructure and services to serve the subdivision, as determined by the City of Woodland, must be in place, and adequate fire service must be demonstrated, pursuant to Development Regulation 2.8 (Infrastructure and Service Availability), 4.4 through 4.7 (Roadway Improvements), 6.24 and 6.25.

15. Satisfy and fully implement Development Regulations 2.12 (Grading and Construction), 2.22-1 (Vertical Curb), 2.27 (Local Builder Requirements), 6.15 and 7.14 (Construction Recycling), 7.3 and 7.4 related to grading and construction.
16. Per Development Regulation 2.33 (Entry Features) and the Design Standards, the applicant shall identify and install required minor entry features. A design specification for these features shall be prepared for approval by the Community Development Director and Public Works Director. Per Development Regulation 2.33 (Entry Features) and the Design Standards, the applicant shall establish a neighborhood entry feature at "D" Street and at the intersection of Farmers Central and "D" Street. A design specification for these features shall be prepared for approval by the Community Development Director and Public Works Director. Prior to acceptance of final map, the applicant shall be required to submit a design theme for all entry features. Theme shall be consistent with the SLSP Design Standards and to the satisfaction of Community Development Director.
17. Pursuant to Development Regulation 4.26, greenbelts and pathways/trails shall be constructed at the same time (or earlier) as adjoining dwelling units. The subdivision trail shown (Lots F) shall be developed with the adjoining dwelling units for the Heidrick Ranch North Map. Fencing (over 3 ½ feet) for lots that side on to trails shall be open type for the front portions of the side yard.
18. Pursuant to Development Regulation 4.17, street landscaping must accompany street construction for both partial (interim) and full cross-sections. Landscaping is not allowed to be deferred.
19. Deeds for the affordable units shall be restricted to qualified buyers pursuant to the SLSP Affordable Housing Plan. Affordable units shall be constructed at the same time (or earlier) as adjoining market-rate units pursuant to Development Regulation 3.2.
20. The Off-Site Affordable Housing Fee shall be paid for each single-family market rate unit.
21. Ten percent of all single-family units shall be designated affordable units. Based on 157 units in this map, 16 affordable units are required. Affordable units must be provided within each land use category.
22. Prior to the City approving the applicant's final map, the applicant and City shall enter into an Inclusionary Housing Agreement as required by the SLSP Affordable Housing Plan (AHP). This agreement shall be prepared by the City, shall be consistent with all applicable provisions of the SLSP AHP, and shall contain language inclusive of, but not limited to, the checklist on pages 7-10 of the SLSP AHP.
23. As allowed by the Affordable Housing Plan, affordable units may be smaller in square footage than the market-rate units to a minimum unit living area of 850 square feet. However, recognizing the need for some larger units for larger families, a mix of bedroom numbers and square footage among for-sale units is required.

24. The design of affordable units and the materials used in construction of affordable units shall be of an equal standard; however affordable for-sale units may feature different interior amenities than those of market-rate for-sale units.
25. With the proposed revised phasing of the Heidrick Ranch Phase II Subdivision Map, one additional corner lot duplex shall be provided in the remainder second phase of the Hedrick Ranch Phase II map.
26. Right-of-way at intersections with arterials and intersections with collectors sufficient to provide the required 6-foot pedestrian landing area and turn lanes without decreasing landscaping (Development Regulation 4.7.1) shall be provided to the satisfaction of the Public Works Director.
27. Where site work results in the discovery of cultural resources (e.g. buried prehistoric or historic finds), work shall halt immediately for a distance of 100 feet from the discovery site, and the project archeologist and Native American Heritage Commission shall be contacted. In any human bone is located, the Yolo County Coroner must also be notified. The mitigation protocol identified in the Mitigation Monitoring Plan shall be implemented. (MM 4.10-1)
28. Pursuant to Development Regulation 5.7.1, parkland shall not be used for joint drainage purposes.
29. The following statements shall be added to the map: 1) The Tentative Map conforms with all requirements of the State of California Subdivision Map Act; and 2) The Tentative Map conforms with all requirements of the City of Woodland Subdivision Ordinance.
30. The applicant shall submit for approval by the Community Development Director and Public Works Director a design detail that addresses the safe routing of bicycles and pedestrians from those points where greenbelts/trails intersect mid-block at an arterial, to the nearest signal/crosswalk.
31. The Nexus Study shall be finalized. The applicant must comply with the requirements of the SLSP Nexus Study.
32. In satisfaction of Mitigation Measure 4.4-5, the applicant shall have performed a hydrological analysis of the interim impacts to agricultural wells from the first phase permanent water wells. Applicant may elect to request that the City perform the analysis, in which the applicant shall be required to fully fund the water well impact analysis. This analysis may be subject to reimbursement, if applicable.
33. Pursuant to Mitigation measure 4.5-3(a), thirty (30) days prior to commencement of grading or any site-work, the applicant shall have prepared and submitted a survey for ground nesting raptors (e.g. northern harrier and burrowing owl). This survey shall be prepared by a qualified raptor biologist using appropriate protocol acceptable to responsible agencies. If survey nesting raptor species are found, then mitigation measures 4.5-3 (b-d) of the Spring Lake

Specific Plan Mitigation Monitoring Plan shall be followed. Survey results shall be valid only for the season when construction activity occurs.

34. Each landowner or applicant shall conduct a pre-construction or pre-tree pruning or removal survey of trees greater than 30 feet tall during the raptor breeding-season (-March 1 through September 15). This survey shall be conducted for a half mile around the proposed site at which any construction activity is proposed. The survey shall be conducted by a qualified raptor biologist during the same calendar year that the proposed activity is planned to begin to determine if any nesting birds-of-prey would be affected.
35. Privacy fencing along arterials shall be constructed of suitable materials and in a suitable manner to be consistent with the Design Standards, but also meet specifications to provide appropriate noise attenuation. The design specifications for these fences shall be submitted for staff approval and shall require written sign-off by the project noise engineer.
36. The recommendations contained in the Conclusions section and Recommendations section of the Geotechnical Engineering report (WKA, November 14, 2003) shall be implemented.
37. Final lots that have "second units" will be identified in conjunction with the required review of architectural plans and elevations prior to acceptance of final map (SLSP, page 2-25).
38. Approval of a tentative map requires that all lots shall have a building unit allocation (BUA) assigned. No lots shall be final unless a BUA is provided.
39. Applicant shall comply with Air Quality Management District directives for both off-road and on-road low-emissions heavy duty vehicles and construction equipment during all grading and construction (SLSP page 7-4 [Reg 7.3]).
40. Prior to each construction season each landowner or applicant with a project under construction shall consult with, and implement the recommendations of, the Mosquito Vector Control District regarding control of mosquitos, black gnats, and other vectors.
41. Prior to the commencement of construction on any project, the applicant shall ensure that the construction contractor has establish construction recycling measures pursuant to the requirements of the Mitigation Monitoring Plan. (MM 4.13-18)
42. Applicant shall comply with all dust suppression requirements during all grading and constructions activities (SLSP page 7-4 [Reg 7.4]).
43. Provisions in the CC&Rs shall be adopted that prohibit recreational vehicle parking in the front yard longer than 24 hours. This provision shall be enforced through mechanisms established in the CC&Rs.
44. Provisions in the CC&Rs shall be adopted that prohibits garages from being converted to residential use except for a model home sales office. When the sales office is vacated it must be converted back to a garage. This provision shall be enforced through mechanisms established in the CC&Rs.

45. Provisions in the CC&Rs shall be adopted that prohibit any restrictions of colors on residential structures. This provision shall be enforced through mechanisms established in the CC&Rs.
46. Applicant shall comply with required lot width variation as noted on the tentative map and require that each block have some lots widths that vary per SLSP requirement (SLSP page 2-39 [Reg. 2.35.5]. This requirement shall be demonstrated at the subdivision design review in concert with review of individual house plans and layout and how each may vary.
47. Off-site improvements must satisfy the requirements of the SLSP and SLSP MM including but not limited to Development Regulation 6.13 and Mitigation Measure 4.5-7.
48. Prior to issuance of a building permit, the funding of public services shall be addressed pursuant to Development Regulations 2.7, 6.23, and 6.37.
49. Where greenbelts and/or subdivision trails cross streets, enhanced crosswalks (e.g. raised decorative brick) shall be installed.
50. The Heidrick Map shall be corrected as follows: a) reflect compliance with all conditions; b) correct Existing Zoning; c) correct Proposed Zoning; d) Note 2 Lot D to be sold to Hollman.
51. Pursuant to Development Regulation 8.2, when triggered, construction of a neighborhood park shall be completed within 15 months. Park development shall be consistent with Development Regulation 5.8, 5.9, 5.10 and 5.11.
52. The tentative subdivision map shall be revised to show Lots F as 25-feet in width per the Design Standards and shall be aligned to establish visibility from end to end.
53. Deleted
54. The applicant shall provide 10 percent of the units at an affordable level. The first phase of the Heidrick Ranch Phase II Subdivision Map (69 units) shall provide seven affordable units. Four of the eight half-plex units shall be affordable, and three single family homes shall be affordable (lots 19, 17 and new proposed lot F). The four affordable half-plex shall be interspersed among the eight units, each dual half-plex building shall not be located adjacent to one another. The affordable units shall be constructed concurrent with market rate units. The concurrency requirement shall be evaluated upon the issuance of every increment of 10 market rate permits. A permit for the final market rate unit shall not be issued until the applicant has constructed the last required affordable unit.
55. Deleted
56. In accordance with the Phase I Environmental Site Assessment, any septic system associated with the old homesite on the property shall be destroyed in accordance with regulatory guidelines.

57. For Lot A, if fencing is proposed along Farmers Central and Pioneer Avenue it shall be open type.

~~58. Fee credits generated by a project in the First Release (including those units with First Release Building Unit Allocations ["BUA's"], those units constructed to meet First Release affordable housing requirements, and those multifamily sites which participated in the First Release) may be applied toward First Release building permits at the time of issuance. For all other projects, no fee credits may be used toward payment of Spring Lake Infrastructure Fee (SLIF) obligations, regardless of whether such credits are held, transferred, or generated, unless one of the following occurs: (i) bonds have been issued by the CFD in connection with the final map for a project, in which case fee credits may be used equal to the amount of the net bond proceeds; (ii) until such time that the First Release property owners owed reimbursement for oversizing improvements have been fully reimbursed in accordance with the Funding and Reimbursement Agreement (FRA) dated September 7, 2004 (including, but not limited to, Sections 2.3, 2.7, and 2.8); or (iii) until such time that the FRA may be amended to allow the use of fee credits prior to the complete reimbursement of the First Release property owners.~~

Public Works (Development Engineering) Conditions:

Street Improvements (SHEET 1 of 4)

All proposed roads within the subdivision shall comply with the most recent ~~e~~Edition City's Engineering Standard Specifications & Details at the time of subdivision improvement plan adoption, except as specified in the adopted Spring Lake Specific Plan and conditions set forth below. *Note: The roadway dimensions on the proposed tentative map do not necessarily comply with the City Standards.*

All maps and plans shall comply with the City's electronic submission ordinance.

1. Pioneer Drive

The following improvements will be constructed:

- a. Partial street improvements shall be constructed from the Farmers Central Road to the southerly extension of Pioneer Ave at the south boundary of the Pioneer High School. The east side street cross section shall match existing street cross section being constructed with the new Pioneer High School with the exception that a 6 foot AC interim pathway shall be constructed and the landscaping shall be deferred until the Westside landscaping improvements are constructed. The east side street improvements shall be constructed with the SLSP First final map.
- ~~b. Widen the southbound lanes for the segment of Pioneer Avenue, from East Gibson Road to Collector 4, to its ultimate width. Upon the approval of the final map that triggers the 1000th unit in the SLSP planning area east of Highway 113. Bus turn out is required on~~

~~Pioneer Avenue for southbound traffic south of Collector 4. Within 10 days of approval of this DA amendment the City shall invoice the Pioneer Investors, LLC for the Heidrick map's fair share of the widening of Pioneer Avenue between East Gibson Road to Collector 4 to its ultimate width. The amount of the invoice is currently estimated to be \$268,972.02 and will not exceed 120% of this number. Applicant shall pay the invoiced amount within 21 days of invoice and prior to any final maps.~~

- c. Full roadway improvements on Pioneer Ave. from the intersection of Farmers Central Rd. to the south boundary of the tentative map shall be constructed with the first final map west of Pioneer Avenue. The standard street section for this section of Pioneer Ave. shall be amended to incorporate a 10' wide multi-use path on the west side of Pioneer Avenue. The incorporation of the multi-use path will not require revisions to the lotting plan or curb-to-curb dimension of the street and shall be submitted to the satisfaction of the Community Development Director. Additionally, the bus turnout on the west side of Pioneer Avenue south of the intersection of Farmer Central Road shall be modified to consist of a curbside bus stop with reinforced concrete street section and shelter/pad to the satisfaction of the City Engineer. Full improvements shall include curb, gutter, sidewalk/path and landscaping on both sides of Pioneer Avenue as well as underground utilities. Two lanes of the four lanes are subject to reimbursement from the initial facilities requirements of the 2004-1 Mello Roos district. Should two lanes of the four lanes be constructed by another project, applicant shall be responsible for connection to the existing project including a transition as determined necessary by the City Engineer.
- d. Restricted (no) vehicle access shall be designated on the tentative map on east and west side of Pioneer Ave. from the intersection of Farmers Central Rd. to the south boundary of the tentative map. The final map shall identify relinquishment of access rights along Pioneer Avenue (except for pedestrian access from lot A).
- e. ~~Intersection of Pioneer Avenue and Collector 4/High School shall include construction of signal improvements as identified in the traffic study (with 700th building permit). Signal is to be constructed at applicant's expense subject to a reimbursement from the financing district. This requirement shall be deemed satisfied by payment of funds as described in b. above.~~
- f. Install a traffic signal at the intersection of Pioneer Avenue/Farmer's Central Road intersection when Farmer's Central Road is extended from Pioneer Avenue to CR 101. Partial or interim signal improvements may be allowed at the approval of the City Engineer. Portions of ultimate improvements may be reimbursed from the City's IFR money as determined by the City Engineer and Financial Officer.
- g. Corner Radii at the intersection of Pioneer Avenue and Farmers Central Road shall be modified to the satisfaction of the City Engineer. In the case of the northwest and southeast corners this may include increasing the curb radius to greater than fifty (50) feet. Adjacent lots shall be modified accordingly on the final map.
- h. No parking shall be allowed on Pioneer Ave.

2. "A", "B", "D", "F", and "2 Court" Street

The following improvements will be constructed:

- a. Streets shall be constructed to a 57-foot local street. With the approval of the City Engineer A and F streets may be 54' provided an illustrative lotting for land to south shows that these streets will not be primary access to subdivisions to the south.
- b. B" Street shall have decorative stamped concrete or brick paver crosswalks at the intersections of "2 Street". The intersection or crosswalks may be raised at the discretion of the City Engineer.

3. County Rd 102

The following improvements will be constructed:

- a. Landscaping and street improvements shall be constructed from Gibson Rd to Farmers Central Rd per the approved Specific Plan. As approved by the City Engineer, street improvements and landscaping shall be constructed from Farmers Central Rd. to Parkway Drive.
- b. The intersection of CR102 at Farmers Central Rd shall be widened to accommodate a southbound and northbound left turn lanes. Sufficient width shall be provided to allow for full Specific Plan landscape corridors. Required right of way for turn lanes shall not be taken from landscape corridors.
- c. The intersection of CR102 at Parkway Dr. shall be widened to accommodate a southbound and northbound left turn lanes. Sufficient width shall be provided to allow for full Specific Plan landscape corridors. Required right of way for turn lanes shall not be taken from landscape corridors.
- d. An interim southbound right turn deceleration lane and right turn acceleration lane shall be constructed with the dimensions designed to the satisfaction of the City Engineer in the portion of the right-of-way reserved for future widening for a second southbound through lane on Rd 102.
- e. No parking shall be allowed on CR 102.

4. Farmers Central Road

The following improvements will be constructed:

- a. If the roadway connection to Gibson Road is by way of CR 101 from development to the south of the Heidrick tentative map, then with the first final map, Farmers Central Rd from Pioneer Ave. to CR 101 shall be constructed to full width street improvements. If

interim improvements are allowed, the required minimum interim roadway section that would be allowed would be a 32-foot wide roadway section, but may be greater depending on the status of other development fronting Farmers Central Rd. Any interim improvements that may be allowed to be constructed shall be as approved by the City Engineer.

- b. Farmers Central Rd along the frontage of the tentative map shall be constructed in phases with subsequent final maps. Improvements shall include the entire south half of the street section including landscaping plus a westbound travel lane, four foot shoulders (2 feet paved, 2 feet unpaved) and drainage features to the satisfaction of the City Engineer. Should Farmer's Central Road connect to Harry Lorenzo drive (CR 101) additional widening for turn lanes shall be necessary at the intersection of Pioneer Avenue. Geometric Design to be submitted to the City Engineer for approval. Applicant shall be required to install 72" storm drain line on the north side of the street, if it cannot be demonstrated that later installation of the line will not disturb the pavement section; and applicant shall meet all lighting standards for collector roadways and install additional lights as necessary to do so.
- c. Any phased final map that does not include connection to Harry Lorenzo Drive shall include a dedicated emergency vehicle access subject to the approval of the City Engineer and Fire Marshall. Minimum section shall be a gravel road load for a 20 ton vehicle in a 10 year storm which is then constructed on top of 12" of lime treated native base material (not counted in the structural section).
- d. With the connection of Farmers Central Road to CR 102 the intersection shall be controlled by a traffic signal. Signal is to be constructed at applicant's expense subject to a reimbursement from the financing district.
- e. If Farmers Central Rd to the east of the Heidrick Tentative map is not constructed prior to the first final map a traffic signal shall be installed at the intersection of Farmer's Central Road/Collector 1 upon the approval of the final map that triggers the 1400th unit in the SLSP area east of Highway 113. The City Engineer may waive this requirement if he determines it is unnecessary.
- f. Provide a structural pavement section for the segment of Farmer's Central Road, from Pioneer Avenue to Collector 1, based on minor arterial standards.
- g. Align Farmers Central Road at Pioneer Avenue to minimize the curve east of the intersection at Pioneer Avenue. Minimum tangent lengths at the intersection shall be in accordance with City Standards (100'). Prepare a street section detail for Farmers Central Rd. east of Pioneer Avenue that includes the Farmer's Central Storm Drain Ditch.
- h. The final map shall identify relinquishment of access rights for Lot A along Farmers Central Road within 250 feet of Pioneer Avenue and within 100 feet of "D" Street.
- i. Partial street improvements shall have temporary bulb turn arounds dedicated to the City

at the end of each street. Bulb design is subject to approval of the City Engineer.

- j. ~~Final map for lots 77 through 90 shall include dedication of land for a roundabout at Farmers Central Road and Harry Lorenzo Drive (CR 1010). Applicant shall submit design for the roundabout to the City for approval with this final map. Applicant shall modify lots as necessary.~~

Final map for lots 70 - 99 shall include connection of Farmers Central Road (FCR) to Harry Lorenzo Avenue (aka Road 101) and design and construction of the Roundabout at the intersection of Harry Lorenzo Avenue and FCR. Applicant shall construct that includes: full improvements south of centerline and two 12' travel lanes with 4' paved shoulders north of centerline, plus full improvements at the roundabout (within the ultimate alignment). Lots 77 through 99 shall be modified to allow for construction of the roundabout and the onsite right of way required. Condition shall be deemed fulfilled if construction is completed by others; however, a fair share reimbursement amount may be required at final map as determined by the City. City shall include the roundabout in the next SLIF CIP draft update for approval and final consideration by Council. City shall endeavor to collect a fair share of the total cost from adjacent property owners with their next entitlement request.

Should after a good faith effort based on an Appraisal to MAI standards, the applicant has been unable to obtain offsite right of way, the applicant may request that the City obtain the land at the cost of the applicant. Applicant shall fund all costs and deposit estimated cost of land, staff time and attorney time to obtain the land as determined by the City. After land has been obtained, City shall relinquish balance of funds on hand.

- k. Temporary cul de sacs and emergency vehicle access shall have fixed obstacles to prevent traffic from driving across undeveloped ground to road 101. Emergency vehicle access shall have city approved removable bollards to allow for emergency vehicle access. All temporary cul de sacs at the end of roads shall a continuous barrier to traffic in accordance with City detail 0350 or other continuous barrier method approved by the City Engineer.

5. County Road 101

- a. ~~The first final map in Heidrick that connects to Harry Lorenzo (CR 101) Drive shall improve Harry Lorenzo Drive (CR 101) from Farmers Central Rd. to CR 25A. The improvement shall be for type three Slurry or Micro pave as determined by the City plus signing and striping to City Standards.~~

The first final map in Heidrick that connects to Harry Lorenzo Avenue (CR 101) shall improve Harry Lorenzo Avenue (CR 101) from Farmer's Central Road to CR 25A, unless completed by others. Along the frontage of the map the project shall modify the street section to City structural and drainage standards including a street cross section that include a 12' travel lane, an 8 foot parking lane (including 2 foot gutter pans), 8.5 foot street-side planter strips (including 0.5 ft curb) and 5.5' wide sidewalk on the east half of

the street, and include a 12' travel lane, an 8 foot parking lane (including 2 foot gutter pans) and a 0.5 ft curb on the west side of the street (abutting the MPRA), plus transition sections. This will apply unless an alternative interim pavement section is approved by the City Engineer. South of the new street section constructed by the project the improvement shall be for type three Slurry or Micro pave as determined by the City plus signing and striping to City Standards for the existing two lane rural road.

- b. Applicant shall contract a certified arborist to make recommendations as to health of existing trees located along CR 101; and then the improvement plans shall have a specific section for the maintenance of the health of the trees and their incorporation into the ultimate public improvements. Said section shall be subject to the approval of the City Engineer at the time of subdivision improvement plan submission.

6. County Road 25A

- a. At the time of final map; applicant shall pay \$794 per single family or duplex lot as a fair share towards improving CR 25A.

7. Deleted

8. Intersection Enhancement Details

The following improvements will be constructed:

- a. Island Planters and crosswalks shall be constructed of colored brick pavers, stamped concrete or other enhanced feature as approved by the City Engineer. Locations defined for textured crosswalks, raised crosswalks or intersection may be changed at the time of the subdivision improvement plans at the discretion of the City Engineer.

9. Local Streets and Alleys

The following improvements will be constructed:

- a. Local streets shall provide for ADA compliant sidewalk turnouts where sidewalk widths do not meet ADA.
- b. Public alleys shall be constructed of reinforced concrete with a design subject to the approval of the City Engineer, underground drainage connection may be required due to type and style of lot grading. Alley shall intersect adjacent street with a commercial driveway.
- c. Additional lighting shall be required on the rear of each building to illuminate the alley. Alley illumination lights shall direct lighting to the alley and be approved by the building official. CC&R's shall include the lighting requirement. The CC&R's shall be included in the disclosure statement.

- d. CC&R's shall include requirement for garbage, recycle and green waste toters to be brought to the street for pickup. This CC&R shall be included in the disclosure statement.

Tentative Map Street Cross-Sections, Sheet 4 of 4, dated October 10, 2003). Conditions and Changes shall be made as follows:

10. Street Section - (Local 54')

- a. Add all street names that will be 54' to the detail heading.

11. Street Section - (Local 57')

- a. Add all street names that will be 57' to the detail heading

12. ADD NEW DETAIL – 25-Foot Subdivision Trail

- a. Add cross section detail of subdivision trail.

13. ADD NEW STREET CROSS SECTION- Pioneer Ave., Farmers Central Rd to High School.

- a. Street cross section shall be modified to clearly depict improvements to be constructed with first final map. The east side street cross shall match existing street cross section being constructed with the new Pioneer High School. Landscaping, with the exception of trees, may be deferred until the west side landscaping improvements are constructed. A 6-foot AC interim pathway shall be constructed. The east side street improvements shall be constructed with the First final map.

14. ADD NEW STREET CROSS SECTION- 57-Foot Local Street

- a. "A", "B", "D", "F", and "2 Court Street

15. ADD NEW STREET CROSS SECTION- CR 102- Gibson Rd. to Farmer's Central Rd.

- a. Depict full improvements

- 16. Street Cross section details, including all intersection geometric design, complying with the conditions of approval, shall be revised on tentative map, submitted to the City, and approved by the City Engineer prior to submitting a final map and improvement plans.

- 17. Construction of the intersections of Farmers Central Rd at Pioneer Avenue, Farmers Central Rd. at Collector 1, and Pioneer Avenue and Collector 4 shall include the construction of the underground portions of future traffic signals and the above ground portions as the City Engineer deems necessary at the time of sub division improvement plans.

18. Additional traffic related improvements shall be incorporated upon completion of the traffic study. These may include offsite improvements to CR 101 and CR 25A as well as additional traffic signal improvements.
19. A signing and striping, and stop plan is required and shall be approved by the City Engineer. All signing and stripping shall be in accordance with the City of Woodland Design and Construction Standards.
20. Prior to approval of the first tentative the project must determine and fund a fair share of the capital and operating costs associated with providing public transit service to the Plan area per SLSP regulation 4.35 and (TOC EIR MM 4.6-3).
21. Prior to approval of the first tentative the project must prepare and have approved by the City and Transportation District, a transit plan per SLSP regulation 4.36 and (TOC EIR MM 4.6-4)
22. Street light types shall be those historic types identified in the SLSP Design Standards. The City is updating its design standards and details for spacing historic lights. Improvement plans shall be designed to those standards when adopted.

Storm Drainage and Site Grading (Sheet 2)

23. A comprehensive storm drainage master plan shall be prepared by a registered civil engineer for project watershed(s), including the entire SLSP area, and shall be submitted to the Public Works Director for review and approval. The master plan shall incorporate secondary flood routing analysis and shall include final sizing and location of on-site and off-site storm conduit channels, structures and (detention basins if required) and engineering calculations. Said plan shall also include provisions for cost sharing among affected adjacent development for facilities sized to accommodate off-site storm water.
24. Tentative Map Area Storm Drainage Master Plan shall be submitted for approval by the Public Works Director prior to submittal of the final map and/or construction drawings for checking. The applicant shall pay the cost associated with all improvements required by the study, and an appropriate reimbursement agreement shall be drafted to reimburse the applicant for oversize improvements on a pro rata basis per the Project level Development Agreement.
25. The Tentative Map area drainage plan shall be prepared and shall identify specific storm drainage design features to control increased runoff from the project site. This may be achieved through one or more of the following: onsite detention, channel modifications, and/or equally effective measures to control the rate and volume of runoff. The drainage plan shall demonstrate the effectiveness of the proposed storm drainage system to prevent negative impacts to existing downstream facilities and to prevent additional flooding at off-site downstream locations. All necessary calculations and assumptions and design details shall be submitted to the City Public works Department for review and approval. The design features proposed by the applicant shall be consistent with the most recent version of the City's Storm Drainage Master Plan criteria and Standard Specifications and Details.

26. A topographic survey of the entire site and a comprehensive grading and drainage plan prepared by a registered civil engineer, shall be required for the development. The plan shall include topographic information on adjacent parcels. In addition to grading information, the grading plan shall indicate all existing trees, and trees to be removed as a result of the proposed development, if any. A statement shall appear on the site grading and drainage plan, which shall be signed by a registered civil engineer or land surveyor and shall read, "I hereby state that all improvements have been substantially constructed as presented on these plans". Reference the City of Woodland Engineering Design and Construction Standards for additional requirements.
27. The Tentative map Grading and Drainage plan showing grading and drainage information including topographic information, drainage routing, pipe slopes and sizing and locations and excluding topographic information, and overland drainage routing are preliminary only and do not constitute approval in any way. Final approval for the grading and Drainage Plan shall occur with the final improvements based on the requirements set forth in these conditions of approval.
28. The differential in elevation between rear and side abutting lot lines shall not exceed twelve inches (12") without construction of concrete or masonry block retaining walls.
29. Drainage fees shall be paid prior to issuance of a building permit.
30. All perimeter parcels and lots shall be protected against surface runoff from adjacent properties in a manner acceptable to the City Engineer.
31. Prior to approval of the first Final Map, Applicant shall prepare a written agreement with the other participating SLSP property owners for the disposal and sharing of the excavated soil from the construction of the East Regional Detention basin and conveyance facilities. The excavated soil is the property of the SLSP.
32. All projects shall comply with the City's Storm Water ordinance, which includes implementation of post-construction best management practices (BMP). Post construction BMP's shall be identified on improvement plans and approved by the City Engineer.
33. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit.
34. Applications/projects disturbing less than one acre of soil shall implement BMP's to prevent and minimize erosion. The improvement plans for construction of less than 1 acre shall include a BMP to be approved by the City Engineer.
35. Construction materials for storm drainpipes within the water table shall be pre-cast rubber-gasket reinforced concrete pipe (RGRCP). Depth of the water table. The City Engineer shall approve water table depth at the time of submission of the sub division improvement plans.
36. An erosion and sedimentation control plan shall be included as part of the improvement plan

- package. The plan shall be prepared by the applicant's civil engineer and approved by the City Engineer. The plan shall include but not be limited to interim protection measures such as benching, sedimentation basins, storm water retention basins, energy dissipation structures, and check dams. The erosion control plan shall also include all necessary permanent erosion control measures, and shall include scheduling of work to coordinate closely with grading operations. Replanting of graded areas and cut and fill slopes is required and shall be indicated accordingly on plans, for approval by City Engineer.
37. Landscaped slopes along streets shall not exceed 5:1; exceptions shall require approval of the City Engineer. Level areas having a minimum width of two (2) feet shall be required at the toe and top of said slopes.
38. Applicants for projects draining into water bodies shall obtain a National Pollutant Discharge Elimination System (NPDES) Permit from the Regional Water Quality Control Board prior to commencement of grading.

Wastewater and Sewer Collection System (Sheet 3)

39. The applicant shall obtain a no-cost Wastewater Discharge Permit from the Public Works Department prior to the issuance of a Building Permit.
40. The property shall be connected to the City of Woodlands sewer system, with a separate sewer lateral required for each parcel, in accordance with City of Woodland standards.
41. Prior to approval of the first tentative map, a comprehensive on-site sewer collection system master plan shall be prepared by a registered civil engineer for project, including the entire SLSP area, and shall be submitted to the Public Works Director for review and approval. The master plan shall include final sizing and location of on-site conveyance facilities, structures, and engineering calculations. Said plan shall also include provisions for cost sharing among affected adjacent development for facilities sized to accommodate the SLSP area.
42. A Tentative Map Area Sewer Collection System Master Plan shall be submitted for approval by the Public Works Director prior to submittal of the final map and/or construction drawings for checking. The applicant shall pay the cost associated with all improvements required by the study, and an appropriate reimbursement agreement shall be drafted to reimburse the applicant for oversize improvements on a pro rata basis per the Project level Development Agreement. Reference the City of Woodland Engineering Design and Construction Standards for additional requirements.
43. The Tentative Map Sewer Plan showing sewer routing, pipe slopes and sizing and locations, are preliminary only and do not constitute approval in any way. Final approval for the Sewer Plan shall occur with the final improvements based on the requirements set forth in these conditions of approval.
44. Construction of deep sewer mains shall be connected to laterals by a parallel main and connections at Manholes.

Water Infrastructure Conditions (Sheet 3)

45. All materials and installation of the water system shall be at the applicant's expense per City of Woodland Standard Specifications and Details.
46. If required, per SB221, project Applicant shall obtain a Water Verification (WV) prior to approval of final map. Verification shall the following conditions.
47. Actual water service to the subdivision will be predicated upon satisfaction of terms and conditions set by the water supplier.
48. The WV is non-transferable, and can only be used for the specific tentative map for which it was issued.
49. The WV shall expire along with the tentative map subdivision map if a final map is not recorded within time allowed under law.
50. Until such time as actual service connections are approved for the subdivision, the water agency may withhold water service die to a water shortage declared by the water agency.
51. Based on SLSP water modeling two new wells are needed to serve the first stage of development as identified in the SLSP. If the parcels required for the two new wells have not been acquired, the project applicant shall be required to acquire said parcels prior to approval of the first final map. The City will oversee the design and construction of two new wells. No building permits will be issued prior to construction and operation of two (2) new wells to serve the SLSP area. Only if the City acquires and develops the existing County well or the College well as municipal wells and develops the City's Regional Park well as a municipal well as interim water production facilities will the applicant be able to defer construction of the two new wells. Either a development agreement or the subdivision improvement agreement will provide for reimbursement or credit against water connection fees to cover the development of this facility.
52. The Applicant shall submit a well site plan with facility elevations for City approval with the final map application. (This condition may be waived if site plan is prepared by another project).
53. The Tentative Map Water Plan showing water routing, sizing and locations, are preliminary only and do not constitute approval in any way. Final approval for the Water Plan shall occur with the final improvements based on the requirements set forth in these conditions of approval. Applicant shall comply with making changes to water system distribution pipe sizes and alignments based on the results of the specific water modeling performed for the SLSP. Applicant shall pay for all required water modeling for identifying water infrastructure needs to serve its development and shall construct offsite water improvements to connect to the City water distribution system.
54. At the time the Building Permit is issued, the applicant will be required to pay the appropriate City connection Fees. All domestic water services will be metered.

55. Per City of Woodland Cross Connection Control Program, all types of commercial buildings and landscape irrigation services are required to maintain an approved backflow prevention assembly, at the applicant's expense. Service size and flow-rate for the backflow prevention assembly must be submitted. Location of the backflow prevention assembly shall be per the City of Woodland Standard Specifications and Details. Prior to the installation of any backflow prevention assembly between the public water system and the owner's facility, the owner or contractor shall make application and receive approval from the City Engineer or his designated agent.
56. Per the City of Woodland Cross Connection Control Program, fire protection systems are required to maintain approved backflow prevention, at the applicant's expense. Required location, service size and flow-rate for the fire protection system must be submitted. Actual location is subject to the review and approval of the Public Works Department, Fire Department, and Community Development Department.
57. The City of Woodland Plan Review Fee applies and is due upon submittal of the maps and plans for review.
58. FINAL PLANS, PERIODIC TESTS FOR FIRE HYDRANTS: All final plans for fire hydrant systems and private water mains supplying a fire hydrant system shall be submitted to the City of Woodland Fire Department for approval prior to construction of the system. All fire protection systems and appurtenances thereto shall be subject to such periodic tests as required by the City of Woodland Fire Department.
59. REFLECTORS FOR FIRE HYDRANTS: Any fire hydrant installed will require, in addition to the blue reflector noted in Standard Drawings, an additional blue reflector and glue kit that is to be supplied to the City of Woodland Fire Department for replacement purposes.
60. MEDIANS, FIRE HYDRANT PLACEMENT: When Median strip is to be installed in the center of a street; the fire hydrant will be spaced not more than 300 feet on both sides of the divider on the curb side of the street. Final approval and approval of any changes is the responsibility of the City Engineer.
61. Prior to approval of the first tentative map, a comprehensive on-site Water system master plan shall be prepared by a registered civil engineer for project, including the entire SLSP area, and shall be submitted to the Public Works Director for review and approval. The master plan shall include final sizing and location of on-site conveyance facilities, structures, and engineering calculations. Said plan shall also include provisions for cost sharing among affected adjacent development for facilities sized to accommodate the SLSP area.
62. A Tentative Map Area Water System Master Plan shall be submitted for approval by the Public Works Director prior to submittal of the final map and/or construction drawings for checking. The applicant shall pay the cost associated with all improvements required by the study, and an appropriate reimbursement agreement shall be drafted to reimburse the applicant for oversize improvements on a pro rata basis per the Project level Development

Agreement. Reference the City of Woodland Engineering Design and Construction Standards for additional requirements.

General Public Works Conditions

63. The conditions as set forth in this document are not all inclusive. Applicant shall thoroughly review all City; state and federal planning documents associated with this tentative map and comply with all regulations, mitigations and conditions set forth.
64. Closure calculations shall be provided at the time of initial map check submittal. All calculated points within the map shall be based upon one common set of coordinates. All information shown on the map shall be directly verifiable by information shown on the closure calculation print out. The point(s) of beginning shall be clearly defined and all lot acreage shall be shown and verifiable from information shown on the closure calculation print out. Additionally, the square footage of each lot shall be shown on the subdivision map. Reference the City of Woodland Engineering Design and Construction Standards for additional requirements.
65. Applicant shall be required to comply with the SLSP Final Environmental Report (FEIR) Mitigation Measures and Final Supplemental EIR relating to this Project.
66. A subdivision map (Final or Parcel) shall be processed and shall be recorded prior to issuance of a Building Permit.
67. U.S. Post Office mailbox locations shall be shown on the improvement plans subject to approval by the City Engineer and Postmaster.
68. A registered landscape architect shall design landscape and sound wall and privacy wall improvements and improvements shall be per the SLSP and other City Standards, as applicable.
69. Joint trench/utility plans shall be submitted to the City Engineer for review, prior to approval of the final map and improvement plans.
70. All existing and proposed utilities within 100 feet of the project boundary shall be installed underground per the subdivision ordinance and shall meet the policies, ordinances, and programs of the City of Woodland and the utility providers.
71. Street lighting location plan shall be submitted and approved by the Department of Public Works, prior to approval of improvement plans and final recordation of Map.
72. Roads must be constructed and paved prior to issuance of any building permit. Under specific circumstances, temporary roads may be allowed, but must be approved by the City of Woodland Public Works Director and Fire Department.
73. Occupancy of residential or business units shall not occur until off-site improvements (water,

sewer, streets, etc.) have been accepted by the City Council, and the City has approved as-built drawings, and the unit has been issued a Certificate of Occupancy by the Building Official. Applicants, contractors, and/or owners shall be responsible to so inform prospective buyers, lessees, or renters of particular units to be occupied of this condition.

74. If relocation of existing facilities is deemed necessary, the applicant shall perform the relocation, at the applicant's expense unless otherwise provided for through a reimbursement agreement. All public utility standards for public easements shall apply.
75. A Subdivision Improvement Agreement shall be entered into and recorded prior construction of improvements, issuance of any building permits, or recordation of a final map.

Easements and Right of Way

76. Appropriate easements shall be required for City maintained facilities located outside of City owned property or the public right-of-way.
77. The applicant shall facilitate, with City cooperation, the abandonment of all City easements and dedications currently held but no longer necessary as determined by the Public Works Department.
78. A ten (10) foot public utility easement back of sidewalk, adjacent to all public streets within the development shall be dedicated to the City and may be required elsewhere as requested by the utility companies and approved by the City. Exception- Not required on Pioneer Ave or Parkway Drive. With City Engineer approval the PUE may be 7 feet behind a separated sidewalk.
79. Per the project level Development Agreement, prior to approval of first set of improvement plans and final map, Applicant shall acquire all rights of way and easements necessary to construct off-site and on-site improvements associated with the tentative map.
80. The final map shall identify a relinquishment of access rights along County Road 102, Parkway Drive, and Pioneer Ave. Except pedestrian access may be provided adjacent arterial sidewalk.
81. Prior to the approval of the final map the developer shall have procured all necessary offsite easements including but not limited to the conveyance of agricultural runoff.

Reimbursements for Applicant Install Improvements

82. Applicant shall pay appropriate reimbursements for benefiting improvements installed by others, in the amount and at the time specified by existing reimbursement agreements.

Landscaping and Lighting

83. Project proponents shall enter into the Landscape and Lighting District, in order to maintain

- and provide for the future needs of parks, open space, street lighting, landscaping, sound walls, and other related aspects of development. The project proponent is responsible for all costs associated with this condition. The project proponent shall fulfill this condition prior to the sale of any buildable lots or parcels within the project area.
84. Applicant of multi-family residential, commercial and industrial project shall provide refuse enclosure detail showing bin locations and recycling facilities to the approval of the Public Works Department per the SLSP and SLSP Design Guidelines.
85. Prepare, and submit for approval, a utility site plan prior to preparation of full improvement plans.
86. Prepare improvement plans for any work within the public right-of-way and submit them to the Public Works department for review and approval. The improvement plan sheets shall include the title block as outlined in the City of Woodland Standard Specifications. This submittal is separate from the building permit submittal. All public improvements shall conform to the current City of Woodland Standard Specifications.
87. Each residence in the cul-de-sac must be able to accommodate parking for 3 vehicles: either (3) on site parking spaces or two (2) on site spaces and (1) on street space. The on street space shall be along the frontage of the subject property with no more than a 10-foot overlap across the frontage of adjacent parcels.
88. Underground any overhead utilities within the project.
89. Submit proposed Street names for approval by the City of Woodland.
90. Conform to County Health regulations and requirements for the abandonment of a septic tanks and water wells.
91. Public improvements in addition to roadway construction shall include water; sewer and storm drain mains, Fire hydrants, streetlights and railroad crossing improvements.
92. Encroachment permits if necessary from will be acquired from Yolo County, Cal-Trans and the railroad.
93. All utility poles that are to be relocated in conjunction with this project shall be identified on the improvement plans, with existing and proposed locations indicated.
94. All public landscape areas shall include water laterals with meters and PG&E power service points for automatic controllers.
95. Prior to recording of the final map, if required, provide evidence of payment for the Habitat Mitigation Fee. This fee is paid to the Yolo County Planning Department.
96. If improvements are constructed and/or installed by a party or parties other than the

Applicant, which improvements benefit Applicant's property, prior to issuance of a building permit (approval of the final map) on Applicants property, Applicant shall pay a proportionate share of the costs of said improvements, including interest, prior to the issuance of building permit(s) (approval of the final map) to Applicant.

Fire Department:

1. The Woodland Fire Department requires that development fees for future Woodland Fire Department capital projects are included in the development package and included in the Major Projects Financing Plan.
2. Homes proposed in the plan will be constructed with approved fire sprinkler systems in accordance with Chapter 9-A of the City of Woodland Municipal Code and NFPA 13-D.
3. Provide fire hydrants, which are spaced and constructed in accordance with the approved standards contained in the 2002 City of Woodland Standards and Specifications and Details Manual Chapter 7, Section 7.3 Fire Hydrants, which specifies that "Hydrants shall have a maximum spacing of 300-feet in all areas."
4. Appropriate street names for the project will be selected by the Woodland Fire Department after the homes are numbered by the Community Development Department.
5. The applicant shall conform with Development Regulations 4.7.3, 4.9.5, 6.24, and 6.25 to the satisfaction of the Fire Chief.

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