



City of Woodland

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695

Meeting Agenda

Planning Commission

530-661-5820

Thursday, January 21, 2016

6:30 PM

Council Chambers

Please Note: The numerical order of items on this agenda is for convenience of reference; items may be taken out of order. No new items shall begin after 10:30 pm unless unanimous consent exists to continue.

A. Call to Order

B. Roll Call

C. Pledge of Allegiance

D. Staff and Commissioner Comments

This is an opportunity for the Planning Commission members and staff to make comments and announcements to express concerns, or to request Commission's consideration of any items a Commission member would like to have discussed at a future Commission meeting.

E. Subcommittee Reports

F. Communications from the Public

This is an opportunity for the public to speak to the Commission on any item other than those listed for public hearing on the agenda. Speakers are requested to use the microphone in front of the Commission and to begin by stating their name, whether they reside in Woodland and the name of the organization they represent if any. The Commission may impose a time limit on any speaker depending on the number of people wanting to speak and time available for the rest of the agenda. In the event comments are related to an item scheduled on the agenda, speakers may be required to wait to make their comments until that item is considered.

G. Approval of Minutes

[16-291](#)

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meetings of November 5, 2015 and November 19, 2015.

Attachments: [A - Novemer 5, 2015 Meeting Minutes](#)

[B - November 19, 2015 Meeting Minutes](#)

H. Public Hearing

[16-307](#)

Downtown Woodland Mixed-Use Hotel Project - Conditional Use Permit. Request for a Conditional Use Permit to construct a five-story, 81 room hotel, including 6,810 square feet of commercial space on the first floor of the building for retail/restaurant uses in the Central Business District, Downtown Specific Plan Area, District A4.

Location: The mixed-use hotel project will include the redevelopment of all or portions of existing addresses: 1001, 1017 and 1021 Main Street and 318 and 320 Sixth Street.

Applicant/Owner: Jivan B. Patel and Ramilaben J. Patel Living Trust

Environmental Report: Categorical Exemption, Class 32

APN: 005-645-010, -011, -012, -014 and -015

Project Planner: Erika Bumgardner, Senior Planner

Staff Recommendation: Conditional Approval

Attachments: [1 - Planning Commission Resolution](#)

[2 - Conditions of Approval](#)

[3 - Hotel Plan Set \(Site Plan, Floor Plan, Elevations\)](#)

[4 - Architectural Design Statement](#)

[5 - Downtown Specific Plan District Map](#)

[6 - Project General Application and Justification Statement](#)

[7 - 1001 and 1017 Main Street Historic Resource Analysis](#)

[16-258](#)

SUBJECT: Bulls Eye Bail Bonds Project

DATE: January 21, 2016

RECOMMENDATION:

In light of the new information presented, the Planning Commission is asked to consider: 1) the proposed Downtown Specific Plan amendments to allow for a bail bonds business to locate within District A4 and to include specific performance standards pertaining to bail bonds businesses within the downtown; and 2) the requested Conditional Use Permit for Bulls Eye Bail Bonds to locate at 1037 Main Street within District A4.

Staff recommends that the Planning Commission:

- 1) conduct a public hearing;
- 2) consider the proposed Downtown Specific Plan Amendments to permit bail bonds businesses as a conditional use in the A4 District by amending Specific Plan Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, and consider the associated request for a

Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, within District A4; and

3) recommend to City Council approval or denial of the proposed Specific Plan Amendment and associated Conditional Use Permit.

Attachments: [1 - Copy of 6-2-15 City Council Staff Report](#)

[2 - Planning Commission Resolution Recommending Approval](#)

[3 - Planning Commission Resolution Recommending Denial](#)

[4 - Proposed Signage Elevation for Bulls Eye Bail Bonds](#)

[5 - Letter from Chamber of Commerce](#)

[6 - Letter to Main Street Business and Property Owners](#)

[7 - Public Comment Letters](#)

[8 - Applicant Initiated Survey and Responses](#)

I. Business Items

Items for Planning Commission discussion and/or action that do not require public hearing.

[16-295](#)

SUBJECT: Public Art Proposal for the Fairfield Inn and Suites, 2100 Freeway Drive

DATE: January 21, 2016

RECOMMENDATION

Staff recommends that the Planning Commission review and approve the public art proposal presented by Fairfield Inn and Suites featuring tile mosaic mural of an olive tree orchard.

Attachments: [A - Mosaic Mural Design Proposal.pdf](#)

[B - Location of art installation](#)

[C - Samples of Work Completed by Artist](#)

[16-260](#)

SUBJECT: Long Range Calendar and Application Information

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar and current project application information for informational purposes only.

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Staff Contact

Debbie Flemmer, Admin. Secretary - (530) 661-5818,
debbie.flemmer@cityofwoodland.org

BACKGROUND:

This calendar is being provided for planning purposes only and is intended to keep the Commission apprised of upcoming agenda items

and better plan for upcoming Planning Commission items. In addition, information concerning current development project submittals and applications is provided in Attachment B.

ATTACHMENTS:

Attachment A - Planning Commission Long Range Calendar January 13, 2016

Attachment B - Project Application Information January 12, 2016

Attachments: [A - PC Long Range Calendar 1-13-16](#)

[B - Project Application Information 1-12-16](#)

[C - January 19, 2016 CC Report.docx](#)

J. Staff or Commissioner Comments

Continued as needed.

K. Adjournment

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



Legislation Details (With Text)

File #: 16-291 **Version:** 1 **Name:**
Type: Minutes **Status:** Agenda Ready
File created: 1/4/2016 **In control:** Planning Commission
On agenda: 1/21/2016 **Final action:**
Title: SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meetings of November 5, 2015 and November 19, 2015.

Sponsors:

Indexes:

Code sections:

Attachments: [A - Novemer 5, 2015 Meeting Minutes](#)
[B - November 19, 2015 Meeting Minutes](#)

Date	Ver.	Action By	Action	Result
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Planning Commission Minutes

TO: Members of the Woodland Planning Commission

DATE: January 21, 2016

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meetings of November 5, 2015 and November 19, 2015.

STAFF CONTACT: Debbie Flemmer, Administrative Clerk, Community Development Department

ATTACHMENTS:

Attachment A - November 5, 2015 Meeting Minutes

Attachment B - November 19, 2015 Meeting Minutes



City of Woodland

Meeting Minutes - Draft

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695
530-661-5820

Thursday, November 5, 2015

6:30 PM

Council Chambers

A. Call to Order

Meeting was called to order at 6:35 pm

Staff Present:

Cindy Norris, Principal Planner

Tim Busch, Principal Civil Engineer

B. Roll Call

Present 7:

*Chairman Kirby Wells, Vice Chairman Chris Holt, Commissioner Steve Harris,
Commissioner Marco Lizarraga, Commissioner Fred Lopez, Commissioner John
Murphy and Commissioner Elodia Ortega-Lampkin*

C. Pledge of Allegiance

D. Staff and Commissioner Comments

E. Subcommittee Reports

F. Communications from the Public

G. Approval of Minutes

[16-191](#)

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meeting of October 15, 2015.

Attachments: [A - October 15, 2015 Meeting Minutes.pdf](#)

*A motion was made by Commissioner Lizarraga and seconded by Commissioner Lopez to approve the Planning Commission meeting minutes of October 15, 2015. The motion was carried by the following vote:
Ayes: Chairman Wells, Vice Chairman Holt and Commissioners Harris, Lizarraga, Lopez and Murphy*

Abstained: Elodia Ortega-Lampkin

H. Public Hearing

I. Business Items

[16-186](#)

SUBJECT: Water Utility - Major Projects update
DATE: November 5, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:
Receive the update from staff, Tim Busch, Principal Civil Engineer
regarding the Water Utility - Major Projects

Staff gave a brief presentation and informational report.

[16-184](#)

SUBJECT: SACOG Grant Awards Update
DATE: November 5, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:
Receive the update from staff regarding the SACOG Grant Awards

Staff gave a brief presentation and informational report.

[16-185](#)

SUBJECT: Update Commission of City Council Meeting November
3, 2015 regarding the General Plan
DATE: November 5, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission:
Receive the update from staff regarding the General Plan Public
Hearing item of November 3, 2015 City Council Meeting.

Staff gave a brief presentation and informational report.

J. Staff or Commissioner Comments

- Fred Lopez requested that the Staff report back with information regarding code enforcement measures that may be taken to address nuisance concerns that can be associated with vacant lots.
- Kirby Wells requested that Staff provide information with regard to vacant city owned properties in order to discuss possible options.
- Kirby Wells requested that materials presented on Public Art at the October 15 meeting be provided to the full Commission for discussion purposes.

K. Adjournment

Meeting was adjourned at 7:58 pm

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



City of Woodland

Meeting Minutes - Draft

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695
530-661-5820

Thursday, November 19, 2015

6:30 PM

Council Chambers

A. Call to Order

Meeting was called to order at 6:30 pm

Staff Present:

Ken Hiatt, Director

Cindy Norris, Principal Planner

B. Roll Call

Present 6:

*Chairman Kirby Wells, Vice Chairman Chris Holt, Commissioner Steve Harris,
Commissioner Marco Lizarraga, Commissioner Fred Lopez and Commissioner Elodia
Ortega-Lampkin*

Absent:

Commissioner John Murphy

C. Pledge of Allegiance

D. Staff and Commissioner Comments

[16-223](#)

SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar for informational purposes only.

Attachments: [A - Planning Commission Long Calendar November 19, 2015](#)

After discussion the Commission recommended that the December 3, 2015 Commission meeting be canceled due to the number of Commission members who would be unable to attend the meeting.

E. Subcommittee Reports

F. Communications from the Public

G. Approval of Minutes

H. Public Hearing**I. Business Items**[16-218](#)

SUBJECT: Informational Response Concerning Vacant or Blighted Properties

DATE: November 19, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission receive an informational update at the Planning Commission meeting regarding the City of Woodland Code Enforcement Program.

Attachments: [A - Quarterly Report Progress Report July - Sept 2015](#)

Staff gave a brief presentation and informational report. Chairman Wells suggested that any Commission member who may be interested request to ride along with Code Enforcement Officers.

[16-226](#)

SUBJECT: Review of Jurisdictional Authority Concerning the City's Sign Ordinance

DATE: November 19, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission receive information from Staff regarding the Sign Ordinance. Information will be presented at the meeting.

After discussion concerning the complexity of legislation concerning jurisdictional review authority, it was suggested that the City attempt to engage the School District to discuss issues of concern with regard to signs. It was also noted, that because the School District regulates its own signs, that those who have a concern with any sign should contact the School District directly.

[16-220](#)

SUBJECT: Public Art Discussion and Review of Subcommittee Information

DATE: November 19, 2015

RECOMMENDATION:

Staff recommends that the Planning Commission receive information concerning public art provided by the Public Art Ad Hoc Subcommittee and discuss key questions.

Attachments: [A1 - Copy of a draft framework](#)
[A2 - Power Point Presentation by Public Art Subcommittee on 10-15-15](#)
[B - Example PA Guidelines and Review Criteria 11.19.15.docx](#)

After significant discussion of the public art policy the following key guidance provisions were preliminarily recommended:

- *That any public art policy should apply to private projects rather than publicly initiated projects (there was some discussion on this point)*
- *That a 1% fee be levied upon projects for public art.*
- *That responsibility for review of public art will continue to be the Planning Commission, until such time as the Council appoints a Public Art Review Commission.*
- *Provide language to allow for review and annual reporting concerning the public art fund/budget. (Finance)*
- *Clarify who can prepare or submit public art (do not want to preclude an architect from being part of the process)*
- *Clarify project cost vs. construction cost*
- *Clarify with more certainty which projects have the ability to provide art if they wish and when and how a fee would be utilized in lieu?*
- *How will public art be reviewed and by what criteria?*

It was requested that staff review and prepare a summary of the concepts and then bring the item back.

J. Staff or Commissioner Comments

- *Clarify project cost vs. construction cost*
- *Clarify with more certainty which projects have the ability to provide art if they wish and when and how a fee would be utilized in lieu?*
- *How will public art be reviewed and by what criteria?*

It was requested that staff review and prepare a summary of the concepts and then bring the item back (Not clear – does it go back to subcommittee first and then PC?)

K. Adjournment

Meeting was adjourned at 7:55 pm

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



Legislation Details (With Text)

File #: 16-307 Version: 1 Name:

Type: Public Hearing Item Status: Agenda Ready

File created: 1/13/2016 In control: Planning Commission

On agenda: 1/21/2016 Final action:

Title: Downtown Woodland Mixed-Use Hotel Project - Conditional Use Permit. Request for a Conditional Use Permit to construct a five-story, 81 room hotel, including 6,810 square feet of commercial space on the first floor of the building for retail/restaurant uses in the Central Business District, Downtown Specific Plan Area, District A4.
Location: The mixed-use hotel project will include the redevelopment of all or portions of existing addresses: 1001, 1017 and 1021 Main Street and 318 and 320 Sixth Street.

Applicant/Owner: Jivan B. Patel and Ramilaben J. Patel Living Trust

Environmental Report: Categorical Exemption, Class 32

APN: 005-645-010, -011, -012, -014 and -015

Project Planner: Erika Bumgardner, Senior Planner

Staff Recommendation: Conditional Approval

Sponsors:

Indexes:

Code sections:

Attachments: [1 - Planning Commission Resolution](#)
[2 - Conditions of Approval](#)
[3 - Hotel Plan Set \(Site Plan, Floor Plan, Elevations\)](#)
[4 - Architectural Design Statement](#)
[5 - Downtown Specific Plan District Map](#)
[6 - Project General Application and Justification Statement](#)
[7 - 1001 and 1017 Main Street Historic Resource Analysis](#)

Date	Ver.	Action By	Action	Result
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Planning Commission

Downtown Woodland Mixed-Use Hotel Project - Conditional Use Permit. Request for a Conditional Use

Permit to construct a five-story, 81 room hotel, including 6,810 square feet of commercial space on the first floor of the building for retail/restaurant uses in the Central Business District, Downtown Specific Plan Area, District A4.

Location: The mixed-use hotel project will include the redevelopment of all or portions of existing addresses: 1001, 1017 and 1021 Main Street and 318 and 320 Sixth Street.

Applicant/Owner: Jivan B. Patel and Ramilaben J. Patel Living Trust

Environmental Report: Categorical Exemption, Class 32

APN: 005-645-010, -011, -012, -014 and -015

Project Planner: Erika Bumgardner, Senior Planner

Staff Recommendation: Conditional Approval

Report For: Planning Commission Public Hearing - January 21, 2016

General Plan Designation: Central Commercial (CC)

Current Zoning: Central Business District (CBD)

Specific Plan Designation: Downtown Specific Plan, District A4

Existing Land Uses: Motel, Park, Commercial Building, Parking Lots

Flood Zone: X - Area Outside the 2% Annual Chance Flood Event, FIRM Community Panel Number 06113C0445H Revised May 16, 2002

Street Access: Main, Court and Sixth Streets

Adjacent Land Uses & Zoning:

DIRECTION	LAND USE	ZONING
North	Residential/Commercial	Central Business District
South	Office/Commercial	Central Business District
East	Commercial/Office/Undeveloped	Central Business District
West	Commercial/Residential/Park	Central Business District

Pending/Potential Action

Staff recommends that the Planning Commission take action on the following:

1. Receive the Staff Report;
2. Conduct the Public Hearing;
3. Adopt Resolution No. PC 16-_____, recommending that the City Council approve the Conditional Use Permit (CUP), Site Plan and Design Review application allowing a five-story, 81-room, mixed use hotel project in the Central Business District, Downtown Specific Plan Area, District A4, including a reduction in the number of required on-site parking spaces, and a modification to sign height limit requirements, based on the findings presented and a determination of project consistency with the Downtown Specific Plan.

Project Site Description

The Downtown Specific Plan “District A4,” as identified in Figure 3-3 of the Specific Plan (see Attachment 5) is located on the eastern portion of the Main Street commercial corridor between Fifth and East Streets. In the area just north of Main Street and west of Sixth Street, land uses consist of a two-acre city park (Freeman Park), Toy Library and United Way offices, the Budget Inn, an auto glass shop, and a tanning salon. To the east of Sixth Street are vacant lots and an empty Victorian house. The new courthouse is located south of Main Street, east of Sixth, also in District A4. The Wiseman Building is located south of Main Street and west of Sixth Street.

The proposed address for the mixed-use hotel project is 1021 Main Street; however, the project will include the acquisition and redevelopment of a small portion (approximately 14,365± square feet or 0.330± acres) of the existing 2.25 acre Freeman Park site at 1001 Main Street, the existing Woodland Toy Library at 1017 Main Street (approximately 9,502.5± square feet or 0.218± acres), and the existing Budget Motel at 1021 Main Street and 318 and 320 Sixth Street (see Attachment 3). The proposed footprint of the hotel is 16,823 square feet. The project site, including the hotel footprint, parking and outdoor use areas is approximately 49,960 square

feet or 1.146 acres in size. Site access consists of driveways off of Main Street, Sixth Street and Court Street.

Background

In May of 2015, the city was contacted by the owners of the Budget Inn inquiring as to the city's interest in considering the sale of its property adjacent to their motel at 1021 Main Street for the development of a mixed use extended stay hotel and retail/restaurant project on the combined site.

The city owns both 1001 Main Street and 1017 Main Street, which are adjacent and to the west of the Budget Inn motel. 1001 Main Street (Freeman Park) is a 2.251 acre parcel which consists of park improvements, a new municipal drinking water well, and parking to serve the park and adjacent City owned building at 1017 Main Street. The Freeman Park property was quitclaimed from the Woodland Joint Unified School District to the City in 2004.

The building at 1017 Main Street, commonly referred to as the United Way Building, is currently occupied by the Toy Library. The Toy Library is operating as a quasi-city program and the city will be assisting them in securing a longer term location for their use. The State of California quitclaimed the property in 1974 to the City with a condition that the property be used for park and recreational purposes for 25 years. This condition was satisfied and no longer restricts the use of the site.

In June, the city entered into an Exclusive Negotiating Agreement (ENA) with the project applicants, Jiven B. Patel and Ramilaben J. Patel Living Trust for the disposition of 1017 Main Street (Woodland Toy Library) and a portion of 1001 Main Street (Freeman Park) through a Disposition and Development Agreement (DDA) for the development of the mixed-use hotel project. The ENA did not bind either party to the sale or purchase of the property, but allowed for a negotiation and due diligence period. During this period a site appraisal and historic survey of Freeman Park and the former California Highway Patrol/Department of Motor Vehicles (DMV) building (currently housing the Toy Library) were completed for the City owned properties, as well as preliminary design plans and additional site and financial analysis to determine the feasibility of the project. (Historic Survey included in Attachment 7 and a more detailed summary of the historic survey results provided below.)

Based on the results of analysis completed to date, the applicant desires to proceed with the proposed project as described in detail below. The application must secure a Conditional Use Permit and Site Plan/Design Review approval from City Council as well as enter into a City Council approved Disposition and Development Agreement (DDA) to move forward with the project. The Planning Commission is asked to recommend City Council approval of the CUP, Site Plan and Design Review application as part of this report.

Project Proposal

The applicant is requesting a Conditional Use Permit to for the construction of a 63,179 square foot, 81 room Home2 Suites by Hilton (or similar extended stay hospitality brand/company) on 1.146 acres at 1021 Main Street. The proposed extended stay hotel will provide accommodation for travelers on leisure or work related stays within the heart of Historic Woodland within walking distance to dining, entertainment and retail amenities. The proposed hotel will include a small porte-cochere entryway, main lobby, two meeting rooms of approximately 800 square feet each, a fitness room, an indoor pool and approximately 6,810 square feet of retail, restaurant and café space fronting Main Street. These retail/dining spaces will open out on to Main Street and Freeman Park, utilizing full roll-up/tilt-up doors to allow for an open-air dining experience. Patio areas adjacent to Main Street and Freeman Park include outdoor seating/dining opportunities. The proposal includes 107 parking spaces, 42 of which are located within a proposed second-level parking structure adjacent

Sixth Street. (See Attachment 3 - Site Plan, Elevations and Photo Simulations.)

The proposed structure is five stories tall, with hotel rooms occupying floors two through five. The ground floor will house the indoor pool and fitness room, lobby, two meetings rooms, and the retail/restaurant space fronting Main Street. The roof line of the fifth story will be approximately 66 feet with an overall average height of 70 feet to the top of the parapet.

Upon approval of the Conditional Use Permit and based on a specific schedule of performances outlined in the Disposition and Development Agreement, the project application will initiate the required lot line adjustments and/or parcel map necessary to transfer ownership of land required for the project.

City Services

The project site is currently served by City services. Existing utilities (storm water, sewer, water, electrical and gas) are adequate to serve the proposed project.

Public Notification

Public notice advertising for the public hearing on this project was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Woodland's Municipal Code and State Planning Law. Two methods of public notice were used:

- Legal notice was published in the Woodland Daily Democrat.
- Notices were mailed to all property owners within 300 feet of the project site.

Copies of the factual staff report for the proposed project have been on file at City Hall since January 15, 2016.

Applicable Laws, Codes & Ordinances

The project is subject to several laws, codes, and ordinances:

- The California Environmental Quality Act (CEQA)
- The City of Woodland General Plan
- The City of Woodland Zoning Ordinance
- The City of Woodland Community Design Standards
- The City of Woodland Downtown Specific Plan

Environmental Assessment Status

This project qualifies for a categorical exemption from the provisions of CEQA as the project is considered a Class 32 In-Fill development (CEQA Guidelines, §15332). This class of exemption is required to adhere to the following requirements:

- A. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as applicable zoning designation and regulations.
- B. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- C. The project site has no value as habitat for endangered, rare or threatened species.
- D. Approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality.
- E. The site can be adequately served by all required utilities and public services.

The site is located within the Woodland City Limits. The project is located on a site of less than five (5) acres in size (project site is approximately 1.14 acres). The site is surrounded by urban development. The site was previously graded and consists of existing buildings and improved park land. The site does not provide habitat for sensitive species. Development of the site will not result in significant noise, air quality, or water quality impacts, or impacts to historic structures or resources. The project will comply with City noise standards. Existing utilities (storm water, sewer, water, electrical and gas) are adequate to serve the proposed project.

Prior to taking action to approve the project as recommended, the Planning Commission is required to confirm the environmental determination in conjunction with action on the project. If this project is approved, staff will file a notice of exemption with the Yolo County Clerk's Office in conformance with Article 5 §15062(a) of the CEQA guidelines.

Historic Resource Analysis and Historical Preservation Commission

A Historical Resource Study (Attachment 7) was completed in September 2015 for 1001 Main Street ("Freeman Park") and 1017 Main Street ("Woodland Toy Library"). The city retained the services of Historic Resources Associates to perform the attached analysis. The analysis was completed to determine the potential historic significance of each property as part of the initial "due diligence" phase of investigation and planning associated with the proposed mixed-use, five-story hotel building which would occupy the parcel currently occupied by the Woodland Toy Library and a small portion of Freeman Park. The proposed hotel would abut Freeman Park, filling the existing driveway and parking area currently used to access the park via Main Street.

Neither 1001 nor 1017 Main Street are located within the National Register Downtown Woodland Historic District, nor are the properties designated historical landmarks. None the less, the 1997-98 revised survey of historical properties within the city's redevelopment area identified 1017 Main Street as "appear[ing] worthy of Woodland's local list." As such, a detailed historical analysis of both 1017 and 1001 Main Street was completed to determine the historic significance of each property.

In summary, the historic survey concluded that 1001 Main Street (Freeman Park) is not a significant resource under any of the National Register of Historic Places (NRHP) or California Register of Historic Resources (CRHR) criteria, or the City of Woodland Section 12A-3-1 standards for designation of historical landmarks, historical districts, and historical resources. This is largely due to the loss of nearly all of the park's character defining features associated with the original park design or that of the Works Project Administration park design, resulting in a lack of sufficient integrity to consider it a historic resource.

In contrast, the historic survey noted that 1017 Main Street (Woodland Toy Library, formerly the California DMV and Highway Patrol Office) retains good integrity. However the building was one of hundreds designed by California State Architect Alfred A. Eichler during the 1920s through the 1940s, and by contrast, is one of the considerably less elaborate, unique or exemplary in regards to workmanship and design. Further, the building does not reflect an important association with other governmental buildings in Woodland, such as the old Courthouse, that played a significant role in the city's political and social history. Therefore, the property does not appear to be a significant resource under any of the NRHP or CRHR criteria, and the city's Section 12A-3-1 standards for designation of historical landmarks, historical districts, and historical resources.

Consistent with Section 12A-7-3 of the Municipal Code, a determination was made by the Director of Community Development that the properties should not be considered for designation as a historical landmark or historical resource. Because the properties are not located within the city's designated historical district and are not designated historical landmarks, the proposed demolition and redevelopment of the Woodland Toy

Library and a small portion of Freeman Park associated with the hotel project were not formally considered by the Historical Preservation Commission. However, a copy of the historic resource study was provided to the Historical Preservation Commission and an informational item and staff report was prepared for the November 18, 2015 Historical Preservation Commission meeting to provide an opportunity for the commission to provide comments, propose modifications and/or ask questions regarding the report. The Commission had no concerns with the results of the report. One commission member suggested areas for contextual clarification, but had no concerns with the final report findings.

Reviewing Agency Comments

The project was circulated for review by the City of Woodland Building, Public Works, Development Engineering, Traffic Engineering and Fire Divisions, Woodland Recreation and Parks District, the Woodland Police Department, Yolo County Transit District and Waste Management. All reviewing agency comments have been integrated into the conditions of approval.

General Plan Consistency

The 2002 General Plan (GP) designation for the site is Central Commercial (CC). This General Plan designation provides for retail and services uses, restaurants, banks, entertainment uses, professional and administrative offices, residential units above the ground floor, public and quasi-public uses, and similar and compatible uses. The Floor Area Ratio (FAR) for non-residential uses located within the Central Commercial land use designation shall not exceed 4.0. The project's FAR is 1.2. *The proposed use of the site as a hotel is consistent with the General Plan.*

Consistency with Other Plans

The project site is subject to the requirements of the Community Design Standards and Zoning Ordinance except where superseded by the regulations contained within the City of Woodland Downtown Specific Plan. Where a topic is not addressed in the Specific Plan, other applicable City regulations (i.e. Zoning Ordinance and Community Design Standards) apply. The following analysis outlines the project's compliance with the Downtown Specific Plan regulations and/or Zoning/Design Standards as applicable:

Specific Plan and Land Use

The project site is located within the City's Downtown Specific Planning Area, District A4. Hotels and mixed-use development projects are permitted within District A4 subject to approval of a Conditional Use Permit. The goal of the Specific Plan is to revitalize Woodland's historic downtown into a vibrant place, reflective of the community's history and historic character, where residents and visitors alike come together to work, live, play and actively engage in the community. The Downtown Specific Plan identifies District A4 as the "Eastern Gateway" of the downtown and articulates a vision for the north side of Main Street that builds upon the mixed use development theme to the north (including the old Rice Mill building). The plan suggests that the city extend Freeman Park eastward out to 6th Street to capitalize on its unique location as a relatively large downtown park.

The proposed project is consistent with the vision for this "eastern gateway" section of Main Street, incorporating land use and design elements similar to the Rice Mill. The mixed-use hotel project provides for a unique and grand entrance into Woodland's historic downtown with the building itself located just off of Main Street extending north toward Court Street, with outdoor space provided between the hotel and Main Street for patio dining and other social gathering opportunities. The ground floor of the hotel includes over 6,500 square

feet of retail/restaurant opportunities, accessible from Main Street, providing additional shopping and/or dining opportunities for hotel guests and downtown visitors, in addition to the hotel lobby and other hotel amenities also located on the ground floor. The retail/restaurant spaces will open out onto Main Street and Freeman Park, enriching the streetscape and the park and reinforcing downtown's identity as a compelling place for shoppers and visitors. As described in detail below (Project Design section), the proposed building architecture, exterior finish, and retail storefronts on Main Street, draw upon the historic elements of Woodland's downtown including the use of brick and decorative tower/roofline elements. The proposed mix of uses and connection to Freeman Park will help draw people downtown during the day, evening and on weekends. The project provides an improved streetscape offering visitors a pleasant pedestrian experience and creates a series of outdoor spaces to encourage social gatherings in the downtown.

The project does reduce the overall acreage of Freeman Park by approximately 0.33 acres (much of which currently consists of asphalt parking areas), however; the commercial space on the ground floor of the hotel, opening out on to the park, as well as the guest rooms above, will provide additional "eyes on the park" for safety, as well as serve to "reenergize" the park. While the specific plan vision of an enlarged park size is not proposed, the project will enhance utilization of this important downtown/community asset by improving the activity around it and making it a more inviting place.

Project Design

The proposed building design incorporates design elements similar to those throughout the downtown. The façade has crowns and bases similar to other historic downtown structures but the brickwork is new and in keeping with a newly constructed building. As described by the applicant, "The façade is grand in scale, promoting a sense of place. Awnings, decorative lighting, and signage will all develop the idea of retail and "people spaces."

The building mass is broken up into two styles; the front is clad in brick and black glass and the rear portion in a deep chocolate brown, with an urban "warehouse" style. At the intersection of the two building styles, a vertical white band occurs which is a visual cue for the Hilton Home2 product signage standards.

The project architect provides a detailed description of the project design concepts and use of materials in Attachment 4.

Development Standards

Setbacks. The site plan for the proposed hotel shows the following proposed setbacks:

<u>Setback</u>	<u>Requirement</u>	<u>Proposed Hotel/Parking Structure</u>
Front Yard	Average setback on the block	15'/0'
Rear Yard	None, unless adjacent to residential use, then 10 feet	20'/0'
West Side Yard	None/0'	4.3'/0'
East Side Yard	None/0'	49.77'/0'

The average front setback on Main Street between Sixth and Fourth Street is 14 feet. The average front setback on Sixth Street between Main and Court Street is 26 feet, however; one warehouse building is setback approximately 100 feet from Sixth Street resulting in an atypical setback average for the block as compared to most of the historic district. Staff finds that the project is in substantial compliance with setback standards within the Downtown Business District and is consistent with typical setbacks along Main and within the

historic downtown district meeting the intent of the downtown standards.

Height. The Downtown Specific Plans allows for a maximum height of 65 feet in District A. The proposed height at the building's roof line is approximately 66 feet above grade. The overall height of the proposed building including decorative parapet and tower feature is approximately 70 feet above grade. The height of the building is typically defined as the vertical distance measured from the average level of the highest and lowest point of that portion of the lot covered by the building to the top most point of the roof excluding chimneys, elevators, ventilation and air conditioning equipment, and parapet walls. Article 25, "Exceptions and Modifications," of the Zoning Ordinance states that height limitations shall not apply to "belfries, chimneys, cupolas, towers, [etc.]...or parapet walls extending not more than four feet above the limiting height of the building." As such, staff finds that the overall height of the building is in substantial compliance with and meets the intent of the Downtown Specific Plan and Zoning Ordinance for height requirements considering average grade.

Lot Coverage. The Downtown Specific Plan District A specifies a maximum lot coverage of 100 percent. "Lot coverage" means the area of a lot occupied by buildings, and does not include fences, walls, hedges, swimming pools, or uncovered patios. The subject parcel (after proposed lot line adjustments are complete) is 1.146 acres or 49,960 square feet in area. The proposed project, including the parking structure, has a footprint of approximately 31,820 square feet (16,820sf hotel footprint + 15,000sf parking structure "footprint" = 31,820sf). The proposed project has a lot coverage of 63 percent and is therefore consistent with the lot coverage requirements (31,820sf combined building footprint ÷ 49,960sf parcel size = 0.63 or 63 percent).

Off Street Parking. Article 23, Section 25-23-15, of the Zoning Ordinance speaks to parking requirements within the Downtown Parking District. Hotel uses are required to provide one space per room plus one space for the manager; retail spaces, restaurants, cafes, and coffee shops are required to provide one space for each three hundred square feet of gross floor area. The proposed 81 room mixed-use hotel, including 6,810 square feet of commercial/retail space is required to provide 105 off street parking spaces assuming the hotel and commercial areas are calculated as entirely separate uses and parking requirements are met for each individual use. Through a shared parking agreement with the city for use of the city parking lot adjacent Freeman Park off of Court Street, the project is anticipated to provide for 107 off-street parking spaces (92 on-site spaces, including 42 second-level parking structure spaces, plus 15 shared spaces).

Consistent with Section 25-23-15 of the Zoning Ordinance, the Planning Commission may consider and approve a shared parking agreement to reduce parking demand by a maximum of twenty-five percent from the underlying base standards if the commission finds that: 1) there are unique aspects of the use that warrant a reduction in on-site parking spaces; 2) that there will be no conflict in type and the time of the uses where shared parking is granted; 3) that sufficient parking will remain within the downtown parking district; 4) that the number of spaces provided will meet the greatest parking demand of any participating use; 5) that there will not be a significant negative impact to surrounding properties. Shared parking may be considered if multiple uses on the same parcel cooperatively operate the facilities and if some uses generate parking demands when other uses are not in operation. A twenty-five percent reduction in the parking requirement would allow for a reduction of 26 parking spaces, requiring a total of 79 off-street parking spaces for the project.

As final development plans are prepared, specific parking lot and structure design may change resulting in a possible addition or reduction in the number of on-site parking spaces provided. Staff recommends that the Planning Commission consider and recommend approval of the following condition of project approval to allow staff to continue to work with the applicant to develop the best parking solution possible as the project moves through final design stages. The following condition would allow for a possible 14 percent reduction in parking spaces.

Project shall include not less than 90 parking spaces, but shall strive to provide the standard 105 spaces based on use and square footage requirements. Required parking spaces can be provided through a combination of on-site parking and parking secured through shared use agreement(s) with the city and other property owners within 300 feet of the site. Final parking design, including parking structure, shall be submitted for review and approval by the City Planning Division and Traffic Engineer prior to building permit issuance.

Ninety (90) parking spaces exceeds the total parking required for the hotel as a standalone use (82 spaces required), plus eight additional spaces.

Staff recommends that the Planning Commission adopt the above listed findings for a shared parking reduction based on the following analysis:

- The hotel includes 81 rooms requiring one parking space each. It is not likely that the hotel will reach 100 percent occupancy 100 percent of the time, reducing the 1 to 1 ratio requirement.
- The project will provide 21 on-site bicycling parking spaces, including a minimum of 8 covered and secured spaces for employees allowing for alternative modes of transportation to the site and a reduction in parking demand.
- It can be assumed that a significant portion of the patrons of the commercial (retail/restaurant) space(s) in the hotel will either be guests of the hotel or will be pedestrian visitors from adjacent downtown businesses and/or the courthouse located directly across Main Street reducing on-site parking demand.
- During peak evening dining hours and on weekends, other nearby businesses/offices in the downtown are closed, freeing up on-street/off-site parking around the project.
- During the midday peak lunch hour, the hotel parking demand will be at its minimum.
- The project has been conditioned to establish, and provide to the City for review, a Valet parking plan which can be utilized during special events or at times that the hotel is reaching maximum occupancy levels, which will allow for additional vehicles to be parked on-site.

The proposed 42 space parking structure, as conditioned, shall be consistent with the direction provided in the Downtown Specific Plan for garages which specifies that the architecture of the parking structure shall be similar to all of the adjacent buildings to disguise the actual parking element in the design. As conditioned, the applicant will continue to work with staff and the Planning Commission Design Review Liaison to enhance the overall appearance of the parking structure, to include design details, landscaping or other façade enhancements that will complement the design of the hotel and minimize the overall mass and scale of the structure from Sixth Street and adjacent properties.

Landscaping. Article 22 of the Zoning Ordinance commencing with Section 25-22-01 addresses landscaping. The Zoning Ordinance requires that no less than six percent of the interior area of all parking lots shall be devoted to permanent landscaping. The Zoning Ordinance also requires that shade trees shall be planted and evenly distributed within uncovered portions of the auto parking area so that at the trees maturity, 40 percent of all the parking stalls and back up area will be in shade at high noon at such times as the trees have full foliage. This requirement does not apply to the second level of the parking structure, which will consist of an uncovered parking area.

The applicant shall submit and obtain from the Community Development Department approval for all final landscape and irrigation plans. The project, as conditioned, is consistent with the Zoning Ordinance.

Signage. Section 6.7 of the Downtown Specific Plan addresses sign requirements and guidelines. The applicant will be required to provide fully dimensioned elevations and construction detailed drawings, and receive approval for all proposed signs prior to installation. Staff will review these plans to ensure that they meet the criteria identified in the specific plan, applicable Zoning Ordinance sections and Community Design Standards. Signage exceeding 200 square feet in total combined area or that deviate substantially from adopted standards or intent of the Downtown Specific Plan shall require Planning Commission Approval.

The Planning Commission is asked as part of this report to consider and recommend approval of an exception to the Zoning Ordinance sign standards applicable to the Central Business District which limit wall mounted signs to 30 feet in height. This requirement is inappropriate given the height and design of the proposed project. The Planning Commission is asked to recommend approval of project signage that exceeds the 30 foot height limit, but that requires all proposed signage to be located below the top of the parapet wall/roof line as shown and in substantial compliance with the project elevations. A Comprehensive Sign Plan shall be submitted for review and approval by the Community Development Director prior to issuance of a building permit.

Public Art. The Community Design Standards require public art for the proposed project. As conditioned, the proposed public art installation shall be brought back to the Planning Commission for review and approval prior to issuance of a Certificate of Occupancy.

Lighting. Parking areas, driveways, circulation areas, aisles, passageways, recesses, and grounds contiguous to buildings shall be provided with adequate illumination. A lighting level of one foot-candle minimum, maintained illumination at ground level is required per the Security Ordinance. Such lighting shall be equipped with vandal-resistant covers. Prior to issuance of a building permit, the applicant shall submit a lighting plan to be reviewed by the Planning Department.

Conditional Use Permit

Article 27 of the Zoning Regulations commencing with section 25-27-01 addresses conditional use permits. The Planning Commission may approve, conditionally approve or deny an application for a conditional use permit; and in authorizing a conditional use, may impose such requirements and conditions with respect to location, construction, time period, maintenance, and operation, as deemed necessary for the protection of adjacent properties and the public interest, when reasonably related to the use of the property. Before granting any conditional use permit the Planning Commission shall be satisfied that the proposed structure or use conforms to the requirements and the intent of this chapter and the general plan. The zoning for the proposed site is Downtown Specific Plan, Area A4. Hotels and mixed-use developments are permitted in this zone with a Conditional Use Permit.

Appeal

The Planning Commission action on the Conditional Use Permit shall be final unless, within **fourteen (14) calendar days** after the decision, the applicant or any other person, including the City Council, any individual City Council member, or the City Manager, not satisfied with the decision of the Planning Commission, may appeal to the City Council. No conflict of interest shall exist solely by reason of the filing of an appeal by the City Council, an individual City Council member, or the City Manager. Any appeal shall be filed with the City Clerk and, except an appeal by the City Council, a Council member, or the City Manager, shall be accompanied by a filing fee as prescribed by City Council resolution. The City Clerk shall set a date for a public hearing and shall give notice to the appellant, the applicant, and neighboring property owners in the manner provided in Section 25-27-20.

Recommendation

Staff recommends that the Planning Commission take action on the following:

1. Receive the Staff Report;
2. Conduct the Public Hearing;
3. Adopt Resolution No. PC 16-_____, recommending that the City Council approve the Conditional Use Permit (CUP), Site Plan and Design Review application allowing a five-story, 81-room, mixed use hotel project in the Central Business District, Downtown Specific Plan Area, District A4, including a reduction in the number of required on-site parking spaces, and a modification to sign height limit requirements, based on the findings presented and a determination of project consistency with the Downtown Specific Plan.

ATTACHMENTS:

Attachment 1 - Planning Commission Resolution

Attachment 2 - Conditions of Approval

Attachment 3 - Hotel Plan Set (Site Plan, Floor Plan, Elevations)

Attachment 4 - Architectural Design Statement

Attachment 5 - Downtown Specific Plan District Map

Attachment 6 - Project General Application and Justification Statement

Attachment 7 - 1001 and 1017 Historic Resource Analysis

RESOLUTION NO. PC 16-_____

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WOODLAND RECOMMENDING CITY COUNCIL APPROVAL OF A
CONDITIONAL USE PERMIT, SITE PLAN AND DESIGN REVIEW
APPLICATION FOR AN 81-ROOM EXTENDED STAY HOTEL
LOCATED AT 1021 MAIN STREET IN THE DOWNTOWN BUSINESS
DISTRICT, DOWNTOWN SPECIFIC PLAN AREA – DISTRICT A4**

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on January 21, 2016, to review and consider recommending to City Council approval of a Conditional Use Permit, Site Plan and Design Review application for a proposed 81-room, Hilton Home2 Suites hotel (or similar extended stay hospitality brand/company), including 6,810 square feet of commercial/retail space on the ground floor, consistent with the site plan and elevations shown in “Exhibit B,” located at 1021 Main Street in the Downtown Business District, Downtown Specific Plan Area; and

WHEREAS, the proposed project conforms to and is consistent with the City of Woodland General Plan, Zoning Ordinance, and Downtown Specific Plan in the that use is conditionally permitted in the Downtown Specific Plan Area, District A4, and meets those policies and regulations as set forth in the general plan and zoning ordinance and appropriate conditions have been made part of the approval (“Exhibit A”); and

WHEREAS, the proposed use will not constitute a nuisance or be detrimental to the public welfare of the community, in that the intensity of the use is modest and the use would be consistent with existing and permitted uses in the area; all conditions and requirements deemed necessary and in the public interest have been or will be met as they have been imposed on the application approval to reduce the impact of the use on adjacent properties an vicinity; and there are no significant privacy, noise, traffic, parking concerns raised by the use; and

WHEREAS, the nature, intensity and condition of the proposed use is compatible with existing and adjacent uses and structures and appropriate for the site, in that the project is for a 81-room hotel located within Woodland’s Downtown Business District, adjacent to existing multi-story office and commercial buildings and to the five-story Yolo County Courthouse; the project meets all applicable development standards; and appropriate conditions have been made part of the approval; and

WHEREAS, as final development plans are prepared, specific parking lot and structure design may change resulting in a possible addition or reduction in the number of on-site parking spaces provided. Consistent with Section 25-23-15 of the Zoning Ordinance, the applicant is requesting a possible 14 percent reduction in the amount of onsite parking provided, but shall strive to provide the standard 105 spaces based on use and square footage requirements; and

WHEREAS, proposed signage for the hotel use will likely exceed the maximum sign height requirement of 30 feet due to the design and nature of the building; therefore the applicant is requesting a modification to the height standard to allow future signage to exceed 30 feet, but to

remain below the top of the parapet wall or roofline, consistent with the signage shown in the project elevations (“Exhibit B”); and

WHEREAS, the proposed project substantially satisfies the design requirements and intent of the Community Design Standards for the development in the City of Woodland and the Downtown Specific Plan Design Guidelines; and

WHEREAS, pursuant to the California Environmental Quality Act (“CEQA”), the proposed modified use is categorically exempt from further environmental review pursuant to CEQA Section 15332 which exempts infill development projects that are consistent with applicable general plan and zoning designations, policies and regulations; that are within city limits on a project site of no more than five acres and substantially surrounding by urban uses; where the project site has no value as habitat for endangered, rare or threatened species; where project approval will not result in any significant effects relating to traffic, noise, air quality, or water quality; and where the site can be adequately served by all required utilities and public services; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Woodland, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby make the following findings, determinations, and recommendations with respect to the proposed Conditional Use Permit, and Site Plan and Design Review application:

- 1) The Planning Commission, in recommending to the City Council approval of the Conditional Use Permit, and Site Plan and Design Review application, hereby makes the following findings:
 - a) The proposed Conditional Use Permit, and Site Plan and Design Review application, allowing for an 81-room extended stay hotel with ground floor commercial/retail use at 1021 Main Street conforms to the City of Woodland General Plan, applicable provisions of the Zoning Ordinance, Community Design Standards and the Downtown Specific Plan, in that the use shall be conditionally permitted in District A4 of the Central Business District, and appropriate conditions have been made part of the approval.
 - b) The proposed reduction in parking from base standards is appropriate as there are: 1) unique aspects of the use that warrant a reduction in on-site parking spaces; 2) there will be no conflict in type and the time of the uses where shared parking is granted; 3) sufficient parking will remain within the downtown parking district; 4) the number of spaces provided will meet the greatest parking demand of any participating use; and 5) there will not be a significant negative impact to surrounding properties. Shared parking

is appropriate if multiple uses on the same parcel cooperatively operate the facilities and if some uses generate parking demands when other uses are not in operation.

- c) The proposed exception to the maximum sign height requirement (30 feet) is appropriate given the proposed height of the building (70 feet) and nature and design of the building. The sign shall not extend past or interfere with the top of the parapet wall/roof line and a Comprehensive Sign Plan shall be submitted for review and approval by the Community Development Director prior to the installation of any sign.
 - d) The site for the intended use is adequate in size, shape, topography, accessibility, and other physical characteristics to accommodate the use and required provisions of the Zoning Ordinance and satisfies all minimum physical standards required under the City's Zoning Ordinance for similar type uses.
- 2) The Planning Commission does hereby recommend to the City Council approval of the Conditional Use Permit, Site Plan and Design Review application, subject to the conditions of approval included in "Exhibit A," and in substantial compliance with the site plan and elevations included in "Exhibit B," allowing a five-story, 81-room, mixed use hotel project in the Central Business District, Downtown Specific Plan Area, District A4, including a reduction in the number of required on-site parking spaces, and a modification to sign height limit requirements, based on the findings presented and a determination of project consistency with the Downtown Specific Plan.

PASSED AND ADOPTED by the Planning Commission of the City of Woodland at a regular meeting on the 21st day of January, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Kirby Wells, Chairperson

ATTEST:

Cindy Norris, Principal Planner

EXHIBIT A

[Insert Conditions of Approval]

EXHIBIT B

[Insert Elevations]

EXHIBIT _____

DOWNTOWN MIXED USE HOTEL PROJECT – MAIN STREET, WOODLAND CONDITIONS OF APPROVAL

PLANNING

General

1. The project is described in the staff report and exhibits prepared for the _____ City Council meeting to allow for a five-story, 81 room hotel project, including 6,810 square feet of commercial space on the first floor of the building for retail/restaurant uses at 1021 Main Street and 318-320 Sixth Street, in the Central Business District. The project shall be carried out in substantial compliance as depicted on the submitted Site Plan, Elevations and Landscape Plans dated _____, included in Exhibit 1, except as modified in these conditions of approval and with any changes necessary to meet city codes and specifications.
2. The applicant shall defend, indemnify, and hold harmless the City of Woodland, its agents, officers or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the subject application by the City, its legislative body, advisory agencies or administrative officers. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either, at the City's discretion, undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for the defense of the matter by the City Attorney.
3. The Conditional Use Permit shall not be issued until the appeal period has expired or final action on an appeal has been rendered.
4. The approval period for the Conditional Use Permit shall become null and void after a period of twelve (12) months), if either the use permit has not been used or if substantial construction in good faith reliance on the approval has not commenced subsequent to such approval. The Community Development Director may extend the approval of a use permit for one (1) additional year, with the same conditions of approval, if circumstances have not changed. The request in writing must be received prior the expiration of the use permit.
5. The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and/or other exactions. Pursuant to Government Code, Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of project approval, has begun. If the applicant fails to file a timely protest regarding any of the

fees, dedication requirements, reservation requirements and/or other exactions contained in this notice, complying with all the requirements of Government Code, Section 66020, the applicant will be legally barred from later challenging such fees, dedications requirements, reservation requirements and/or other such exactions. Notwithstanding the foregoing, the City does not waive any rights it may have to enforce any settlement agreement, memorandum of understanding, or other agreement with the applicant which authorizes the City to impose certain fees, and which may waive the applicant's right to challenge the imposition of some or all of the fees, dedication requirements, reservation requirements, and/or other exactions set forth in these conditions of approval.

6. Prior to submittal for Building Division Plan Check, the applicant shall submit plans, including landscape plans and elevations for review and approval by the Planning Division. Plans shall be coordinated and submitted as a single package. Plan set shall incorporate all Conditions of Approval ("Conditions"). Once the final design drawings have been approved by the Planning Division, an approved, stamped set shall be included in the project file for use as reference during the plan check review process. This plan set shall include all Conditions of Approval incorporated or clearly listed on the plans. The Conditions shall be printed on a full-sized plan sheet. A copy of the full-sized plan sheet with Conditions shall also be included in the Building Plan Check submittal packet.
7. Final elevations and a color and materials sample board shall be approved by the Planning Division prior to building permit issuance. Changes to the size, colors, construction materials, design or location of any structure or any other site or landscape improvement shall not be made without prior approval by the Community Development Director. The Planning Division may approve minor design and/or material changes consistent with the overall design as presented in the attached elevations; major changes will be reviewed by the Planning Commission.
8. Prior to the Certificate of Occupancy all conditions of approval and required improvements shall be completed to the satisfaction of the Community Development Department. Design changes that require modification to uses, elevations or site features other than discussed herein, shall be submitted for review and approval through the planning process as a Design Review, and may, at the discretion of the Community Development Director, be elevated to Planning Commission review and approval.
9. The applicant shall be responsible for informing all subcontractors, consultants, engineers or other business entities providing services related to the project of their responsibilities to comply with all pertinent requirements herein in the City of Woodland Municipal Code, including the requirement that a business license be obtained by all entities.
10. The applicant shall obtain a building permit for any exterior signs prior to installation. All signs shall be in accordance with the City's Sign Ordinance, Community Design Standards

and the Downtown Specific Plan and shall be reviewed through a Design Review process and approved by the Planning Division prior to issuance of permits. Applicant's proposed signage shall be reviewed and approved by the Planning Commission should the signage request exceed 200 square feet in total area. A Comprehensive Sign Plan shall be submitted for review and approval by the Community Development Director prior to issuance of building permit.

11. Special events consisting of fifty (50) or more persons held at the hotel that may also utilize Freeman Park shall obtain a Special Events Permit from the City of Woodland Community Services Department. A special events application shall be applied for a minimum of 30 days prior to the event. Events shall be subject to applicable fees and deposits as required by the City of Woodland Community Services Department.
12. Sales of alcohol shall be permitted at the hotel and ground floor commercial tenant space(s) consistent with the provisions of Section 25-21-70 of the Woodland Zoning Code. Limited alcohol sales associated with hotel guest services shall be permitted.
13. Project shall include not less than 90 parking spaces, but shall strive to provide the standard 105 spaces based on use and square footage requirements. Required parking spaces can be provided through a combination of on-site parking and parking secured through shared use agreement(s) with the city and other property owners within 300 feet of the site. A final parking plan, including parking structure and shared use agreement(s), shall be submitted for review and approval by the City Planning Division and Traffic Engineer prior to building permit issuance.

Site Plan & Design Review

14. The final project designs shall be refined in consultation with Planning Division Staff and the Planning Commission Design Review Liaison. Refinements shall include but not be limited to:
 - a. Adjust the proportions of tower element at southwest corner;
 - b. Hotel footprint to allow sufficient outdoor patio space on west and south sides of building;
 - c. Enhancements to the finishes and design of the parking structure, particularly the 6th Street facing façade;
 - d. Final design and detailing of hotel entryway porte-cochere;
 - e. Exterior finish materials, color, and detailing; and
 - f. Location and design of the trash enclosure.

Final plans and details shall be submitted to the satisfaction of the Planning Division prior to issuance of building permit.

15. The exterior building materials shall consist of a mix of high quality materials consisting primarily of brick, cast stone, stucco, concrete block, glass, and metal. All windows and glass proposed for the exterior of the building shall be non-reflective glass. Ground floor retail glass shall be low tint to maximize transparency. Final materials and finishes shall be submitted for review and approval to the Planning Division prior to issuance of building permit.
16. All roof mounted, mechanical and utility equipment, including transformers and backflow devices shall be integrated in to a building structure or screened from public view to the satisfaction of the Community Development Director. Roof mounted equipment on the Main Street and Freeman Park sides of the building should be avoided if feasible. The method of screening shall be architecturally integrated with the structure in terms of materials, color, shape and size. If necessary, visual assessment of equipment and screening methods shall be provided to illustrate the visual impact from public ways. Screens shall not be used where they would disproportionately increase the mass of the building or introduce elements that are inconsistent with the high level of design quality reviewed as part of this approval. All gas and electrical meters shall be concealed and/or painted to match the building.
17. Any new ground mounted mechanical or utility structure, including transformers shall be underground or located behind buildings where possible. If not possible, adequate screening shall be provided on three sides. Screening may include a combination of landscaping and masonry or lattice walls subject to Planning Division approval.
18. Final location of the trash enclosure shall be shown on the site plan and shall be reviewed and approved by the Community Development Director prior to building permit issuance. Any outdoor trash receptacle shall be fully enclosed with masonry or an alternative high quality material(s) that is architecturally compatible with the design of the hotel. Where appropriate, landscaping shall surround the trash enclosure. The trash facilities and enclosures shall be of sufficient size and dimensions to accommodate recycling containers. Outdoor enclosure(s) shall contain a roof to prevent rainfall from entering into containers. Evidence of approval from Waste Management for the quantity, location and size of the trash and recycling enclosures shall be submitted with the building permit application.
19. Bicycle parking facilities shall be provided and maintained. The racks shall be visible and located in a safe, well lit and secure location to be identified on the final site plan and approved by the Planning Division prior to building permit issuance. One bike parking space per ten guest rooms, plus one space per 500 square feet of commercial space shall be provided for a total of twenty-one (21) bike parking spaces. A minimum of 8 bike parking spaces for employees shall be located in a covered and secured location.

20. All pedestrian crossings throughout the project shall use a textured, colored, stamped concrete design or a similar design. Concrete design shall be submitted for review and approval by the Community Development Director prior to building permit issuance.
21. Textured, colored, stamped concrete design or a similar design shall be provided at the primary driveway entrance off of Main Street from back of sidewalk (private side of driveway) for at least 50 feet and along east side of hotel along drive aisle. Concrete design shall be submitted for review and approval by the Community Development Director prior to building permit issuance.
22. Enhanced paving treatment shall be provided in front of (south side of) hotel between hotel and back of sidewalk. Enhanced paving treatment shall also be provided along west side of hotel, adjacent to Freeman Park, where outdoor gathering space is provided. Paving treatment shall be submitted for review and approval by the Community Development Director prior to building permit issuance.
23. Perimeter and patio fencing design and materials shall be submitted and approved by the Planning Division prior to installation. Patio fencing along Main Street shall allow for a minimum six (6) foot wide path of travel along the public sidewalk. Patio fencing shall incorporate landscape planters/materials.
24. Application shall incorporate public art into the development per the City of Woodland Design Standards. Public art shall be illuminated to the satisfaction of the Planning Division and must be reviewed and approved by the Planning Commission prior to installation. Public art shall be completed prior to issuance of Certificate of Occupancy.
25. The west facing side of the hotel (commercial area) shall open out onto the park, and shall include an outdoor patio/dining area that is at least 10 feet (average of 15) between building wall and any perimeter patio fencing. The design of the outdoor space shall allow for interaction between the patio/dining area and the park. Final design of outdoor patio/dining space shall be reviewed and approved by the Community Development Director prior to building permit issuance.
26. Storage of materials that detract from the building is prohibited in any outdoor patio or dining area. Storage of materials that detract from the buildings is prohibited anywhere visible to the public.

Lighting

27. Lighting shall be confined to the site boundaries to provide safety and security. All building entrances and pedestrian ways shall be adequately lighted pursuant to the City Code and the requirements of the Police Department.

28. Exterior lighting has not been provided. Exterior lighting fixtures and design need to reflect the architectural design of the building. Exterior lighting design, on- and off-building, to be reviewed and approved by the Community Development Department prior to building permit issuance.
29. Lighting shall be shielded from neighboring properties and directed at a specific task or target. Exposed bulbs are prohibited. Any sources of light and glare from the property shall be designed and/or constructed to minimize intrusion onto neighboring properties, public right-of-way or into the airspace.
30. Lighting in “public use” areas such as parking lots, shall be pedestrian oriented in scale. Light standards shall not exceed 16-feet in height and shall be spaced as required to meet City illumination requirements. Light pole base(s) shall utilize a decorative design to provide an enhanced appearance at the pedestrian level. The use of historically-styled lights is strongly encouraged at the ground level. Approval of lighting design shall be coordinated with the City, including the Woodland Public Works Department for poles on City property. Lighting design shall be consistent (shall match) at the ground level.
31. Applicant shall install one City standard historic style street light on Sixth Street in the vicinity of the project.
32. Photometric data must be provided to indicate that the parking area(s) will be equipped with one (1) foot-candle of minimum maintained illumination per square foot of parking surface to include the entire paved area. The parking area shall be illuminated from dusk until the termination of business or the use of site every operating day. Photometric data must also confirm the absence of “Hot Spots” or areas of ten (10) foot-candle of illumination per square foot or more. All light poles and roof mounted fixtures in the parking garage shall be bi-level LED fixtures. All lighting fixtures shall be submitted to the Community Development Department for review and approval prior to building permit issuance.

Landscape

33. Prior to issuance of a building or grading permit, and **prior to removal of any trees on site**, applicant shall provide a tree plan consistent with Section 20A-1-090 of the Municipal Code, which shall contain the following information:
 - a. Contour map showing the location, size, species and condition of all existing trees which are located upon the property proposed for development;
 - b. Identification of those trees which the applicant proposes to preserve and those which are proposed to be removed and the reason for such removal;
 - c. A program for the preservation of street trees, heritage, specimen, landmark trees and trees with aesthetic value (trees with a nine-inch diameter or larger, measured fifty-four

inches above the ground, in healthy condition) during and after completion of the development project, as required in the city standard specifications, engineering design standards, Section 8, grading and erosion control;

- d. A program for the replacement of any trees proposed to be removed, as required by Municipal Code Section 20A-1-100; and
 - e. Any change in the trees to be saved and/or removed as designated on the approved development plan shall only be permitted upon the written approval of the Community Development Director in coordination with the Public Works Department.
34. All trees shall be planted and staked with Reddy stakes in accordance with city standards.
35. Applicant shall submit for review and receive final approval from the Community Development Department for a landscape and irrigation plan prepared by a licensed landscape architect in accordance with the landscape requirements of and with Article 22 of the Zoning Ordinance prior to building permit issuance.
36. The location of all utility structures (including light poles and utility boxes) shall be coordinated with and depicted on the landscape plan. Location, installation, and screening of utility structures shall be to the satisfaction of the Community Development Director.
37. The applicant shall enter into a recorded landscape maintenance agreement with the City of Woodland. The landscape maintenance agreement shall run with the property. The operating agreement shall provide for the continual maintenance of the property in a neat and tidy manner, landscape maintenance and replenishment of plants. A copy of the recorded landscape maintenance agreement shall be provided to the Planning Division to be kept on file prior to Certificate of Occupancy.
38. Applicant shall comply with the State of California's new Water Efficient Landscape Ordinance AB 1881 and with currently adopted City Ordinances. The landscape architect shall document and attest to the compliance with the new State ordinance on the final landscape plans.
39. Shade trees shall be planted and evenly distributed within the uncovered portions of the auto parking area on the ground level (employee and customer) so that at the tree's maturity, forty percent (40%) of the parking stalls and back up area will be in shade at high noon at such times as the trees have full foliage. The landscape architect shall document the calculations and attest to this on the final landscape plan. A shade calculation diagram shall be provided for review and approval.
40. Vegetative matter shall cover a minimum of 75 percent (75%) of the landscape area. The landscape architect shall document the calculations and attest to this on the final landscape plan.

41. A minimum of 15-gallon (or larger) trees and 1-gallon (shrubs) are required. Landscaping on private property can also use shrubs from 1-gallon containers. All landscape stock shall be inspected by the project landscape architect prior to installation. No root bound plants shall be used; only healthy, well-formed, and vigorous plant material shall be used. Landscape architect to provide written verification as to inspection of plant health prior to and after planting.

BUILDING

42. This project must meet all criteria and mandates for these City adopted codes or the most current code:
- A. 2013 California Building Code
 - B. 2013 California Plumbing Code
 - C. 2013 California Mechanical Code
 - D. 2013 California Electrical Code
 - E. 2013 Building Energy Efficiency Standards
 - F. 2013 California Green Building Code
 - G. The Code of the City of Woodland
 - H. **NOTE: If building plans are submitted after January 1, 2017, design shall comply with the 2016 California Build Code.**
43. Other City and County Agencies (Health, Fire, Public Works, and Planning) may be required to approve the project prior to a Building Permit being issued.
44. Any deferred submittals that are not a part of the initial permit application must be listed on the cover sheet of the plan at the time of application for the project.
45. All plans, computations and specifications to be prepared and designed by an architect or engineer licensed by the state of California.
46. A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the building.
47. A soils investigation report shall be provided as specified in Section 1803.5.3 of the 2013 CBC. Prior to the submission of the soils report, the soils engineer shall meet and confer with the City engineering staff to discuss potential impacts to the City's adjacent well site. The report shall evaluate the soil in the context of construction vibrations, soil disturbance,

equipment movement, underground construction and other potential risks to the well site, casing, and appurtenances.

48. Prior to any work being done on the existing properties, a release from Yolo Solano Air Quality Management District is required.
49. Prior to building permit issuance, a “no-build” easement shall be recorded to preclude development within 30 feet of the north and west sides of the hotel building wall.
50. A Construction Staging Plan, including a Traffic Control Plan, shall be submitted for review and approval by the City prior to building permit issuance. Construction staging plan shall address impacts (public access, physical changes, fencing, use of heavy equipment, etc.) to Freeman Park beyond boundaries of the project site.
51. Construction activities shall be limited to Monday through Friday, 7:00 AM to 7:00 PM, and 8:00 AM to 7:00 PM on weekends or legal holidays, unless approval is first secured from the Community Development Director for additional hours. No start-up of machines or equipment prior to 8:00 AM, Monday through Friday, no delivery of materials or equipment prior to 7:30 AM or equipment past 6:00 PM, Monday through Friday, and no servicing of equipment past 6:45 PM, Monday through Friday.
52. Applicant shall employ noise-reducing construction practices including the following measures:
 - a. All equipment shall have sound-control devices no less effective than those provided on the original equipment. No equipment shall have an un-muffled exhaust.
 - b. As directed by the City, the applicant shall implement appropriate additional noise mitigation measures including, but not limited to changing the location of stationary construction equipment, shutting off idling equipment, rescheduling construction activity, notifying adjacent properties in advance of construction work, or installing acoustic barriers around stationary construction noise sources.
 - c. Applicant shall be responsible for informing all subcontractors and construction crews about construction start and finish times and noise reducing conditions listed above.
53. Prior to the start of any work on-site, the applicant shall request and attend a preconstruction meeting to include project general contractor, owner representative, as well as City representatives including Community Development and Public Works.

DEVELOPMENT ENGINEERING

Fees

54. Project shall pay development impact fees for new building square footage in accordance with City municipal Code and Administrative Guidelines for appropriate categories for Hotel, Retail, and Restaurant. A credit for the existing building may be given in the service category and should be documented prior to demolition. A credit may also be given against the surface water fee for the existing meter, which also should be identified prior to demolition. Storm Drain Impact fees will not apply to the project, however, Storm Water Quality In lieu fees may apply if treatment is not completed on-site. All plan review submittals shall pay fees in accordance with the fee schedule.

Property Items

55. OWNER shall modify parcel boundaries through either lot line adjustments and parcel mergers or parcel map, so that the ultimate project (with exception of the shared parking lot area on City's Freeman Park property) is on a single unified parcel.
56. OWNER shall enter into a joint use agreement for parking, access and maintenance for the City property (Freeman Park parking lot fronting Court Street) to be used as additional parking and access for the site. As part of the agreement, applicant shall install all improvements to City's property including but not limited to: paving, landscaping/irrigation, and lighting to public improvement standards. All improvements shall be submitted to City for review and approval prior to building permit issuance for the hotel. Joint use agreement shall include provisions for responsibility of maintenance of the parking lot surface and other utilities as appropriate, as well as use/enforcement of the parking spaces.
57. Applicant shall resolve with AT&T the ability to build within the AT&T easement, and relocate the pole and service for the property to the north; and provide documentation to the City.

Work Within the Right-of-Way

58. Applicant shall prepare improvement plans for all utility connections and work within the public right-of-way and submit to the Development Engineering Division with an encroachment permit application for review and approval. The submittal shall include an engineer's estimate of cost for the public improvements and applicant shall pay a plan check and inspection fee in accordance with the fee schedule. Prior to building permit issuance, applicant shall obtain permit and post security determined necessary during the permit process. This submittal is separate from the building permit submittal.
59. Work shall be completed under the encroachment permit prior to certificate of occupancy providing the above conditions are met prior to building permit issuance.

60. The Main and Sixth street frontages must be reconstructed in their entirety to be ADA compliant. All un-necessary driveways must be removed and replaced with ADA compliant sidewalk. All transitions from compliance to existing improvements must be completed beyond the property limits.
61. Main Street modifications to the curb, gutter and sidewalk to remove un-necessary driveways and install new driveways shall conform to recently completed improvements and match in character and design.
62. Any improvements that disturb adjacent improvements (driveways, ADA ramps, etc.) must incorporate those improvements and reconstruct them such that all are ADA compliant with proper transitions to existing. Driveways and ADA ramps must be removed and replaced in their entirety, partial removal will not be allowed.
63. Any driveways removed must have all associated sidewalk removed and replaced and new sidewalk grade shall match the non-recessed elevation of adjacent walk (i.e. recessed sidewalk associated with driveways may not remain).
64. Any street trees removed with the project shall be replaced in-kind elsewhere along the frontage as approved by the City. Where driveways are removed, trees shall be installed in keeping with the design of the existing improvements.
65. If any portions of the water fire line and fire hydrants, located past the back flow device, are installed on public land, applicant shall obtain a license agreement or encroachment permit for private main on public property and shall be responsible for the maintenance of these utilities. Final design shall either relocate any City utilities lines outside of the project's private property, or with approval of the City, be contained in an easement. In no case may the utility lines be underneath or within 10 feet of a building except connections serving the building.

Required Public Improvements

66. The applicant shall upgrade utility connections to City of Woodland Standards and Specifications. If existing services are proposed to be used, they shall be inspected by the City prior to use and brought up to City Standards if the current services do not meet standards. This may include but is not limited to installation of new meters and/or meter boxes, backflow prevention, cleanouts and/or laterals in a location approved by the Public Works Department.
67. Backflow protection devices are required on the commercial and landscape irrigation water services for the project. Backflow devices shall be tested by a City-approved tester and results provided to the Public Works Department prior to occupancy. The location of backflow protection devices shall be clearly indicated on the site and landscape plans.

Location and screening shall be reviewed and approved by the City prior to building permit issuance. Because backflow prevention devices are regularly maintained and tested, screening is required to meet certain criteria for accessibility and visibility and shall be approved by the Public Works Department, in addition to the Planning Division, prior to installation.

Freeman Park

68. Applicant shall work with the City's Recreation and Parks Division and Public Works Division to re-establish any lost connections (paths of travel) through the park and to determine the location of pedestrian connections from the hotel, Main Street, and the Court Street/Freeman Park parking lot into the park, the location of replacement tree and shrub plantings and species, and other park amenities removed as a result of the project.
69. Applicant shall be responsible for proper demolition and abandonment of the existing restroom facility and utilities serving it. Applicant shall coordinate demolition with the City Building and Public Works Divisions prior to beginning work.
70. Prior to issuance of building permit, applicant shall pay the City \$200,000 for the cost of design and construction of a new restroom facility and other improvements in Freeman Park.
71. Project shall repair and/or replace, to the City's satisfaction prior to issuance of certificate of occupancy, damages to Freeman park, including lawn, trees, landscape, lighting, structures, and appurtenances.
72. Existing ADA path of travel from City parking lot to Freeman Park on the immediate north side of the hotel shall not be utilized for vehicle/truck access/delivery or pick-up except on occasion by City Public Works vehicles accessing the park. The City shall retain ownership or an access easement along the north side of the hotel between the hotel and well building, from the City parking lot to Freeman Park. An additional ADA path of travel may be required from the parking lot to the park depending on final parking lot design and location of ADA parking stalls.

Storm Water Quality

73. Project shall meet low impact development and hydro-modification requirements through compliance with City's Post Construction Standard Plan to reduce post-runoff in compliance with the City's Phase II MS4 permit with the State Water Resources Control Board. Building permit submission shall include calculations and devices for Storm Water Quality Compliance and building permit shall not be issued without approved Storm Water Quality Plan, and Maintenance Agreement.

Storm drainage shall be collected and treated on site per the SWQC Ordinance and Post Construction Standards Plan Manual, applicant has the option to pay the in lieu fee per the

fee schedule if this is impracticable; however, LID design elements shall still be included in the final site plan.

74. If the project is phased, project shall meet low impact development requirements at all interim phases of the project.
75. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit. Applications/projects disturbing less than one acre of soil shall implement BMP's to prevent and minimize erosion. The improvement plans for construction of less than one acre shall include a BMP to be approved by the City Engineer. Projects greater than one acre shall prepare a SWPPP.

Public Civil Improvements

76. New parking stalls adjacent to Court Street shall be designed in accordance with City Standards.
77. All project frontage on Main Street and Sixth Street shall be in accordance with the downtown streetscape improvements and shall include exposed aggregate bands and street trees as required by the City.
78. Project shall replace all cracked and broken sidewalk fronting the project (including Court Street and Sixth Street in the vicinity of the project).
79. Any damage to asphalt, concrete, landscape or other existing improvements will be repaired by the project to like-new condition.
80. Project will need to install new water services, one each (minimum) for domestic, landscape, and Fire, all with approved backflow devices; domestic and landscape services to be metered. The city sewer bill is based on water consumption, separating the domestic from landscape irrigation water allows the bill to be calculated on the domestic water use only.
81. Sewer to be TV'd or TV to be obtained from city during design. Sewer dates from 1929 and may be in poor condition. Replacement or repair of a section may be necessary to install a manhole.
82. Civil improvement plans shall be submitted with the building permit plans showing the entire width of Main Street, Sixth Street and Court Street (to opposite face of curb) and include proposed modifications to striping, signing, medians, and traffic signal detection to the satisfaction of the City.

City's Well (Well 28)

83. Project shall maintain a 20-foot clear space from the perimeter fence surrounding Well 28.

84. The use of driven piles in construction of the project is prohibited.

CIRCULATION AND ACCESS

85. Throat depth requirements for the development must be met for all entrance driveways. In no case shall backing over the sidewalk be allowed for the project.

86. Project will be required to complete any modifications to the Fifth Street traffic signal equipment or timing necessary to accommodate the project.

87. Project plans show shifting the Main Street driveway to the west. This shift will require the project to extend the existing left turn pocket median (~30 feet) to align with the new driveway location. Project will also be required to complete any associated roadway restriping to accommodate shifted driveway and shifted turn pocket location.

88. Main Street was reconstructed in this area and is under moratorium per the City's Engineering Standards and Construction Specifications. All cuts into Main Street will need to follow City Standard for pavements under moratorium.

89. Modifications to the length of the turn pocket for Fifth Street may require a traffic evaluation for volume, lane assignment and traffic signal timing purposes.

90. All deliveries to the building for retail/restaurant and hotel uses shall take place via the parking lot. Delivery trucks/vans shall at no time stop on Main Street.

91. Prior to Certificate of Occupancy, applicant shall submit a Parking Management Plan for review and approval by the Planning Division and Traffic Engineer. The plan shall include, but not be limited to identification of on-site parking spaces, any specific restrictions proposed for on-site parking spaces (i.e. hotel guest or employee only), and a valet parking plan including proposed valet spaces, valet routes, location of valet drop-off area, and a plan describing how the valet company will handle any unretrieved vehicles at the close of business/event. Any valet parking associated with the hotel and/or commercial/retail uses shall take place from the private drive aisle. The Parking Management Plan shall identify City owned or private parking lots that will be utilized through shared parking agreements and/or in the case of a special event requiring additional parking.

FIRE

92. Fire apparatus access road shall be provided and maintained in accordance with 2013 California Fire Code.

- a) Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches. (2013 California Fire Code Section 503.2.1.)

b) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route round the exterior of the building or facility. (2013 California Fire Code Section 503.1.)

i) Fire apparatus access must continue from east to west, around the immediate north side of hotel with all-weather surface and 20 foot minimum clearance.

93. A fire department connection shall be located at the southwest corner near the fire hydrant. (2013 California Fire Code Section 912.2.)

EXHIBIT 1

[Site Plan, Elevations, Landscape Plans]

PROJECT TEAM

OWNER
Jayjala a CA Corporation
1001 Main Street
Woodland, CA 95695
(530) 662-8215

CIVIL ENGINEER
LM Laugenour and Meikle
Todd Tommerasson
608 Court Street
Woodland, CA 95695

OWNERS REPRESENTATIVE
MO Devco, LLC
1046 Olive Drive Suite 3
Davis, CA 95616
(530) 400-6092
mikeolivas@aol.com

ARCHITECTS
ZIV/DAVIS
2900 Bridgeway
Sausalito, CA 94965
(415) 616-9600
zivdavis@mindspring.com

INDEX OF DRAWINGS



PROPOSED HILTON HOME 2 EXTENDED STAY

ZONING REQUIREMENTS

Site Area:
City Property 23,868.1 SF
Owners Area 26,092.4 SF
Total Area 49,960.5 SF

Zoning Designation:
Central Business District

General Plan:
Central Commercial

Proposed Use:
Hospitality & Commercial

Proposed Height 70 Feet

Max. FAR: 4.0

Proposed FAR: 1.29

Max. Lot Coverage: 100%

Proposed Lot Coverage: 63%

Required Parking 105

Hotel: 1 space per room/plus 1 82

Restaurant 1 space/300 SF of gross floor area 23

BUILDING PROGRAM & AREA

Building Level Ground Floor
Hotel Lobby and House Services 6,236 SF
Hotel Meeting Rooms 1,624 SF
Pool Area 1,741 SF
Trash Area 412 SF
Commercial Area 6,810 SF
Typical Floors 2nd, 3rd, 4th & 5th
Room Area per Floor 9,030 SF
Common Area 2,129 SF
Average Room size 430 SF
Total number of rooms 81 rooms
Total Square Footage 63,179 SF

BUILDING CODE
Building Type Hotel Podium Type 1A
Ground Floor with A & B occupancies.
Floors 2-4 Type V construction with R-1 occupancy.
No build area required, minimum 30'

PARKING PROGRAM

Garage Structure
Building Type 11-B no sprinklers
Ground level Parking
58 new spaces and 7 existing
6 are HCP, directly across from entrance
Second level parking structure
42 spaces no HCP

Total Parking provided 107
Hotel guest plus manager 82
Commercial Spaces 25

A shared Parking agreement will be required between Hotel Operator and the City of Woodland for 7 existing spaces and 8 additional spaces to be added to the City Lot off Court Street

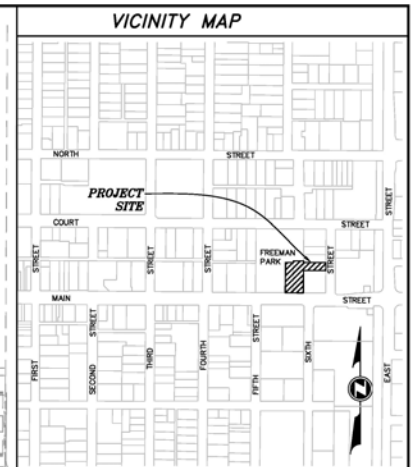
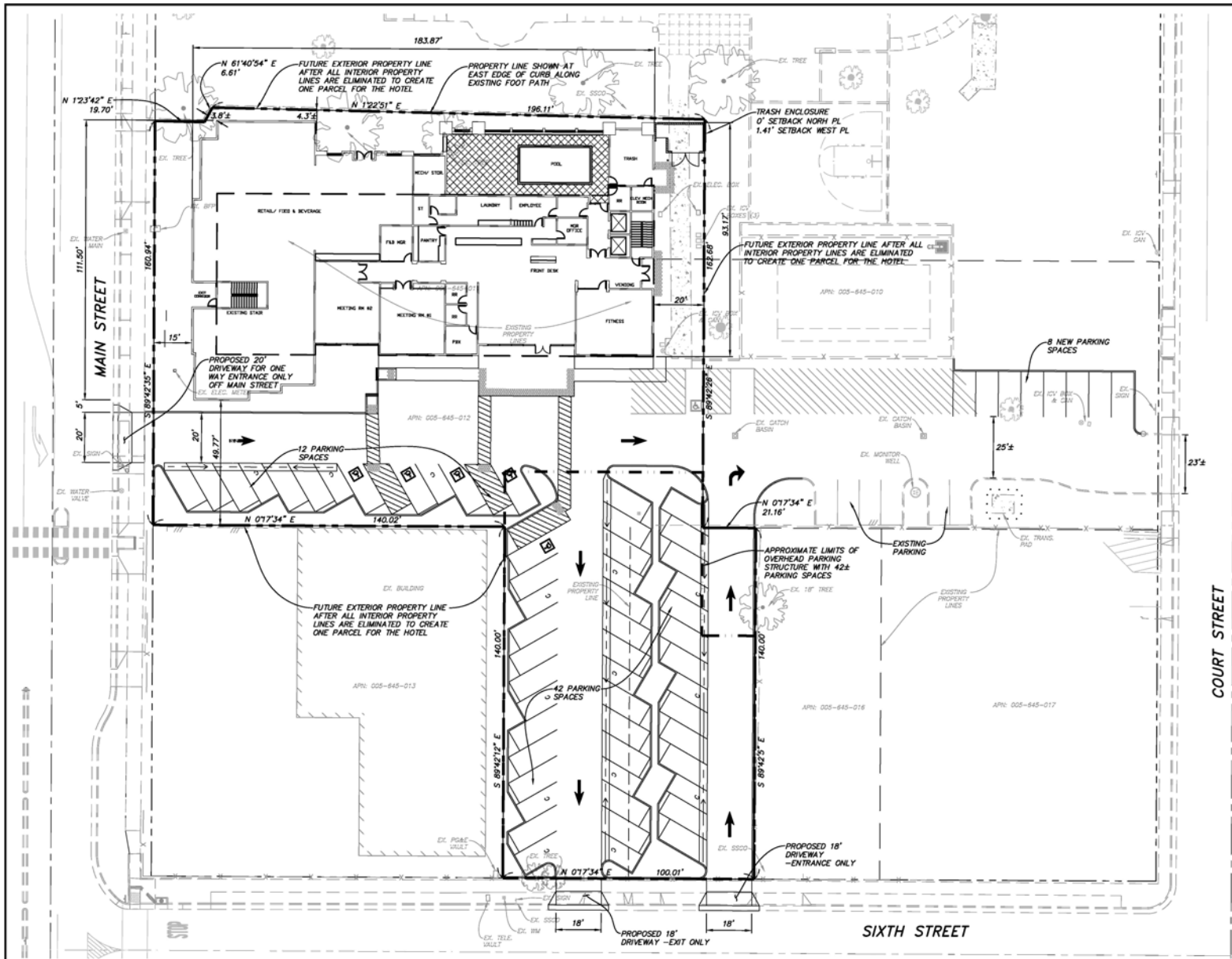
VICINITY MAP + APN

APN
005-645-010
005-645-011
005-645-012
005-645-014
005-645-015

NOT TO SCALE



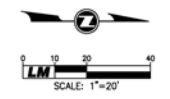
DESIGNED BY		Conceptual Schematic	Downtown Hilton Home2	Woodland, California Project Application December 11, 2015	IMPROVEMENT PLANS FOR JAYJALA CORPORATION, FUTURE HOTEL SITE CITY OF WOODLAND YOLO COUNTY, CALIFORNIA	SCALE	SHEET OF
DRAWN BY					DATE:	JOB NO. 4008	
CHECKED BY					Cover Page		



SHEET INDEX

- | No. | TITLE |
|-----|-------------------------------|
| 1 | SITE PLAN |
| 2 | UTILITY PLAN |
| 3 | PROPOSED PROPERTY ACQUISITION |

PARKING COUNT
 EXISTING PARKING - 6
 PROPOSED PARKING - 62
 ELEVATED PARKING - 42±
 STRUCTURE
TOTAL 110



DESIGNED BY TCT					
DRAWN BY NRS					
CHECKED BY TCT					
REV.	DATE	DESCRIPTION	BY	APP'D.	

SITE PLAN

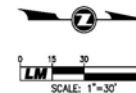
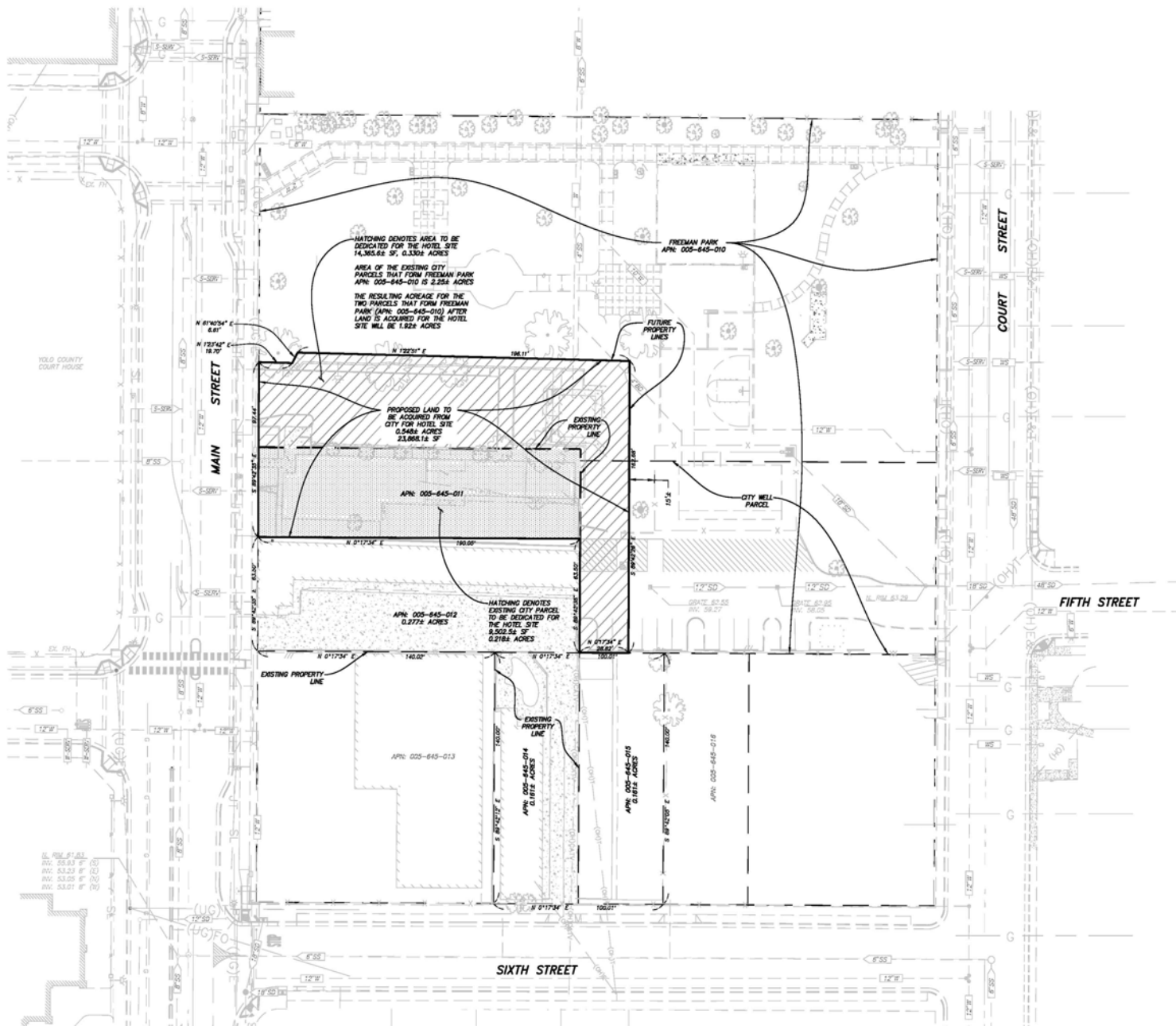
LM LAUGENOUR AND MEIKLE
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING
 808 COURT STREET, WOODLAND, CALIFORNIA 95695 PHONE: (530) 662-1795
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 FAX: (530) 662-4602
 BY TODD C. TOMMERAASON
 DATE 12-16-2015 P.E. 59277



IMPROVEMENT PLANS
 FOR
JAYJALA CORPORATION, FUTURE HOTEL SITE
 CITY OF WOODLAND YOLO COUNTY, CALIFORNIA
 SITE PLAN

SCALE 1"=20'	SHEET 1 OF 3
DATE: 12-16-2015 JOB NO. 4008	

x:\Land Projects\4008.dwg (cws) 12/06/2015



DESIGNED BY TCT					
DRAWN BY NRS					
CHECKED BY TCT					
REV.	DATE	DESCRIPTION	BY	APP'D.	

PARCEL MAP

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING - LAND SURVEYING - PLANNING
808 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 683-1795
P.O. BOX 828, WOODLAND, CALIFORNIA 95776 - FAX: (530) 682-4402

BY: TODD C. TOMMERASON
DATE 12-16-2015 P.E. 59277



IMPROVEMENT PLANS
FOR
JAYJALA CORPORATION, FUTURE HOTEL SITE
CITY OF WOODLAND YOLO COUNTY, CALIFORNIA
PROPOSED PROPERTY ACQUISITION

SCALE
1"=30'

DATE: 12-16-2015
JOB NO. 4008

SHEET
3
OF
3



DESIGNED BY				
DRAWN BY				
CHECKED BY				
REV.	DATE		DESCRIPTION	BY APP'D.

CONCEPTUAL SCHEMATIC PLAN

IMPROVEMENT PLANS FOR

JAYJALA CORPORATION, FUTURE HOTEL SITE

CITY OF WOODLAND

YOLO COUNTY, CALIFORNIA

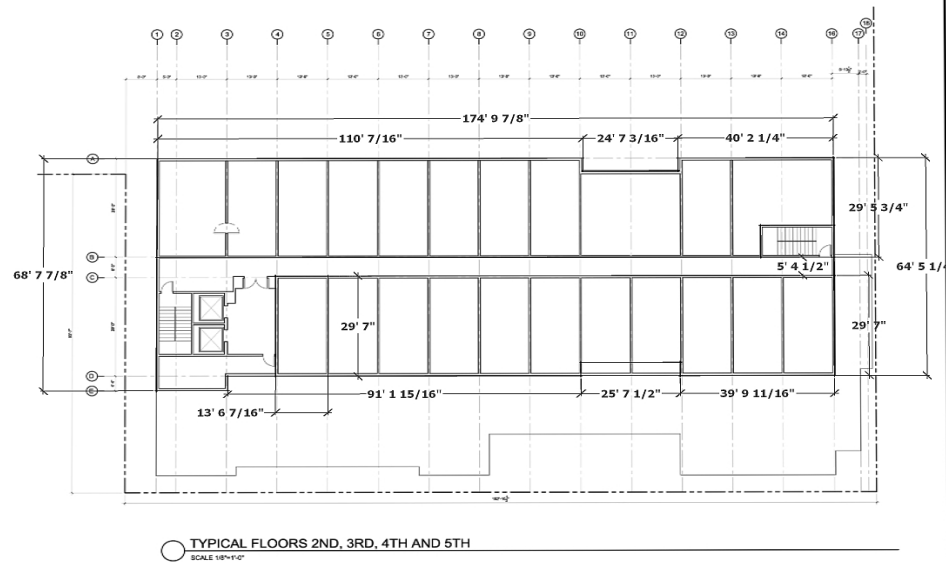
SCALE

SHEET

5

— OF —

DATE:	
JOB NO.	4008



Total Parking provided	107
Hotel guest plus manager	82
Commercial Spaces	25

Technical drawing of the bridge structure showing a side elevation. The drawing includes a central building with a glass facade and a set of stairs leading down to the water level. Dimensions are indicated: a total length of 100 units and a width of 50 units.

100'

23'

14'

10' 1 1/16"

DESIGNED BY _____					
DRAWN BY _____					
CHECKED BY _____					
	REV.	DATE	DESCRIPTION	BY	APP'D

IMPROVEMENT PLANS FOR JAYJALA CORPORATION, FUTURE HOTEL SITE		SCALE	SHEET 6 OF 12
CITY OF WOODLAND	YOLO COUNTY, CALIFORNIA	DATE: JOB NO. 4008	



North Elevation



South Elevation



West Elevation



East Elevation

Height Limit:	69 Feet
Proposed Height	70 Feet top of Parapet Wall
Request For Beacon	72 Feet

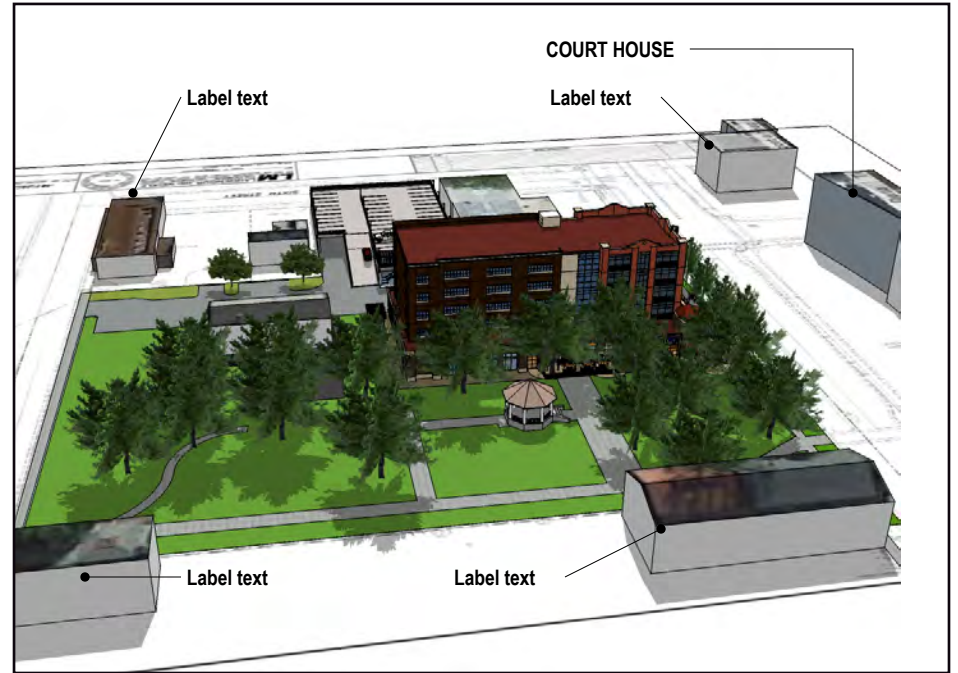
Building Level Ground Floor	
Hotel Lobby and House Services	6,236 SF
Hotel Meeting Rooms	1,624 SF
Pool Area	1,741 SF
Trash Area	412 SF
Commercial Area	6,810 SF
Typical Floors 2nd, 3rd, 4th & 5th	
Room Area per Floor	9,030 SF
Common Area	2,129 SF
Average Room size	430 SF
Total number of rooms	81 rooms

WEST ALABAMA

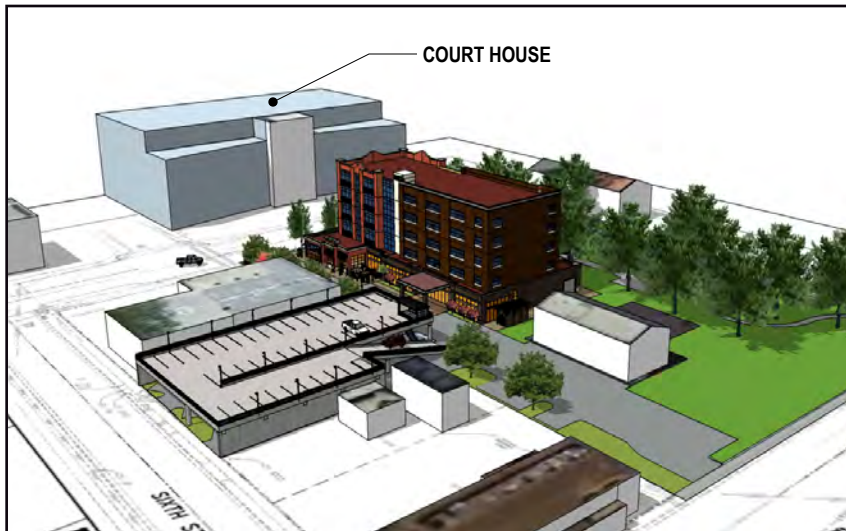




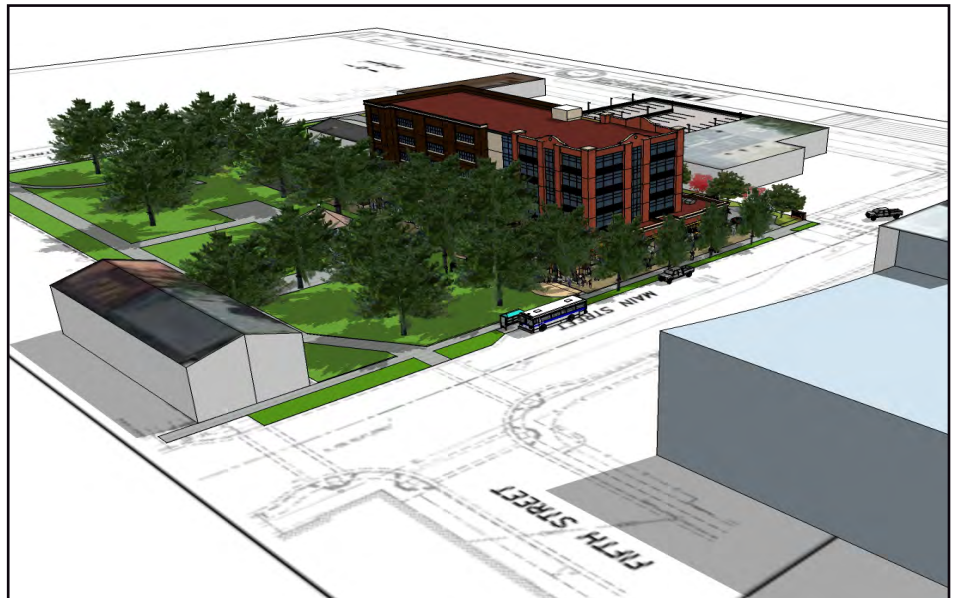
BIRDSEYE PERSPECTIVE FROM THE ABOVE THE COURT HOUSE LOOKING NORTH



BIRDSEYE PERSPECTIVE FROM THE WEST



BIRDSEYE PERSPECTIVE FROM THE SOUTHWEST



BIRDSEYE PERSPECTIVE FROM THE NORTH EAST

Woodland Architectural Design Concepts

Sense of Place and Woodland Historical References

The design aesthetic of the new Woodland Hotel was inspired by the existing Woodland Historical district.

In the historical district, the three to four story heights and massing of many of the downtown buildings create an urban-like streetscape very much like historic Sacramento and other California turn of the century cities.

The historic district is composed of building facades which are heavily detailed in brick, carved stone, ornate ironwork and embellished storefronts. These materials and design features are all used to create a certain level of detail which expresses sophistication, elegance and celebrates the era these facades were created in. The various styles of the Woodland downtown also bring a varied design vocabulary to the streetscape which makes the built environment more enjoyable. Contrasting the Spanish revival style with the rusticated stone façade makes each building more interesting because of the contrasting styles. Perhaps because California was a relatively new state, the contrasting styles provided the sense of history and age we sorely desired in the West.

When we started this project our first task was to collect various images of the Woodland architecture, both for massing concepts and for use of materials. Even signage images were gathered for their celebration of the shopping experience. The part the “streetscape experience” plays in historic Woodland is essential to the life and character of the downtown. We want a retail experience that is active, stimulating to the senses via sounds, people activities, outdoor café dining and visually vibrant storefronts.

General Building Massing Concepts & Use of Materials

The first design concept for the Woodland hotel had a podium base which housed a variety of retail spaces such as a coffee/ Patisserie outlet at the corner, a full service restaurant at the corner and outdoor dining with umbrellas and street furniture. These elements all combine to create a street character similar to the Historic Woodland downtown.

We knew the height of this string of facades should be **grand** and detailed with cornices in cast stone and have stone bases, which relate to historical downtown detailing. The glass facades could move in and out of the organizing brick frames which would add variety to the long street front. Variety in signage would also occur from each retail outlet. Outdoor café seating with umbrellas and accessories, as well as street trees would further embellish the sidewalk area.

The use of the red brick also relates to historical Woodland. Various red brick warehouses occur throughout Woodland, particularly around the railroad track areas. Although our building façade will be all new brick in keeping with the reality of a new construction project, the red brick color and texture brick relate to the existing vocabulary of local materials.

Rising above the retail/restaurant podium is the hotel tower consisting of 4 floors of rooms. This building mass is broken into two styles. The front is clad in brick and black glass and the rear portion in a deep chocolate brown warehouse style. The height of the hotel tower will balance the large mass of the Federal building across the street. However, because we step this upper mass back (Hotel segment) from the podium façade, the overall perception of the building will not be over whelming to the pedestrian or street scape.

At the intersection of the two building styles, a vertical white band occurs which is a visual cue for the Hilton Home 2 product signage standards. If the Owner decides to contract with another approved operator, the signage requirements would be different and the beacon element would be eliminated.

Use of the Site

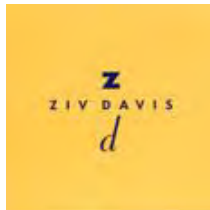
The existing park was also a great asset to our project; at the park side, lovely summer outdoor dining will occur. Isn't this why we want to live in California? The hotel can also gain from the lovely greenscape with the location of the enclosed pool at this area, again capitalizing on the park greenery and sense of open space. The size of the existing trees imply a sense of age to our building and perhaps someone may think that this building as just restored and renovated.

Arrival to the hotel is tucked back into the rear part of the site. This enables us to create a more boutique guest experience as one is able to check-in without the activity of the retail areas. Guest parking is also adjacent to the hotel entrance.

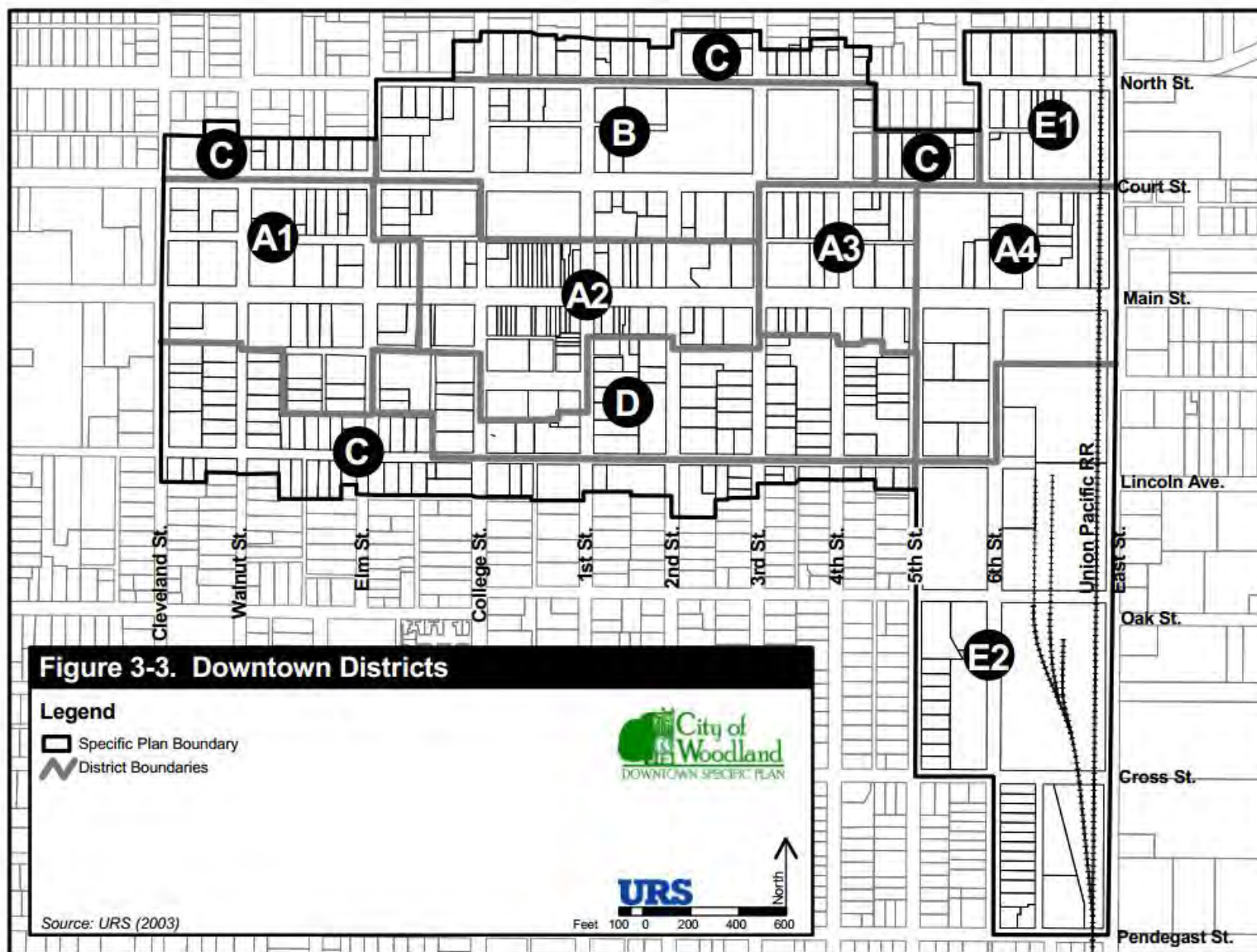
Conclusion

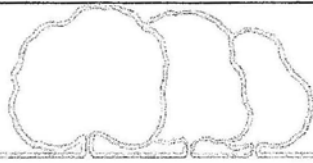
We believe that this project will extend the Woodland historical experience and create a kind of gateway to the existing historical district. Plus this new complex will balance the federal courthouse mass which is quite large. We also made an effort to color saturate our building so that it contrasts to the gray non-color mass of the federal building. By using more color (red brick, chocolate brown stucco etc.) we are displaying the intended use of this new building. This is a new place for people, group gatherings and social activities. (In other words, non-governmental)

Best Regards;
Robin Potampa-Ziv
Project Design Architect
Ziv Davis LLC



Downtown Specific Plan – Downtown Districts





City of Woodland

Community Development Department

300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER:

Jivan B. Patel and Ramilaben J. Patel Living Trust

PROJECT APPLICANT

Jivan B. Patel and Ramilaben J. Patel Living Trust

MAILING ADDRESS:

1021 Main Street

MAILING ADDRESS:

1021 Main Street

CITY STATE ZIP CODE:

Woodland, CA 95695

CITY STATE ZIP CODE:

Woodland, CA 95695

PHONE NUMBER:

(530) 908-7106

PHONE NUMBER:

(530) 908-7106

E-MAIL ADDRESS:

PatelRekha65@gmail.com

E-MAIL ADDRESS:

PatelRekha65@gmail.com

2. Application Requested

- | | | |
|--|--|---|
| ☐ General Plan Petition | ☐ Zoning Amendment | ☐ General Plan Amendment |
| ☐ Tentative Subdivision Map | ☒ Tentative Parcel Map | ☒ Lot Line Adjustment |
| ☒ Site Plan Review | ☒ Design Review | ☒ Sign Design Review |
| ☒ Conditional Use Permit (CUP) | ☐ Zoning Administrator Permit | ☐ Variance |
| ☐ Public Convenience or Necessity | ☐ Other _____ | |

Is this request part of another application? ☐ Yes ☒ No If so, what? _____

3. Project Description

Project Name:

Downtown Woodland Hotel and Retail/Commercial

Site address or location:

1021 Main Street

Total Acres or Square Feet

62,014 sq. ft.

Assessor's Parcel Number:

005-645-012,014,015 and 005-645-010.011

Is Your Project Located in a Flood Zone?

☐ Yes ☒ No

Does this request include signage?

☐ Yes ☒ No

4. Justification for Request



On a separate sheet, explain in detail your request and why you believe your request is justified.

5. General Plan Amendment

Existing General Plan Designation
Commercial, Public & Park

Gross Acres
1.108

Proposed General Plan Designation
Commercial

Gross Acres
1.108

6. Zoning Amendment

Existing Land Use Zone
Central Commercial/Public

Gross Acres
1.108

Proposed Land Use Zone
Central Commercial

Gross Acres
1.108

7. Residential Development

No. of residential units are being requested? _____

Single Family _____ Half-plex _____

Duplex _____ Apartments _____

Condominiums _____ Other _____

Townhomes _____ Total Units _____

No. of lots will be created by this project? _____

Do you intend to market the units for sale?

☐ YES ☐ No

Do you intend to market the units for rent?

☐ YES ☐ No

8. Commercial/Industrial Development

Indicate the type of commercial/industrial development proposed:

Hospitality (Hotel and Commercial)

Indicate the gross and leasable square footage for each type of development:

7,132 sq.ft. Commercial space and 54,882 Hotel

9. Authority to File Application

Check one:

☒ Property Ownership ☐ Power of Attorney*

☐ Contract to Purchase* ☐ Other

Specify _____

***Attach Evidence of Authority**

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

APPLICATION WILL NOT BE ACCEPTED WITHOUT
SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Jivan B. Patel and Ramilaben J. Patel Living Trust

Applicant: _____ Date: _____

Jivan B. Patel and Ramilaben J. Patel Living Trust

Legal Owner: _____ Date _____

Legal Owner: _____ Date _____

DEPARTMENT USE ONLY

Amount Paid: _____

Project No: _____

Amount Due:: _____

Logged by: _____ Date: _____

GP / Zoning Designation: _____

Planner: _____ Date: _____

Project Description:

Overall project consists of a, 81 room hotel, main lobby, meeting rooms, indoor pool and necessary support spaces and a street podium level along the street front which consists of retail and food and beverage outlets square footage is 7,132 sq. ft. Parking will be provided for 100 cars, larger events will have valet service if needed.

The character of this streetscape is critical to the connection of this building to the historical district and the Woodland historic downtown.

Outdoor dining, cafe type seating, umbrellas and decorative paving all create a place for people and activity. At the Parkside, outdoor dining will also occur as well as private events. The hotel will have an enclosed pool at this area building on this asset of the park greenery.

The facade has crowns and bases similar to historic structures but the brickwork is new and in keeping with a newly constructed building.

This facade is grand in scale promoting a sense of place that one wants to be, Awnings, decorative lighting, signage will all develop the idea of retail, and people spaces but also creates the historical design elements that occur in the historic buildings downtown.

Rising above the retail/restaurant podium is the hotel tower consisting of 4 floors of rooms. This building mass is broken into two styles, the front is clad in brick and black glass and the rear portion in a deep chocolate brown warehouse style.

At the intersection of the two building styles, a vertical white band occurs which is a visual cue for the Hilton Home 2 product signage standards.

The Proposed Home2 Suites by Hilton will be a extended-stay lodging facility containing 81 rentable units. The five-story property will open on April 1, 2017. The subject site is currently improved with the Budget Inn, which will be demolished in order to construct the proposed Home2 Suites by Hilton. The Home2 Suites by Hilton is expected to contain approximately 7,132 square feet of commercial space on the first floor of the building for restaurants. In addition, ownership is expected to purchase a portion of the adjacent Freeman Park from the City of Woodland, based on an appraisal prepared by Clark Wolcott, in order to provide the required spaces.

Home2 Suites by Hilton is a mid-tier, limited-service, extended-stay hotel by Hilton that offers contemporary accommodations and a customizable guestroom design; furthermore, the Home2 Suites by Hilton commitment to sustainability is reinforced throughout every aspect of the brand. The hotel's all-suite configuration provides suites with flexible separate living and bedroom areas (divisible by a drape in the studio suite or partial wall in the one-bedroom suite). The guestroom suites feature an industry-unique "working wall" that incorporates the kitchen and a flexible working/media space; the kitchens include a refrigerator, a microwave, a dishwasher, and other typical kitchen amenities. The media/working zone includes a queen-size sofa sleeper, a 42-inch flat-screen television, a roll-around ottoman, ambient task lighting, an alarm clock with iPod port and MP3 jack, and various pieces of furniture that can be moved around to create customized living

**HISTORICAL RESOURCE ANALYSIS STUDY OF
1001 and 1017 MAIN STREET, WOODLAND,
YOLO COUNTY, CALIFORNIA 95695**

SEPTEMBER 2015



PREPARED FOR:

City of Woodland
300 First Street
Woodland, CA 95695

PREPARED BY:

Historic Resource Associates
2001 Sheffield Drive
El Dorado Hills, CA 95762

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ATTACHMENTS

DPR 523A - Primary Records

DPR 523B - Building, Structure, and Object Records

Photograph Record

1.0 SUMMARY OF FINDINGS

This historic resource analysis examined two properties within the City of Woodland, Yolo County, California, that share common boundaries. Those properties include 1001 Main Street, commonly known as Freeman Park, owned and operated by the City of Woodland, and 1017 Main Street, commonly referred to as the Woodland Toy Library. The Woodland Toy Library is a community service organization sponsored by the City of Woodland, and run as a co-op with all Yolo County families eligible for membership. The Woodland Toy Library is similar to a book-lending library, except you can check out toys.

The purpose for the historic resource analysis study was to address plans for a mixed-use, five-story hotel building that will occupy the parcel currently occupied by the Woodland Toy Library, located at 1017 Main Street, and a small portion of 1001 Main Street, commonly known as Freeman Park. The proposed hotel will abut Freeman Park to the west, filling the existing driveway and parking area currently used to access the park via Main Street. The Budget Inn to the east will be demolished as part of the proposed project.

Freeman Park was reportedly once owned by the Freeman family before it was gifted to the Yolo County School District for development of a school site. During the late nineteenth century a brick masonry school was built near the center of the present-day park. In later years the school was demolished and replaced with a city park, which was given the name Freeman, in memory of the pioneer family who settled in Woodland during the 1860s. Actual work on the park commenced in 1921 and continued through 1923. In 1936, the park was enhanced further under the oversight of the Works Project Administration (WPA). The WPA improvements included Neo-Classical inspired concrete walls, balustrades, a raised promenade with a fountain, a drinking fountain, sidewalks, and various plantings of shrubs and trees. Today, little, if any, is left of the pre-WPA landscaping or the actual WPA landscaping and features, which were replaced with the current park configuration of large lawns, walkways, a central gazebo, contemporary bathrooms, along with mature trees and shrubs.

The Woodland Toy Library was originally built as the branch office of the California Department of Motor Vehicles (DMV) and the Highway Patrol. The single-story, brick masonry, and wood-frame building was designed by California State Architect Fred A. Eichler in 1935 and built in 1936-37. The building was enlarged along its rear elevation with multiple bays or carports after 1949. The state abandoned the building in the 1970s, and in 1974 it was deeded to the City of Woodland.

The combination California DMV and Highway Patrol office was recorded by historian Don Napoli for the Woodland Historic Resource Inventory on December 20, 1996. Napoli gave the building a rating of 5S1, which is defined as an "individual property that

is listed or designated locally."¹ Freeman Park does not appear to have been formally recorded or evaluated for significance.

Both properties were evaluated for significance under National Register of Historic Places (NRHP) Criteria A, B, C, and D, CEQA California Register of Historic Resources (CRHR) Criteria 1, 2, 3, and 4, and the City of Woodland Chapter 12A3-1, Standards for designation of historical landmarks, historical districts, and historical resources. Both properties were also assessed individually and as part of a potential NRHP or CRHR historic district. Finally, the proposed project was also assessed for potential visual effects to the Downtown Woodland Historic District.

In determining the significance of each property, integrity together with historic context were taken into consideration, along with the role each property played in the community, culture, economics, architecture, and landscape architecture. In order to establish the historic context for both properties extensive archival research was conducted at the Yolo County Archives; Yolo County Recorder and Tax Collectors Office; U.C. Davis Special Collections and Map Library; California State Library, History Room; and the California State Archives.

In summary, taking into consideration the aforementioned criteria for determining the eligibility of the two properties, it has been determined that 1001 Main Street or Freeman Park is not a significant resource under any of the NRHP or CRHR criteria, and the City of Woodland Sec. 12A-3-1, standards for designation of historical landmarks, historical districts, and historical resources. This recommendation is largely due to the loss of nearly all its character defining features associated with the original park design or that of the WPA park design. In essence, the park lacks sufficient integrity to consider it a historic resource.

In contrast, 1017 Main Street or the former California DMV and Highway Patrol Office retains good integrity. Although the property retains good integrity, the building was one of hundreds designed by California State Architect Alfred A. Eichler during the 1920s through the 1940s. Its utilitarian design can be contrasted with other combination motor vehicle and highway patrol offices in the state that were considerably more elaborate, unique, and exemplary in regards to their workmanship and design (refer to Figures 18-24). Nor does the building reflect an important association with other governmental buildings in Woodland, such as the old Courthouse, that played a significant role in the city's political and social history. In summary the subject property does not appear to be a significant resource under any of the NRHP or CRHR criteria, and the City of Woodland Sec. 12A-3-1, standards for designation of historical landmarks, historical districts, and historical resources.

¹ State of California. California Historical Resources Status Codes Manual and California Department of Parks and Recreation (DPR) forms, March 1995.

2.0 INTRODUCTION AND PROJECT DESCRIPTION

This historic analysis was required by the City of Woodland in order to fulfill their regulatory responsibility under the California Environmental Quality Act (CEQA) in regards to the proposed demolition of 1017 Main Street, currently known as the Woodland Toy Library, and formerly the California DMV and Highway Patrol Office, and minor modifications to 1001 Main Street, identified as Freeman Park, both of which are owned and operated by the City of Woodland (Figure 1). The proposed project calls for the construction of a mixed-use, five-story hotel building, as depicted in Figure 2.



Figure 1: Project Location Map (Google Earth 2015)
Aerial view of the subject parcels.



*Figure 2: Visual simulation of the proposed mixed-use hotel project
(Courtesy of the City of Woodland).*

3.0 CULTURAL CONTEXT

3.1 Environment and Geology

The project area is located within a physiographic setting characteristic of the Great Central Valley, a vicinity that spans from 50 feet to near sea level along the Sacramento and American rivers. Around 350 million years ago, in the Paleozoic era, a large inland sea occupied the Sacramento Valley to the present Sierra Nevada Mountains. A land mass west of the present coastline and the continental land mass provided mud, sand, silt, and marl for deposition during the 200 million year life span of the sea. Deformation and uplift with volcanic eruptions caused a great body of sediments and volcanic rocks to accumulate.²

During the Mesozoic time there was a long interval (Triassic Period) during which time no sediments were deposited in the inland sea, except in the present Sacramento Valley. Deposition of sediments was renewed during the late Jurassic Period and the topography was markedly changed in a comparatively short interval of geologic time. The inland sea basin was uplifted for the last time and so deformed that the character of the sedimentary and volcanic rocks was completely changed. The sand, mud, silt, and marl metamorphosed to hard quartzite, slate, schist and marble, while volcanic rocks were metamorphosed to form greenstone (amphibolite schists).³

² Tracy I. Storer and Robert L. Usinger, *Sierra Nevada Natural History*. Berkeley, CA: University of California Press, 1963:26.

³ E. W. Ritter, ed. *Archaeological Investigations in the Auburn Reservoir Area, Phase II-III*. San Francisco: Report to the National Park Service, 1970.

Prior to cultivation and settlement the project area consisted of undulating ground with silty soils strewn with cobbles, a reflection of numerous flood events that were a persistent problem in portions of Yolo County through the early-twentieth century. Topographic maps display the meandering drainage patterns found throughout county, although does not appear to have endured flooding as did other communities along drainages such as Putah Creek. These drainage patterns influenced development, as did a lack of sustainable water for domestic use. Prior to 1920, groundwater supplies, wells, and tank houses were the norm throughout Yolo County. For Woodland, domestic water was supplied by municipal wells, which included the city's water and gas works that were once located across Main Street to the southwest.

3.2 Climate and Hydrology

The climate in the area now occupied by the Woodland is characterized as humid mesothermal, meaning that it is Mediterranean or dry summer subtropical. The valley and foothill region has been termed the "thermal belt" because of its mild winter climate.⁴ However, marked differences occur within short distances, because the temperature is dependent upon elevation and air drainage. In the depressions and small valleys the temperature is lower, particularly during nights when the cool air moves downward. The temperature is warmer on the slopes and tops of the ridges.

High and low temperature varied dramatically, ranging from winter lows of 12 degrees Fahrenheit to summer highs well over 100 degrees Fahrenheit. As with flooding and water supplies, early settlement in Woodland and the unincorporated areas of Yolo County was influenced by climate as well as soils. The unpredictability of California's rainfall was also a determinant in settlement, particularly the type, scale, and success of agriculture. Historic maps and photographs reflect the mix of residential and commercial development in east Woodland interspersed with small farms and orchards.

3.3 Contextual History and Land Use

Before the settlement of the Woodland area by Europeans, the *Poo-e-win*, a dialect group of the Hill Patwin Indians inhabited the region, occupying the river courses and tributary drainages, such as the Sacramento River, and Cache and Putah Creeks. Of special importance to the Poo-e-win was the main trading trail which followed the course of Cache Creek and served as an important economic supply line to the Nomlaki to the north, the Nisenan to the east, and the Pomo to the west. The Poo-e-win likely occupied the Woodland area in seasonal camps for hunting and seed gathering. The Patwin occupied homes of tule leaves and ate acorns, berries, roots, fish, duck and game. The enslavement of the Poo-e-win by the Spanish missionaries rapidly reduced their numbers and a smallpox epidemic in 1837 decimated the surviving population.⁵

⁴ Storie, R. Earl and Trussell, D.F. *Soil Survey of Placerville Area, California*. USDA, No. 34, Series 1927:30.

⁵City of Woodland. "A Brief History of Woodland." Excerpted from the 1996 Woodland General Plan. www.cityofwoodland.org. 1996; Shipley Walters. "A Brief History of Woodland." Prepared for the Residential Walking Tour Booklet. www.strollthroughhistory.com. 2008.

During the 1850s through the 1870s, Yolo County was a prosperous agricultural area of grain cultivation, particularly wheat. The railroad junction provided a natural shipping point and the availability of transportation led to the creation of processing and packaging plants that made shipping more efficient.

In the winter of 1853, Henry Wyckoff settled in a dense grove of oak trees and opened a small box frame dry goods store near Court and Sixth Streets in present-day Woodland, establishing Yolo City. The store served farmers and ranchers living nearby and travelers along the trail between the small towns of Washington (West Sacramento) and Cacheville (Yolo). Thereafter, A. Weaver opened a blacksmith shop, and in about three months was succeeded by James McClure, and he by E. R. Moses. The first shop was at a point near the former railroad, about 400 feet north from Main Street.

In 1856, Henry Wyckoff established a second store near Court Street, but sold out in April 1857 to Missourian Franklin S. Freeman, who demolished the old residence and erected a new house, still standing at 1037 Court Street. He married local school teacher Gertrude Swain in 1858, and they lived in the house until about 1868, after which they constructed a larger house on the 400 block of First Street, which was demolished in 1948.⁶ His wife, Gertrude taught 60 pupils in the school which was located across from the present-day Freeman Park.⁷



Figure 3: Gertrude and Frank Freeman on their porch
(Courtesy Yolo County Archives).

⁶Gilbert, Frank T. *The Illustrated Atlas and History of Yolo County, Cal., containing a History of California from 1513 to 1850, a History of Yolo County from 1825 to 1880*. San Francisco: DePue & Company. 1879; City of Woodland 1996; Walters 2008.

⁷ Hayes, Elinor. Woodland Daily Democrat. "Woodland's Godmother to be Honored Tonight." Woodland, California. March 9, 1928.

By 1857, Major Frank S. Freeman had acquired 160 acres of land, and offered free lots to settlers who would clear the land and build homes. Eventually the settlement of Yolo City was established around the central part of present-day Main Street. Yolo City developed into an agricultural community, bolstered by the first irrigation canal developed in 1856 by James Moore, who owned exclusive rights to Cache Creek.



Figure 4: Circa 1860 view of Yolo City.

In 1861, Major Freeman gained permission to build a post office in the town, and Yolo City was officially renamed Woodland by his wife, Gertrude Freeman in honor of the Valley Oak forest that filled the valley. Frank Freeman was appointed Postmaster in 1861, and he established the first Woodland post office in a brick commercial building he constructed on the northwest corner of Main and First Streets (539 Main Street). A saloon, the first in the town, was opened in 1861 by Benjamin Hotchkiss on Main Street. There were two boarding houses, one kept by James W. Stotenburg and the other by E. Dollarhide.⁸

The grade of the road once known as the "old Vallejo Railroad Grade" was completed to Woodland in 1860. The same year Hesperian College was completed. The flood of 1861-1862 demonstrated the necessity of a more accessible point for the county seat than the

⁸Gilbert 1879:76; City of Woodland 1996; Walters 2008.

current town of Washington.⁹ In 1862, the Yolo County seat was transferred from Washington (present-day West Sacramento) to Woodland. The first plat of the town was recorded in 1863 with Sixth Street designated as the eastern boundary, College Street as the western boundary, North Street as the northern boundary, and South Street (now Main Street) as the southern boundary. By the mid-1860s Woodland was the most important commercial center in the county, with a business district that boasted the county courthouse and hospital, a steam flour mill, brewery, livery stable, two blacksmith shops, wagon shop, two hotels, drugstore and six retail stores.¹⁰



Figure 5: *Birds Eye View of Woodland, Yolo County, 1871. The Court Street School, also known as the Main Street School, is denoted by the red arrow.*

⁹Gilbert 1879:76.

¹⁰City of Woodland 1996; Walters 2008.

In 1869, the California Pacific Railroad Company constructed a line between Davisville and Marysville with a Woodland station in the vicinity of College Street and Lincoln Avenue. Warehousing and industries requiring rail service developed along the railroad tracks, creating the industrial area that still remains between East and Fifth Streets. By 1870, the population of Woodland was approximately 1,600. By the time Woodland was incorporated in 1871 most of the oaks for which the town was named had vanished. Agricultural produce included tobacco, peanuts, grapes, rice, sugar beets, various grains, and row crops. Wineries and livestock were also important agricultural operations.

In 1891, Woodland acquired the water works system, built a sewer system, and completed the city hall. The Opera House, which was destroyed by fire in 1891 and rebuilt in 1896, became a center for recreation and culture. William H. Weeks, a renowned Northern California architect, designed many buildings in Woodland, including the Yolo County Courthouse, Hotel Woodland, Elks Lodge, and the Bank of Woodland.¹¹

By 1910, Woodland was the largest city in the county, with a population of 3,187. For the next 40 years, Woodland remained a stable community, anchored by agricultural industrial plants, such as the three rice mills, a sugar beet refinery, and a tomato cannery. The post-World War II period heralded explosive growth for California, and Woodland's population tripled between 1950 and 1980. New subdivisions and shopping centers developed around the town's perimeter, while industrial plants and distribution centers have been established in the northeast area of Woodland.¹²

3.4 Freeman Park History

On May 31, 1871 Theodore Deming recorded a deed, conveying one of the two parcels that now comprise Freeman Park to the Trustees of Woodland School District for the sum of one dollar "for the purposes of building a public school house thereon, which shall be of at least the value of three thousand dollars and be built within eighteen months from the date hereof." On May 27, 1872 L. P. Craft recorded a deed, conveying the second parcel that now comprises Freeman Park to the Woodland School District for the sum of three hundred dollars.¹³

¹¹City of Woodland 1996; Walters 2008.

¹²Walters 2008.

¹³ Ann Siprelle and Steven Ingram. Law Offices of Best, Best & Krieger, LLP. Closed Session Memorandum. March 18, 2004.



Figure 6: Circa 1880s lithograph of Woodland, California. The red arrow points to the location of the Court Street School House and the current location of Freeman Park (Courtesy of Yolo County Archives).

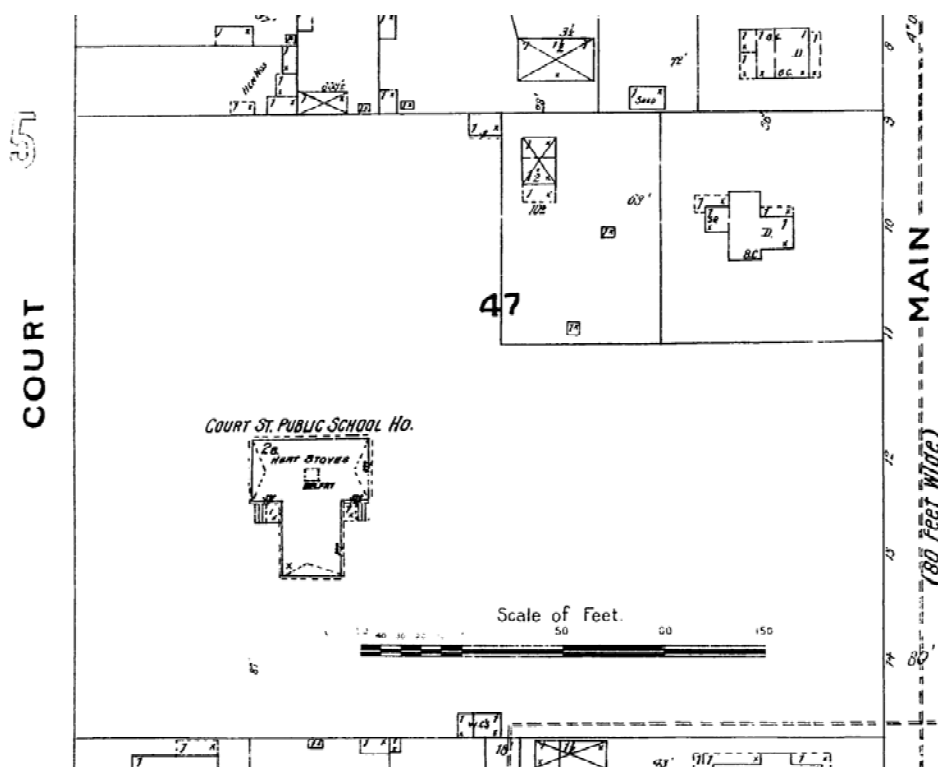


Figure 7: Sanborn Fire Insurance Map, Woodland, CA (Sheet 1) September 1895. Note the Court Street Public School House in the bottom left of the map, also the Victorian house north of the word "Main Street."



Figure 8: Main Street School, 1890s (Courtesy Yolo County Archives). The school was located where the gazebo is today in Freeman Park.

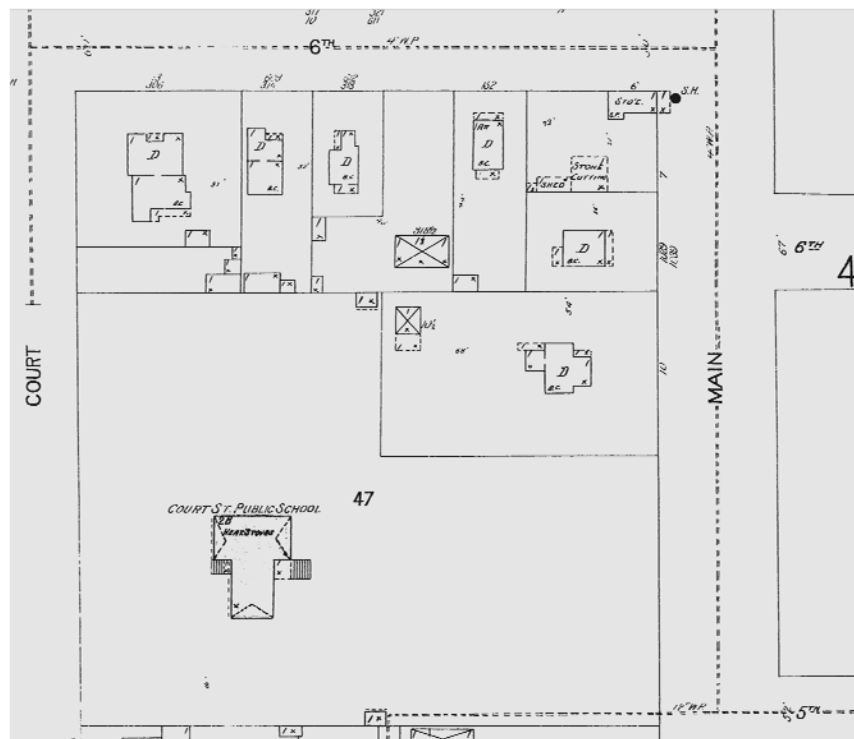


Figure 9: Sanborn Fire Insurance Map, Woodland, CA (Sheet 3) June 1906.

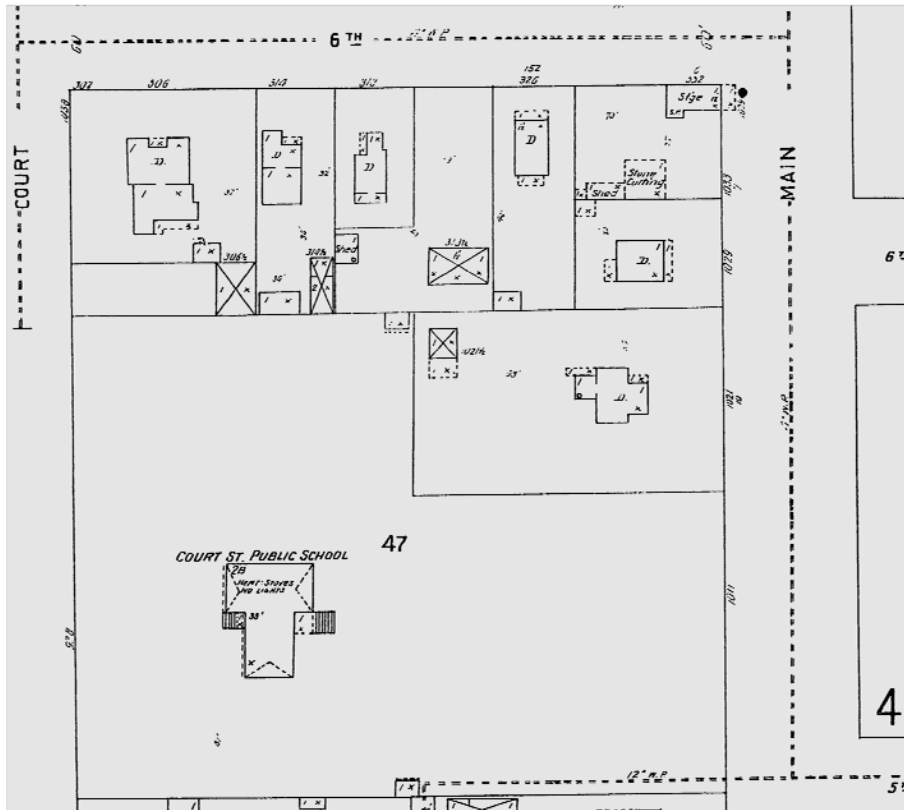
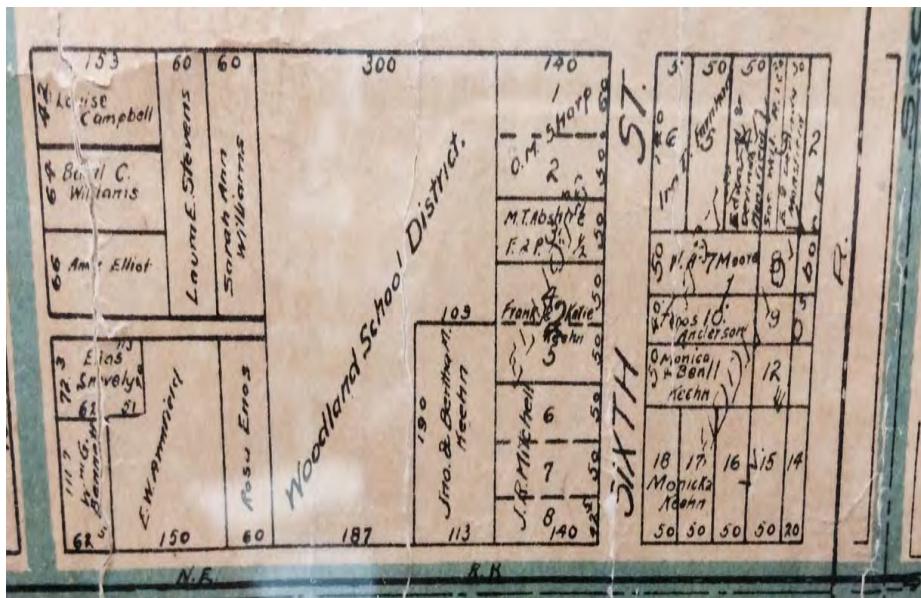


Figure 10: Sanborn Fire Insurance Map, Woodland, CA (Sheet 3) January 1912.



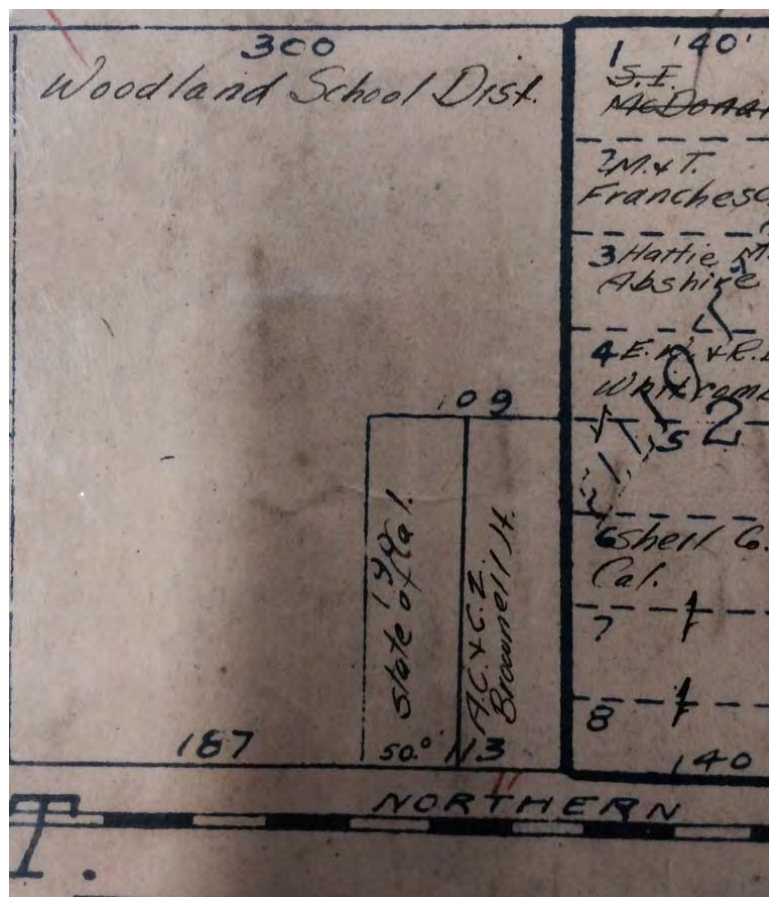


Figure 12: Assessor's Parcel Map, 1921, depicting lands owned by the Woodland School District, later transferred to the City as Freeman Park, the State of California parcel being the site of the DMV/Highway Patrol Office, and the parcel owned by A.C. and C.Z. Brownell, where the Budget Inn, formerly the Gray Motel, was built (Courtesy Yolo County Archives).

On February 7, 1921 a petition signed by some one hundred persons was presented to the City Council to acquire and maintain a city park on "the old Grammar School Property," and the Council appointed a committee to investigate the matter to acquire the school property for park purposes. On October 3, 1921 the Council committee reported that the school trustees agreed to lease the school lot to the City until the property was needed for a school building.¹⁴

On December 19, 1921 the Council authorized arrangements for a supply of water to the City Park on Main Street, between Fourth and Sixth Streets. On February 20, 1922 the City Council directed the City Engineer to prepare plans and specifications for grading and fixing a tennis court on the Main Street Park, which included hauling crushed rock from nearby quarries. The rock was shipped to the park via the nearby railroad.¹⁵ During

¹⁴ Ann Siprelle and Steven Ingram. Law Offices of Best, Best & Krieger, LLP. Closed Session Memorandum. March 18, 2004; *Woodland Daily Democrat*, August 30, 1922.

¹⁵ Ibid.

February existing trees perhaps associated with the old school were removed in order to replant the site.¹⁶

In January 1923, the city announced it planned to start construction on a wading pool for the children at the park.¹⁷ On July 6, 1923 the City Council approved Resolution #442, approving a lease agreement with the Woodland School District Board of Trustees to lease the property for a term of twenty (20) years for the purpose of maintaining a public park thereon. On August 20, 1923 the Council awarded a bid to J. A. Gould for \$1,885 to construct a restroom at the park.¹⁸

By 1925 a new municipal park was built at the site of the early grammar school known as the "brick school" (1871-1916). The board of trustees named it Freeman Park to honor Woodland's Founder, Frank S. Freeman. W. E. Robinson, the newly appointed gardener for the park, began work on the beautification of the park, in accordance with plans of the City Engineer, A. G. Proctor. The plans included flower plots and numerous paths.¹⁹

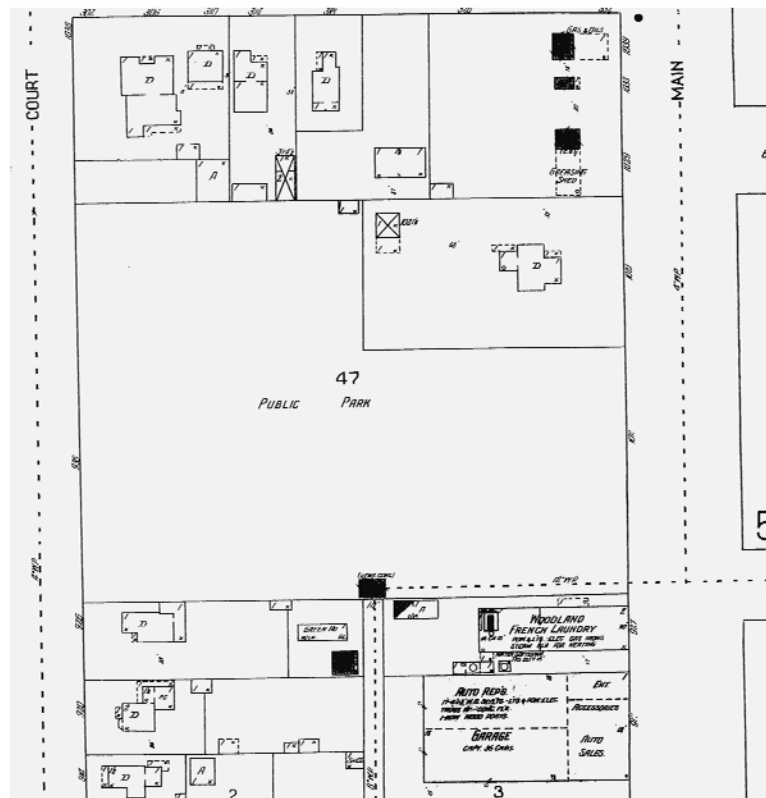


Figure 13: Sanborn Fire Insurance Map, Woodland, CA (Sheet 4) November 1926.

¹⁶Woodland Daily Democrat, February 24, 1922.

¹⁷Woodland Daily Democrat, January 27, 1923.

¹⁸Ibid.

¹⁹Woodland Daily Democrat. "Beautification of Woodland is Started." Woodland, California. March 17, 1925.

Freeman Park reflects a general movement in the United States referred to as "City Beautiful Movement." The 1890s and early years of the twentieth century were a turning point in American society. The economic system struggled to define itself and Americans through the language of consumption; social unrest and violence, results of economic depressions, disgust with corruption in government, and overcrowded urban centers erupted periodically throughout the era; and the agrarian way of life, so familiar and fundamental to American thought and self-image, was passing away into a nostalgic past. Historian Harold Faulkner observes that Americans witnessed the passing of the frontier and the rise of the United States to a position of world power and responsibility which was to make any return to her old isolation increasingly difficult, if not impossible. Old issues were dead or dying; sectional tension was no longer a force of much importance in politics, and efforts to revive it proved unavailing. Most important of all, the triumph of industry over agriculture was now assured. The Industrial Revolution, if not completed, had gone so far as to make turning back to the ways of a simpler agrarian society out of the question.²⁰

Life had come to be lived, for many, in the city. Not only had population increased during the period 1860 to 1910 from 31.4 million to 91.9 million, but the percentage of Americans living in cities increased as well - by 1910, 46% lived in cities with populations of over 2,500.²¹ With population centering on urban areas, the questions of the city - crime, poverty, urban blight, and civic idealism - all came to the fore near the turn of the century.

The real consumers of the city's goods were not its residents; increasingly, with the advent of improved transportation and roadways, the middle and upper-middle class retreated from the cities into the suburbs, leaving the less well-to-do and the downright poverty-stricken to the quickly decaying urban center. The upper classes traveled into the city to attend to their business, consume the leisure activities contained therein, and the return to their comfortable and beautiful suburban homes. What they left behind in the cities is the subject of numerous Progressive reform movements throughout the period.

The reformers were concerned less with the poor of the cities than with their own fear of these growing urban masses. Their concern can be understood in the context of the social upheaval centered on the city during the Gilded Age, beginning with Chicago's Haymarket Riot of 1886 and followed by labor unrest just prior and just after the beginning of the 1893 depression - the Homestead strike of 1892 and the Pullman strike of 1894. The depression starting in 1893 lasted until 1897, its pain, division, and violence a memory fresh in the minds of Americans.

The reformers of urban America were generally middle and upper-middle class, whose concern was with the potential violence of those left in the cities. The lower classes these activists were attempting to control were living in squalid and significantly unhealthy

²⁰American Studies at the University of Virginia Website. "The City Beautiful Movement." <http://xroads.virginia.edu/~cap/citybeautiful/city.html>. Accessed September 2015.

²¹Hines, Thomas S. "The Imperial Mall: The City Beautiful Movement and the Washington Plan of 1901-02." in *The Mall in Washington, 1791-1991*. Washington: National Gallery of Art, 1991:81.

conditions. The squalor and hopelessness of city life for immigrants and the poor throughout the country has been recounted numerous times by writers such as Theodore Dreiser, Stephen Crane, Riis, and Frank Norris. The middle and upper-class reformers who sought to remedy this situation did so, for the most part, out of their own fear. They had to make the assumption that the poverty-stricken were somehow morally, and by extension civically, deficient, a point of view quite in vogue at the time, with the continuing popularity of Darwin's theories of survival of the fittest and Spenser's translation of these ideas into the social realm.²²

The most visible expression of this belief in the creation of moral and civic virtue in the urban population was created by the reformers of the City Beautiful movement. The movement was conceived as explicitly reform-minded; Daniel Burnham, a leading proponent of the movement, linked their efforts with Progressivism. A reform "of the landscape, he suggested, [would] complement the burgeoning reforms in other areas of society."²³ While other reformers concentrated on improving sanitary conditions or opening missions, the City Beautiful leaders (upper-middle class, white, male), believed the emphasis should be on creating a beautiful city, which would in turn inspire its inhabitants to moral and civic virtue. "The reform movement in America, which had largely been concerned with corruption in local government, exploitation of the laboring classes by big business, improvement in housing conditions in large cities, and other social causes, quickly embraced the concept of the city beautiful as an American goal."²⁴

Generally stated, the City Beautiful advocates sought to improve their city through beautification, which would have a number of effects: social ills would be swept away, as the beauty of the city would inspire civic loyalty and moral rectitude in the impoverished; American cities would be brought to cultural parity with their European competitors through the use of the European Beaux-Arts idiom; and a more inviting city center still would not bring the upper classes back to live, but certainly to work and spend money, in the urban areas. The premise of the movement was the idea that beauty could be an effective social control device.

Based on their fear, and a sincere sense of responsibility to improve the lives of the inner city poor, the City Beautiful reformers believed that "civic loyalty itself ... [could] provide the foundation stone" for a harmonious urban moral order.²⁵ Important as beauty was for itself, its role in environmental conditioning was never far from the minds of civic center advocates. The civic center's beauty would reflect the souls of the city's inhabitants, inducing order, calm, and propriety. Furthermore, the citizen's presence in the center, together with other citizens, would strengthen pride in the city and awaken a sense of community with fellow urban dwellers.²⁶

²² Boyer, Paul S. *Urban Masses and Moral Order in America, 1820-1920*. Cambridge: Harvard University Press, 1978, vii.

²³ Hines, 95.

²⁴ Riis, Jacob A. *How the Other Half Lives*. New York: Charles Scribner's Sons, 1890:195.

²⁵ Boyer, 252.

²⁶ Wilson, William H. *The City Beautiful Movement*. Baltimore: Johns Hopkins University Press, 1989:92.

The idiom the City Beautiful leaders used in their ideal civic center was the Beaux-Arts style, named for the famous Ecole des Beaux-Arts in Paris, which instructed artists and architects in the necessity of order, dignity, and harmony in their work. The first expression of this monumental style in the United States was found at the World's Columbian Exposition of 1893. The shimmering "White City," as the fair came to be known during that summer in Chicago, was a tour de force of early city planning and architectural cohesion. In the grand Court of Honor, architects, brought in from the East by Director of Construction Daniel H. Burnham of Chicago, put their Beaux-Arts training to use in the monumental and vaguely classical buildings, all of uniform cornice height, all decorated roughly the same, and all painted bright white.

Not only was the White City dignified and monumental, it was also well-run: there was no poverty and no crime, there were state-of-the-art sanitation and transportation systems, and the Columbian Guard kept everyone happily in their place. In contrast to the grey urban sprawl and blight of Chicago and other American cities, this seemed a utopia. The fair set American taste in architecture for at least the next 15 years, although some argue that its influence extends even farther into the twentieth century. The Beaux-Arts style was considered dignified and beautiful, and Americans embraced the order the style provided during a period of great disharmony and disorder in their country. The fair also introduced the concept of a monumental core or civic center, an arrangement of buildings intended to inspire in their beauty and harmony, as well as the beginnings of comprehensive city planning, although in many cases the city planning was directly only at the monumental core and public parks, rather than addressing zoning issues or affordable housing.

Freeman Park, although dedicated as a city park in 1921, remained marginally developed until the 1930s. On January 16, 1936, the *Woodland Democrat* reported that "work had started on the new park for the city." The notation in newspaper read:

Hopeful they will be given a break by the weatherman, a crew of WPA laborers was at work Thursday morning landscaping the old city dump at the east end of Court Street which is being made into a three-acre park. The ground will be leveled before the planting of shrubs and trees takes place. Much interest is being shown in the proposed target range which will occupy part of the park.²⁷

²⁷ *Woodland Daily Democrat*, January 16, 1936:1.



Figure 14: Photograph of Freeman Park, circa 1940, with WPA landscaping (Courtesy Yolo County Archives).

Based upon a historic photograph (Figure 14), probably taken in the 1940s, Freeman Park had been improved by the Works Project Administration (WPA) with sidewalks, fluted lamp standards, a raised promenade with a fountain, a drinking fountain, concrete seating areas, and various shrubs and trees. The overall impression is a "Neo-Classical" inspired landscape popular during the 1920s-1930s.

The centrally located raised concrete promenade has been replaced with a gazebo in 2001, and the other improvements, such as the drinking fountain and concrete benches, were removed as part of the most recent park improvement project. Figures 15 and 16 illustrate the dramatic change in the landscape design of the park between 1937 and 2015. Based upon the two aerial images, all of the WPA landscape features have been removed from the park and replaced with a rectilinear design that includes lawns, newer walkways, a gazebo, and restrooms. The planting pattern and tree canopy in the 1930s photograph (Figure 15) does not appear to represent the trees in the park today (Figure 16), which include predominantly cedar and sycamore trees.



Figure 15: Aerial Photograph of Freeman Park, 1937, with the completed WPA landscape design (courtesy U.C. Davis Map Library).



Figure 16: Aerial Photograph of Freeman Park, 2015 (Google Earth)

The Trustees of the Woodland School District leased the Freeman Park property to the City of Woodland from 1923 until at least 1943. On July 28, 2004 the Woodland Joint Unified School District quitclaimed to the City of Woodland all interest in the following described property, identified as Assessor Parcel Number 005-645-10:

Parcel One:

A part of Block #5, as shown by plat of said town on file and of record, in the Recorders Office of our county, being a part of the land conveyed by William B. Emery and Lucy Emery to J. J. Deming on the 1st day of October 1862, recorded in Book "Y" of Deeds on pages 180 & 181, which record is referred to for a more full description of the land hereby conveyed.

Commencing at the southeast corner of the said tract as the southwest corner of a tract owned by James M. Martin; running thence north four hundred and thirty-five feet; thence west one hundred and ninety-five feet; thence south four hundred and thirty-five feet; thence east one hundred and ninety-five feet to the place of beginning.

Parcel Two:

Commencing at a point in the center of Court Street in said town of Woodland at the southwest corner of land, owned and occupied by J. Chandler; running thence south two hundred thirty (230) feet; thence west one hundred seven (107) feet; thence north two hundred thirty (230) feet to the center of said Court Street; thence east along the center of said Court Street one hundred and seven (107) feet to the place of beginning. The same being a part of the land described in the deed of F. S. Bruman to M. Burber, recorded in Book "F" of Deeds, Page 582 records of said Yolo County.²⁸

As previously noted, today Freeman Park retains its historic configuration, however, the original and later WPA landscape features no longer exist, replaced by a contemporary gazebo, restrooms, walkways. The trees and planting appear to date from the last 50 years.

3.5 California State DMV and Woodland Highway Patrol History

Just before the turn of the century a new mode of transportation was seen and heard on the California landscape. It made an enormous racket, like a rapidly popping string of firecrackers. It spewed smoke and stirred giant clouds of dust. It thrilled youngsters of the day and frightened animals. Some referred to it as a "horseless carriage." Others called it an "automobile." It was to have a more profound and greater impact upon the state than

²⁸ Yolo County Recorder's Office. Official Deeds, Book 38259, Page 1320. July 28, 2004.

any other single invention. It would eventually intrude into all California life, causing deep and lasting changes.

California's first half century of automobile legislation portrays a people striving to understand and to cope with their new motor car environment. Essentially, Californians were anxious to police motorists and protect themselves with a formidable barrier of "rules of the road." In 1901, California laws authorized cities and counties to license bicycles, tricycles, automobile carriages, carts, and similar wheeled vehicles. By 1905, this task was transferred to the Secretary of State for a more statewide and uniform vehicle registration system.

Owners paid a \$2 fee and were issued a circular tag that had to be conspicuously displayed in the vehicle. In addition, they had to display the license number on the rear of the vehicle in 3-inch-high black letters on a white background. Some owners also painted numbers on headlamp lenses. Vehicle registration prerequisites included satisfactory lamps, good brakes, and either a bell or a horn. The secretary of state handled vehicle registrations from 1905 until 1913, when the legislature gave the task to the state treasurer. At the same time, the Engineering Department (predecessor of the Department of Public Works and forerunner of today's Department of Transportation) became custodian of vehicle records.

The first Department of Motor Vehicles in California was created in 1915 with enactment of Senator E.S. Birdsall's "Vehicle Act of 1915." Vehicle registrations that year had climbed to 191,000. In 1921, the powers and duties of the Department of Motor Vehicles (DMV) were transferred to the Division of Motor Vehicles, part of the newly created Department of Finance. The move reflected recognition of the division's revenue producing status. In 1931, the DMV became a stand-alone state department and has remained in this status to the present day.²⁹

On August 14, 1929, the California Highway Patrol (CHP) was created through an act of the Legislature. The new law gave Statewide authority to the Highway Patrol to enforce traffic laws on county and State highways - a responsibility which remains in effect today, along with many additional functions undreamed of in 1929. The primary mission of the California Highway Patrol is "the management and regulation of traffic to achieve safe, lawful, and efficient use of the highway transportation system." As a major statewide law enforcement agency, the secondary mission of the Department is to assist in emergencies exceeding local capabilities. The CHP also provides disaster and lifesaving assistance. In 1930, the CHP established its first academy training class at the old State Fairgrounds in Sacramento.

During its first ten years, the CHP successfully grew into a highly respected, effective traffic safety force of 730 uniformed personnel. After World War II, the legislature decided to consolidate and reorganize the Patrol's enforcement and administrative responsibilities. In October 1947, the Department of the California Highway Patrol was

²⁹ State of California. "CA Department of Motor Vehicles History."
<https://www.dmv.ca.gov/portal/dmv/detail/about/profile/history>. Accessed September 2015.

established and the position of commissioner was created to head the new Department. The span of enforcement responsibility has expanded dramatically and the CHP has continued to grow and change. Today's responsibilities include truck and bus inspections, air operations (both airplanes and helicopters) and vehicle theft investigation and prevention. The 1995 merger with the California State Police also increased the areas of responsibility to include protection of state property and employees, the Governor, and other dignitaries.³⁰

The founding of the California Highway Patrol really was an evolution more than a birth – one that started in 1911 with the hiring of the first rural traffic officer by San Mateo County. It was formalized in 1929 with the passage of a bill to create a formal Highway Patrol to be part of the Division of Motor Vehicles, and continued through 1947, when it earned the status of separate department. Despite that, the obvious key date is August 14, 1929. That is when Senate Bill 869, which had been signed into law by then Governor C.C. Young, became a law that created a statewide rural traffic force. Only 280 men comprised the initial patrol. The impetus for organizing came in 1915, when the first statewide traffic laws were printed in pamphlet form.

Most counties hired officers to enforce these laws. By 1917, four inspectors were visiting counties to train local officers – an effort that was not often received cordially. The system was disrupted in 1923, when the state Supreme Court ruled it was illegal for counties to appoint traffic officers and pay them from county treasuries. So the state legislature created a program of dual control, in which the state appointed and paid officers from lists submitted by county supervisors. However, since those officers were still controlled by counties, there was little uniformity of approach to problems.

Meanwhile, by 1925 the vehicle registration had grown to almost half a million. In 1927, the state Senate appointed an interim committee to study the issues. The result was the formation of the patrol in 1929. That didn't entirely solve the dilemma, unfortunately. A few county boards – most notably Los Angeles county – elected to maintain separate traffic squads. It finally became a truly statewide entity when the Los Angeles Motor Patrol was absorbed on July 1, 1932. The final piece of the puzzle came on October 1, 1947, when the Department of California Highway Patrol was created – to be headed by a commissioner appointed by the governor.³¹

³⁰ California Highway Patrol Website. "History of the California Highway Patrol." <https://www.chp.ca.gov/home/about-us/the-history-of-the-california-highway-patrol>, Accessed September 2015.

³¹ Spike Helmick. "Formation of the California Highway Patrol." <http://www.spike-helmick.com/Highway-Patrol-/>, Accessed September 2015.

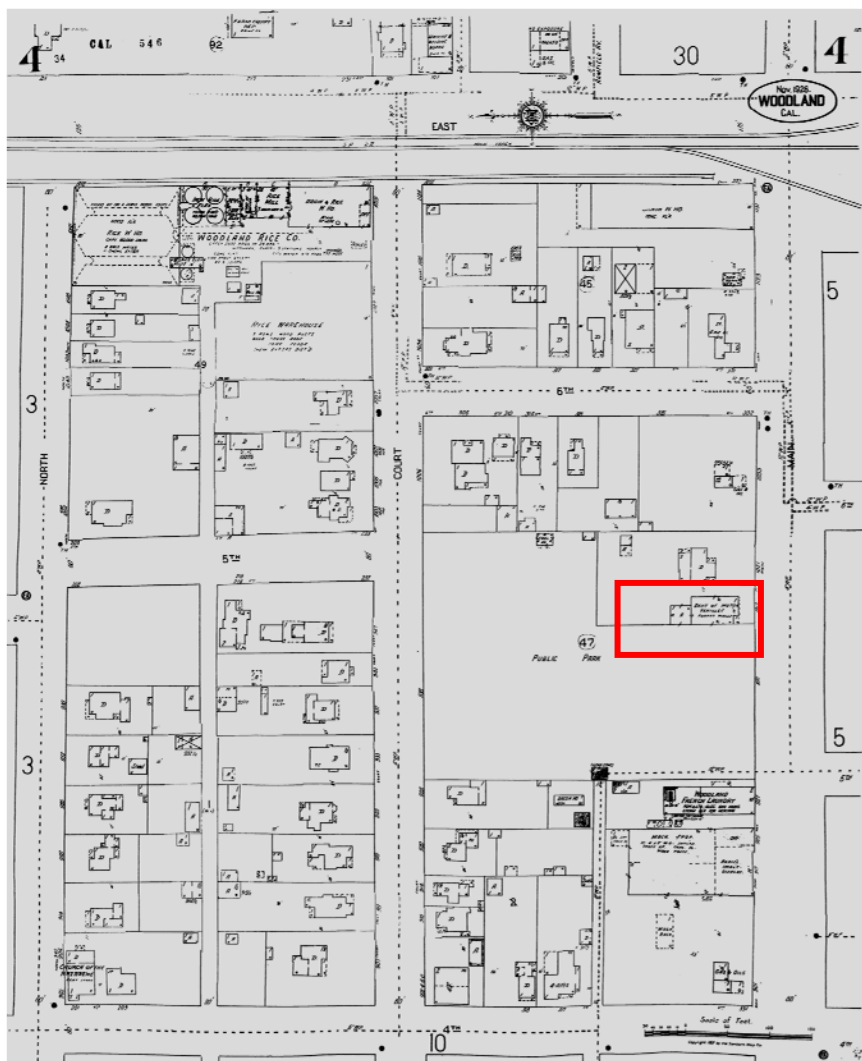


Figure 17: Sanborn Fire Insurance Map, Woodland, CA (Sheet 4) November 1926-revised July 1949. The DMV/Highway Patrol Office is highlighted in red. Note the original office configuration included a single-car garage in the rear.

Equally important as the functionality of the DMV and California Highway Patrol were the architects who designed the wide variety of state-owned buildings. One in particular deserves special recognition - Alfred W. Eichler. Born in Missouri on September 7, 1895, Eichler spent most of his childhood in San Francisco. He studied at the Ecole des Beaux Arts Institute of Design in Paris, France. Out of school in 1924, Eichler partnered with architect Everett Radcliff Harman to form Harman and Eichler, Architects in Los Angeles, California. A year later, in 1925, Eichler began to work for the California Department of Public Works in the Division of Architecture. By 1949, he was promoted to a supervising architect. He retired in 1963. Alfred W. Eichler died on November 27, 1977, at the age of 82.³²

³² Online Archives of California Website. "Finding Aid for the Alfred Eichler Papers, circa 1914-circa 1963." http://www.oac.cdlib.org/findaid/ark:/13030/c8cv4grq/entire_text/, Accessed September 2015.

During his employment with the State of California, Eichler designed hundreds of buildings, as well as bridges. His designs varied from one project to another, including Modern, Art Deco, Spanish Revival or Mediterranean, and Classical. He was particularly active during the Great Depression of the 1930s working with WPA staff architects. In 1935, Eichler designed 1017 Main Street, the Woodland Department of Motor Vehicles Office (Figure 18).

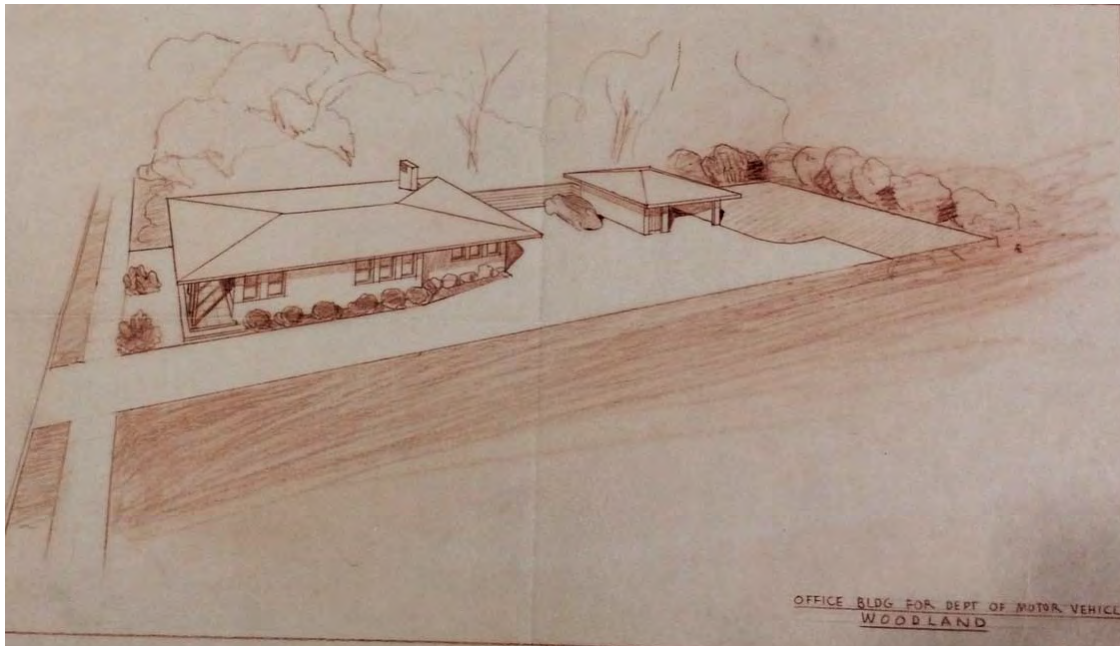


Figure 18: Eichler design for the Woodland DMV Office, 1935 (Courtesy California State Archives, Dept. of Public Works, Division of Architecture, Design Section, F3274.206).

The rendering of the DMV office carried out by Eichler in 1935 does not entirely represent the building that was ultimately built in Woodland. The main difference appears to be that the front facade does not have such a prominent roofline extending towards Main Street, creating a veranda. Also, the rear garage was either never built or incorporated into the late carports.

Another building that bears a striking resemblance to the DMV Office at 1017 Main Street in Woodland was the Marysville DMV office, designed by Eichler in 1936 (Figure 19). The Marysville DMV and Highway Patrol Office exhibited a similar massing and arrangement of doors and windows as the Woodland DMV and Highway Patrol Office. Both buildings had a single garage in the rear.



Figure 19: Eichler design for the Marysville DMV and Highway Patrol Office, 1936 (Courtesy California State Archives, Dept. of Public Works, Division of Architecture, Design Section, F3274.206).

Figures 20 and 21 depict two of Eichler's more elaborate designs for DMV and Highway Patrol Offices in the mid-1930s.

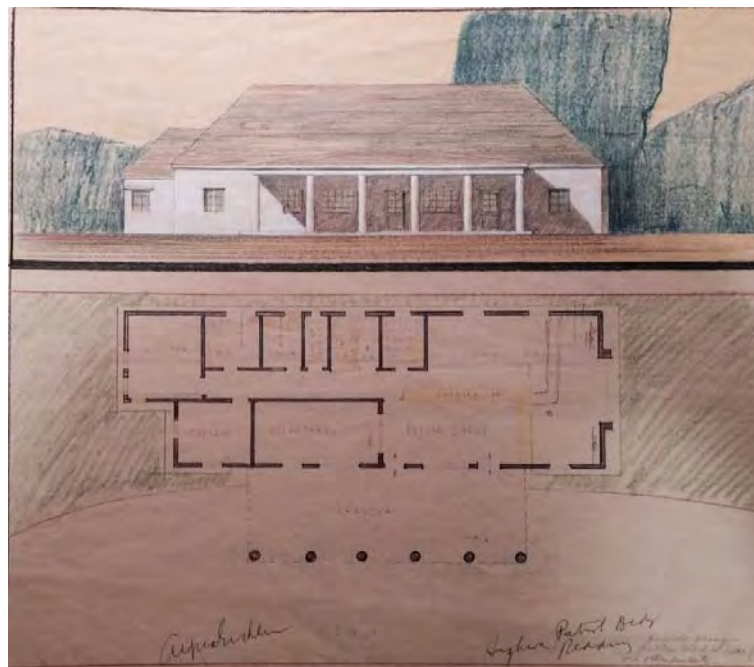


Figure 20: Eichler design for the Redding Highway Patrol Office, 1936 (Courtesy California State Archives, Dept. of Public Works, Division of Architecture, Design Section).



Figure 21: Eichler design for the Pasadena Highway Patrol Office, 1936
(Courtesy California State Archives, Dept. of Public Works,
Division of Architecture, Design Section).

Both the Woodland and Marysville DMV/Highway Patrol offices were built during the Great Depression, a period of time when the state incurred budget shortfalls and funding was tempered by the location and function of the building. Certainly the Woodland and Marysville offices were designed largely for their function and minimal cost to construct. Exterior walls and fenestration were plain, lacking any ornamentation or unique architectural features.

With the 1931 stand-alone status of the DMV as a formal department, new offices were planned for various cities throughout California. Architectural designs were prepared under the auspices of the California State Architect's office, and through funds secured through appropriations for each fiscal year. The Stockton DMV office bears a strong resemblance to the Woodland office.



Figure 22: Former DMV office, 411 N. Hunter Street, Stockton, CA.



Figure 23: Art Moderne DMV and Highway Patrol Office, San Rafael, CA, during the flood of 1945.



Figure 24: 1960s Era Modernist DMV Office, Pasadena, CA.

The functionality or usefulness of the Woodland office gradually declined after World War II, largely due to the increase of people driving automobiles in California, increased demand for licenses, and the centralization of the California Highway Patrol in Sacramento. On April 1, 1974 the State of California, through the acting Director of General Services, quitclaimed to the City of Woodland the following described property in Woodland, Yolo County, California:

Commencing at a point in the north line of Main Street, said point being located 63.5 feet west of the southwest corner of Block 2 of Elliot's Eastern Addition to the City of Woodland; thence west along the north line of Main Street 50 feet, more or less, to the southeast corner of a tract of land now or formerly owned by Woodland School District; thence north along the east line of the land of the Woodland School District 200.05 feet to a tract of land now or formerly owned by Woodland School District; thence along said line east and parallel to the north line of Main Street, 50 feet to a point; thence south 200.05 feet, more or less, to the point of commencement.³³

The conveyance was subject to the express condition that the real property conveyed be used only for park and recreation purposes for a period of twenty-five years. The property conveyed was the southeast corner of the land at Freeman Park located at 1017 Main Street. As result of the conveyance, the former Woodland DMV/Highway Patrol office would be adapted in the 1970s to serve the City of Woodland as the Woodland Toy Library over the past four decades.

³³ Yolo County Recorder's Office. Official Deeds, Book 1101, Page 295-296. April 1, 1974.

4.0 REGULATORY FRAMEWORK

4.1 NRHP Criteria

Criterion A: Event

Properties can be eligible for the National Register if they are associated with events that have made a significant contribution to the broad patterns of our history.

Criterion B: Person

Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past.

Criterion C: Design/Construction

Properties may be eligible for the National Register if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

Criterion D: Information Potential

Properties may be eligible for the National Register if they have yielded, or may be likely to yield, information important in prehistory or history. As the National Register points out, “when evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation - A, B, C, or D.” The rationale for judging a property's significance and, ultimately, its eligibility under the Criteria is its historic context and integrity. The use of historic context allows a property to be properly evaluated in a variety of ways. The key to determining whether the characteristics or associations of a particular property are significant is to consider the property within its proper historic context.³⁴

4.2 CEQA and CRHR Criteria

The regulatory framework for this historic resource study and the evaluation lies within the guidelines imposed for the California Environmental Quality Act (CEQA) and the California Register of Historic Resources (CRHR) under Public Resources Code section 5024.1. CEQA guidelines define a significant cultural resource as “a resource listed in or eligible for listing on the CRHR. A historical resource may be eligible for inclusion in the CRHR if it:

1. Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;

³⁴ USDI, National Park Service. National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, n.d.

2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important to prehistory or history.

Even if a resource is not listed in, or determined eligible for listing in, the CRHR, the lead agency may consider the resource to be an “historical resource” for the purposes of CEQA provided that the lead agency determination is supported by substantial evidence (CEQA Guidelines 14 CCR 15064.5).

According to the state guidelines, a project with an effect that may cause a substantial adverse change in the significance of a historical resource or a unique archaeological resource is a project that may have a significant effect on the environment (14 CCR 15064.5[b]). CEQA further states that a substantial adverse change in the significance of a resource means the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired. Actions that would materially impair the significance of a historical resource are any actions that would demolish or adversely alter those physical characteristics of a historical resource that convey its significance and qualify it for inclusion in the CRHR or in a local register or survey that meet the requirements of PRC 5020.1(k) and 5024.1(g).

4.3 City of Woodland Standards for Historic Designation

In addition, the City of Woodland Sec. 12A-3-1. Standards for designation of historical landmarks, historical districts, and historical resources was taken into consideration. The standard is as follows:

(a) A building, structure, object, or particular place may be designated for preservation as a landmark if it meets one or more of the following criteria:

(1) Historical Importance. The building, structure, object, particular place, vegetation or geology, has character, interest of value, as part of the development, heritage or cultural characteristics of the city, state or nation; or is the site of an historic event with an effect upon society; or is identified with a person or group of persons who had some influence on society; or exemplifies the cultural, political, economic, social or historic heritage of the community.

(2) Architectural Importance. The building, structure, object, or particular place exemplifies the environment of a group of people in an era of history characterized by distinctive architectural style; or embodies those distinguishing characteristics of an architectural type specimen; or is the work of an architect or master builder whose individual work has influenced the development of the area; or contains elements of

architectural design, detail, materials or craftsmanship which represent a significant innovation.

(b) An area may be designated as an historical district which it includes at least two designated historical landmarks in such proximity that they create a setting historically or culturally significant to the local community, the state, or the nation, sufficiently distinguishable from other areas of the city to warrant preservation by such means. Such districts may include structures and sites that individually do not meet criteria for landmark status but which geographically and visually are located so as to be part of the setting in which the other structures are viewed.

(c) The city council shall approve and maintain a historical resources list. A building, structure, or object may be included on the list as a historical resource if, in the determination of the city council, it satisfies the historical preservation commission's historical resources inventory study list evaluation criteria. (Ord. No. 1004, § 2 (part); Ord. No. 1310, § 3 (part).)

5.0 INTEGRITY CRITERIA

Determining the significance of 1001 and 1017 Main Street is predicated on the property retaining a sufficient level of integrity in order to convey its historic significance. Integrity is defined by the National Park Service as follows:

Location

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

Design

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape. Design can also apply to districts, whether they are important primarily for historic association, architectural value, information potential,

or a combination thereof. For districts significant primarily for historic association or architectural value, design concerns more than just the individual buildings or structures located within the boundaries. It also applies to the way in which buildings, sites, or structures are related: for example, spatial relationships between major features; visual rhythms in a streetscape or landscape plantings; the layout and materials of walkways and roads; and the relationship of other features, such as statues, water fountains, and archeological sites.

Setting

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historical role. It involves *how*, not just *where*, the property is situated and its relationship to surrounding features and open space.

Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is positioned in its environment can reflect the designer's concept of nature and aesthetic preferences.

The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as:

- Topographic features (a gorge or the crest of a hill);
- Vegetation;
- Simple manmade features (paths or fences); and
- Relationships between buildings and other features or open space.

These features and their relationships should be examined not only within the exact boundaries of the property, but also between the property and its *surroundings*. This is particularly important for districts.

Materials

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. Indigenous materials are often the focus of regional building traditions and thereby help define an area's sense of time and place.

A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant features must have been preserved. The property must also be an actual historic resource, not a recreation; a recent structure fabricated to look historic is not eligible. Likewise, a

property whose historic features and materials have been lost and then reconstructed is usually not eligible (refer to Criteria Consideration E in Part VII: *How to Apply the Criteria Considerations* for the conditions under which a reconstructed property can be eligible.)

Workmanship

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques. Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery.

Feeling

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century. A grouping of prehistoric petroglyphs, unmarred by graffiti and intrusions and located on its original isolated bluff, can evoke a sense of tribal spiritual life.

Association

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. For example, a Revolutionary War battlefield whose natural and manmade elements have remained intact since the 18th century will retain its quality of association with the battle. Because feeling and association depend on individual perceptions, their retention *alone* is never sufficient to support eligibility of a property for the National Register.

6.0 DETERMINATION OF INTEGRITY AND ELIGIBILITY

Location - Both Freeman Park (1001 Main Street) and the former DMV/Highway Patrol Office (1017 Main Street) retain their original location.

Design - The design of Freeman Park has been altered by the removal of virtually all of its original landscape design elements, including those installed by the WPA in the 1930s. The DMV/Highway Patrol Office has largely retained its original design with the exception of additions to the original structure in the rear, which included adding carports after 1950.

Setting - The setting of Freeman Park has been altered through physical changes to the original park including new trees, lawns, etc. During the 1950s a motel was built on the site of the nineteenth century residence east of the DMV/Highway Patrol Office, altering the original setting, which once had a much larger setback to the east.

Materials - The majority of the original materials associated with the 1920s through the 1930s at Freeman Park no longer exist. With the exception of the addition to the rear of the former DMV/Highway Patrol Office, most of its original materials still remain.

Workmanship - The original workmanship of Freeman Park has been compromised by contemporary re-design and development of the park, including a gazebo and restrooms. The workmanship of the former DMV/Highway Patrol Office remains largely intact.

Feeling - The feeling of Freeman Park is diminished, due to the loss of the original park design and WPA features. The overall feeling of the former DMV/Highway Patrol Office is relatively good.

Association - The association of Freeman Park remains relatively good in that it still serves as a public park. The association of the former DMV/Highway Patrol Office is diminished, due to its abandonment as a state office and later uses as a toy library.

7.0 EVALUATION CRITERIA

Is Freeman Park (1001 Main Street) eligible for the NRHP? No.

Under NRHP Criterion A, Freeman Park played an important role in the cultural and recreational history of Woodland. Under NRHP Criterion B, the park is associated with the Freemans, a pioneer Woodland family who reportedly donated some of the land that became the park. Under Criterion C, other than the configuration of the park, the historic landscape design and furniture built by the WPA no longer exist. Under NRHP Criterion D, there is some evidence that the park site was once part of the Woodland City Dump. However, it is likely that the refuse was removed prior to the development of the park and prior to construction of the school. Because the park lacks integrity of design, workmanship, materials, association, and, to some degree, feeling, the property does not appear to be eligible for the NRHP under any of the criteria.

Is Freeman Park (1001 Main Street) eligible for CEQA and the CRHR? No.

Under CRHR Criterion 1, Freeman Park played an important role in the cultural and recreational history of Woodland. Under CRHR Criterion 2, the park is associated with the Freemans, a pioneer Woodland family who reportedly donated some of the land that became the park. Under CRHR 3, other than the configuration of the park, the historic landscape design and furniture built by the WPA no longer exist. Under CRHR Criterion 4, there is some evidence that the park site was once part of the Woodland City Dump. However, it is likely that the refuse was removed prior to the development of the park and prior to construction of the school. Because the park lacks integrity of design, workmanship, materials, association, and, to some degree, feeling, the property does not appear to be eligible for the CRHR under any of the criteria.

Is Freeman Park (1001 Main Street) a significant resource per the City of Woodland Sec. 12A-3-1-Standards for designation of historical landmarks, historical districts and historical resources? No.

In order for any historical property to be designated, it must retain adequate integrity to convey its significance. Unfortunately, while Freeman Park has commemorative importance, being associated with the Freeman family, it no longer retains adequate integrity in order to convey its historic significance as a "historic park." One of the most important aspects of the park is its association with the WPA during the 1930s. Prior to that time, the park was developed, but not to its full potential nor with a specific design in mind. The WPA changed that with a central promenade and fountain, concrete walls with Neo-Classic balustrades, walkways, a drinking fountain, and the planting of trees, shrubs, and lawns. While the trees and lawns are consistent with the original concept, the design elements of the WPA no longer exist. Instead the park includes a centrally located gazebo installed where the WPA fountain once sat and a restroom. During the past few decades contemporary infill has occurred around the park, including in the past year the completion of the new County Courthouse across the street. Therefore, the park does not appear to warrant historic designation as a landmark, individual property, or historic district.

Is the former DMV/Highway Patrol Office (1017 Main Street) eligible for the NRHP? No.

1017 Main Street represents a very austere former state-owned office used by the DMV/Highway Patrol from 1936-37 through the 1960s. The building was designed by a prolific California State Architect, Alfred W. Eichler. Because Eichler's career with the state lasted for almost five decades, he was instrumental in designing hundreds of buildings in the state, many of which still remain. With exception of some modest door replacements and a large rear addition (carport), the building retains good integrity. Under NRHP Criterion A, the DMV/Highway Patrol office played an important role in the acquisition of drivers licenses and car registration and served as a branch office for the highway patrol. This association, however, is not well represented in any documentation, which suggests its value to the public was no lesser or greater than other

similar offices covering the state, with the main office in Sacramento. The value of the office appears to have diminished after World War II, due to proliferation of automobilists and the size of the office. The centralization of the highway patrol in Sacramento also led to the eventual abandonment of the office. Therefore, the DMV/Highway Patrol Offices does not appear to be significant under NRHP Criterion A. Under NRHP Criterion B, no documentation exists to connect the office to a person or persons of significance locally, regionally, or statewide. Under Criterion C, although the office was designed by Alfred A. Eichler, a renowned California architect, Eichler was responsible for numerous other office buildings of much more importance, both in their architectural design and function. He was also the designer of the historic Tower Bridge in Sacramento, which is listed on the NRHP. The architectural design of the building, principally a rectangular brick box, does not have important artistic merit or a high degree of workmanship. Therefore, the DMV/Highway Patrol Office does not appear to eligible for the NRHP under Criterion C. The subject property has no information or scientific data potential under NRHP Criterion D.

Is the former DMV/Highway Patrol Office (1017 Main Street) eligible for CEQA and the CRHR? No.

1017 Main Street represents a very austere former state-owned office used by the DMV/Highway Patrol from 1936-37 through the 1960s. The building was designed by a prolific California State Architect, Alfred W. Eichler. Because Eichler's career with the state last for almost five decades, he was instrumental in designing hundreds of buildings in the state, many of which still remain. With the exception of some modest door replacements and a large rear addition (carport), the building retains good integrity. Under NRHP Criterion A, the DMV/Highway Patrol office played an important role in the acquisition of drivers licenses and car registration and served as a branch office for the highway patrol. This association, however, is not well represented in any documentation, which suggests its value to the public was no lesser or greater than other similar offices covering the state, with the main office in Sacramento. The value of the office appears to have diminished after World War II, due to proliferation of automobilists and the size of the office. The centralization of the highway patrol in Sacramento also led to the eventual abandonment of the office. Therefore, the DMV/Highway Patrol Offices does not appear to be significant under CRHR Criterion 1. Under CRHR Criterion 2, no documentation exists to connect the office to a person or persons of significance locally, regionally, or statewide. Under CRHR Criterion 3, although the office was designed by Alfred A. Eichler, a renowned California architect, Eichler was responsible for numerous other office buildings of much more importance, both in their architectural design and function. He was also the designer of the historic Tower Bridge in Sacramento, which is listed on the CRHR and NRHP. The architectural design of the building, principally a rectangular brick box, does not have important artistic merit or a high degree of workmanship. Therefore, the DMV/Highway Patrol Office does not appear to eligible for the CRHR under Criterion 3. The subject property has no information or scientific data potential under CRHR Criterion 4.

Is the former DMV/Highway Patrol Office (1017 Main Street) a significant resource per the City of Woodland Sec. 12A-3-1- Standards for designation of historical landmarks, historical districts and historical resources? No.

In order for any historical property to be designated, it must retain adequate integrity to convey its significance. The former State DMV/Highway Patrol Office does retain good integrity. Built in 1936-37 and used as a state office through the 1960s, the building was designed by a prolific California State Architect, Alfred W. Eichler. Because Eichler's career with the state last for almost five decades, he was instrumental in designing hundreds of buildings in the state, many of which still remain. The DMV/Highway Patrol office played an important local role for citizens to obtain driver's licenses and register vehicles. For a time the building also served as a small branch office for the California Highway Patrol. This association, however, is not well represented in any documentation, which suggests its value to the public was no lesser or greater than other similar offices covering the state, with the main office in Sacramento. The value of the office appears to have diminished after World War II, due to proliferation of automobilists and the size of the office. The centralization of the highway patrol in Sacramento also led to the eventual abandonment of the office. The architectural design of the building, principally a rectangular brick box, does not have important artistic merit or a high degree of workmanship. Nor does the building represent a significant element to the local or county governmental history of Woodland, as does the historic County Courthouse. Therefore, the former DMV/Highway Patrol Office does not appear to warrant historic designation as a landmark, individual property, or historic district.

8.0 SIGNIFICANCE SUMMARY STATEMENT

Neither 1001 nor 1017 Main Street, Woodland, California warrant designation as significant historic resources under the NRHP, CRHR, as City of Woodland Landmark individual resources, or as part of a historic district.

9.0 PROFESSIONAL QUALIFICATIONS

Dana E. Supernowicz, principal of Historic Resource Associates, earned his M.A. degree in History at California State University, Sacramento in 1983, with an emphasis in California and Western United States history. Supernowicz has over 38 years of experience working in the field of cultural resources management for federal and state agencies, as well as 30 years in private consulting. He is a Registered Professional Archaeologist (RPA), has also served as president of the El Dorado County Historical Society, and is a member of the Society for California Archaeology, Oregon-California Trails Association, and the National Trust for Historic Preservation.

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USGS 7.5' *Woodland, California* Topographic Quadrangle 1952, revised 1981.

PRIMARY RECORD

Primary #: _____
HRI # _____
Trinomial _____
NRHP Status Code: _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or #: (Assigned by recorder) 1001 Main Street

P1. Other Identifier:

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Yolo

b. USGS 7.5' Quadrangle: Woodland, CA **Date:** 1952, revised 1981

c. Address: 1001 Main Street **City:** Woodland **Zip:** 95695

d. UTM: N/A

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The subject property is a park located between Main and Court Street, and west of 6th Street and east of 4th Street. APN 005-645-10.

***P3a. Description:** Freeman Park is a owned and maintained by the City of Woodland. The park is bounded on the south by Main Street and on the north by Court Street. The park shares a common boundary with the Woodland Toy Library (1017 Main Street), located immediately to the east. To the west are commercial buildings. The park, which was originally developed in the early 1920s, and redesigned in 1936 by the Works Progress Administration (WPA), is located on a level parcel of land covering approximately 2 acres. Characteristics of the park include two rows of sycamore trees that front the park along Main Street and continue along the right edge of the lawn to the north, mature pine and cedar along the north central part of the park, a wooden gazebo in the center built in 2001, and a restroom on the right northern quadrant of the park also built in recent years. Other trees include flowering plum, as well as oaks near its outer border. The park also features an expansive lawn with rectilinear walkways or paths that provide access to different features in the park, including the gazebo and contemporary park benches. On the right side of the park between the park and the Woodland Toy Library is a small asphalt parking area. A second parking area paved with asphalt is located on the far northeast end of the park, behind the Woodland Toy Library and the restrooms. Viewing the park from the air, the current design includes three quadrants that are separated by large poured concrete walkways. The front quadrant closest to Main Street features mature trees and an expansive lawn; the center quadrant includes the gazebo and concrete benches; and the rear quadrant features a children's playground with benches and a paved asphalt basketball court that bumps up against a contemporary concrete block utility building surrounded by a steel fence.

***P3b. Resource Attributes:** HP9 - public utility building; HP29 - landscape architecture; HP30 - trees and vegetation

***P4. Resources Present:** ☒ Building ☒ Structure ☐ Object ☐ Site ☐ District ☐ Element of District

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: View looking north within the park at the gazebo.

***P6. Date Constructed/Age and Sources:** ☒ Historic Constructed 1921-1923; 1936 (City of Woodland historic records; newspaper articles; historic photographs and maps).

***P7. Owner and Address:** City of Woodland, 300 First Street, Woodland, CA 95695.

***P8. Recorded by:** Dana E. Supernowicz, Architectural Historian, Historic Resource Associates, 2001 Sheffield Drive, El Dorado Hills, CA 95762.

***P9. Date Recorded:** September 2015.

***P10. Type of Survey:** ☒ Architectural

***P11. Report Citation:** Historical Resource Analysis Study of 1001 and 1017 Main Street, Woodland, Yolo County, California 95695. Prepared for the City of Woodland, 300 First Street, Woodland, CA 95695. Prepared by Historic Resource Associates, 2001 Sheffield Drive, El Dorado Hills, CA 95762. September 2015.

***Attachments:** Building, Structure, and Object Record, Photograph Record.

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 21

*Resource Name or #: (Assigned by recorder) 1001 Main Street

NRHP Status Code: 6Z

- B1. Historic Name:** Freeman Park
B2. Common Name:
B3. Original Use: School **B4. Present Use:** Park
***B5. Architectural Style:** City Park/Landscape Architecture
***B6. Construction History:** Based upon historic maps, photographs, deeds, and historic design drawings, Freeman Park was developed between 1921 and 1937. The original phase of development occurred between 1921 and 1923. In 1936, the Works Project Administration commenced a redesign of the parks landscaping. In the past two decades the park has again been redesigned, this time with a centrally located gazebo, walkways, trees, and restrooms.
***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:**
***B8. Related Features:** Freeman Park abuts the Woodland Toy Library (1017 Main Street) to the east and Main Street to the south.
B9a. Architect: Alfred W. Eichler **B9b. Builder:** Contracted through the State of California
***B10. Significance: Theme:** Landscape Architecture **Area:** Woodland
Period of Significance: 1921-1937 **Property Type:** City Park **Applicable Criteria:** A, B, C, and D

During the 1850s through the 1870s, Yolo County was a prosperous agricultural area of grain cultivation, particularly wheat. The railroad junction provided a natural shipping point and the availability of transportation led to the creation of processing and packaging plants that made shipping more efficient. In the winter of 1853, Henry Wyckoff settled in a dense grove of oak trees and opened a small box frame dry goods store near Court and Sixth Streets in present-day Woodland, establishing Yolo City. The store served farmers and ranchers living nearby and travelers along the trail between the small towns of Washington (West Sacramento) and Cacheville (Yolo). Thereafter, A. Weaver opened a blacksmith shop, and in about three months was succeeded by James McClure, and he by E. R. Moses. The first shop was at a point near the former railroad, about 400 feet north from Main Street (refer to BSO, Page 2 of 21).

B11. Additional Resource Attributes: None.

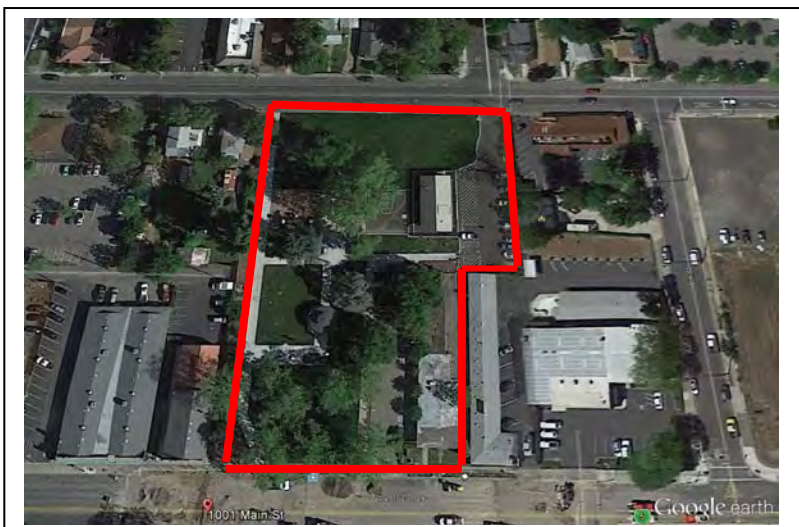
B12. References: Adams, Steven. *The Arts and Crafts Movement*. London: Quintet Publishing Limited. 1987; American Studies at the University of Virginia Website. "The City Beautiful Movement." <http://xroads.virginia.edu/~cap/citybeautiful/city.html>. Accessed September 2015; Ames, David L. "Draft Guidelines for Evaluating America's Historic Suburbs for the National Register of Historic Places." Unpublished manuscript. Washington D.C.: U.S. Department of the Interior, National Park Service. 1998; Anderson, Timothy, Eudora M. Moore, and Robert W. Winter, eds. *California Design 1910*. Salt Lake City: Peregrine Smith Books. 1980; Boyer, Paul S. *Urban Masses and Moral Order in America, 1820-1920*. Cambridge: Harvard University Press. 1978; California Highway Patrol Website. "History of the California Highway Patrol." <https://www.chp.ca.gov/home/about-us/the-history-of-the-california-highway-patrol>, Accessed September 2015; City of Woodland. "A Brief History of Woodland." Excerpted from the 1996 Woodland General Plan. www.cityofwoodland.org. 1996 (refer to BSO, Page 20 of 21).

B13. Remarks:

B14. Evaluator: Dana E. Supernowicz, Historic Resource Associates, 2001 Sheffield Dr., El Dorado Hills, CA 95762.

Date of Evaluation: September 2015

AERIAL PHOTOGRAPH 2015 (Google Earth)



(This space reserved for official
comments.)

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

NRHP Status Code: 6Z

***B10. Significance: (Continued):**

In 1856, Henry Wyckoff established a second store near Court Street, but sold out in April 1857 to Missourian Franklin S. Freeman, who demolished the old residence and erected a new house, still standing at 1037 Court Street. He married local school teacher Gertrude Swain in 1858, and they lived in the house until about 1868, after which they constructed a larger house on the 400 block of First Street, which was demolished in 1948.¹ His wife, Gertrude taught 60 pupils in the school which was located across from the present-day Freeman Park.²



Figure 1: Gertrude and Frank Freeman on their porch
(Courtesy Yolo County Archives).

By 1857, Major Frank S. Freeman had acquired 160 acres of land, and offered free lots to settlers who would clear the land and build homes. Eventually the settlement of Yolo City was established around the central part of present-day Main Street. Yolo City developed into an agricultural community, bolstered by the first irrigation canal developed in 1856 by James Moore, who owned exclusive rights to Cache Creek.

¹Gilbert, Frank T. *The Illustrated Atlas and History of Yolo County, Cal., containing a History of California from 1513 to 1850, a History of Yolo County from 1825 to 1880*. San Francisco: DePue & Company. 1879; City of Woodland 1996; Walters 2008.

² Hayes, Elinor. Woodland Daily Democrat. "Woodland's Godmother to be Honored Tonight." Woodland, California. March 9, 1928.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

NRHP Status Code: 6Z

*B10. Significance: (Continued):



Figure 2: Circa 1860 view of Yolo City.

In 1861, Major Freeman gained permission to build a post office in the town, and Yolo City was officially renamed Woodland by his wife, Gertrude Freeman in honor of the Valley Oak forest that filled the valley. Frank Freeman was appointed Postmaster in 1861, and he established the first Woodland post office in a brick commercial building he constructed on the northwest corner of Main and First Streets (539 Main Street). A saloon, the first in the town, was opened in 1861 by Benjamin Hotchkiss on Main Street. There were two boarding houses, one kept by James W. Stotenburg and the other by E. Dollarhide.³

The grade of the road once known as the "old Vallejo Railroad Grade" was completed to Woodland in 1860. The same year Hesperian College was completed. The flood of 1861-1862 demonstrated the necessity of a more accessible point for the county seat than the current town of Washington.⁴ In 1862, the Yolo County seat was transferred from Washington (present-day West Sacramento) to Woodland. The first plat of the town was recorded in 1863 with Sixth Street designated as the eastern boundary, College Street as the western boundary, North Street as the northern boundary, and South Street (now Main Street) as the southern boundary. By the mid-1860s Woodland was the most important commercial center in the county, with a business district that boasted the county courthouse and hospital, a steam flour mill, brewery, livery stable, two blacksmith shops, wagon shop, two hotels, drugstore and six retail stores.⁵

³Gilbert 1879:76; City of Woodland 1996; Walters 2008.

⁴Gilbert 1879:76.

⁵City of Woodland 1996; Walters 2008.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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***B10. Significance: (Continued):**

In 1869, the California Pacific Railroad Company constructed a line between Davisville and Marysville with a Woodland station in the vicinity of College Street and Lincoln Avenue. Warehousing and industries requiring rail service developed along the railroad tracks, creating the industrial area that still remains between East and Fifth Streets. By 1870, the population of Woodland was approximately 1,600. By the time Woodland was incorporated in 1871 most of the oaks for which the town was named had vanished. Agricultural produce included tobacco, peanuts, grapes, rice, sugar beets, various grains, and row crops. Wineries and livestock were also important agricultural operations.



Figure 3: *Birds Eye View of Woodland, Yolo County, 1871. The Court Street School, also known as the Main Street School, is denoted by the red arrow.*

In 1891, Woodland acquired the water works system, built a sewer system, and completed the city hall. The Opera House, which was destroyed by fire in 1891 and rebuilt in 1896, became a center for recreation and culture. William H. Weeks, a renowned Northern California architect, designed many buildings in Woodland, including the Yolo County Courthouse, Hotel Woodland, Elks Lodge, and the Bank of Woodland.⁶ By 1910, Woodland was the largest city in the county, with a population of 3,187. For the next 40 years, Woodland remained a stable community, anchored by agricultural industrial plants, such as the three rice mills, a sugar beet refinery, and a tomato cannery. The post-World War II period heralded explosive growth for California, and Woodland's population tripled between 1950 and 1980. New subdivisions and shopping centers developed around the town's perimeter, while industrial plants and distribution centers have been established in the northeast area of Woodland.⁷

⁶ City of Woodland 1996; Walters 2008.

⁷Walters 2008.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):

History of Freeman Park (1001 Main Street)

On May 31, 1871 Theodore Deming recorded a deed, conveying one of the two parcels that now comprise Freeman Park to the Trustees of Woodland School District for the sum of one dollar "for the purposes of building a public school house thereon, which shall be of at least the value of three thousand dollars and be built within eighteen months from the date hereof." On May 27, 1872 L. P. Craft recorded a deed, conveying the second parcel that now comprises Freeman Park to the Woodland School District for the sum of three hundred dollars.⁸



Figure 4: Circa 1880s lithograph of Woodland, California. The red arrow points to the location of the Court Street School House and the current location of Freeman Park (Courtesy of Yolo County Archives).

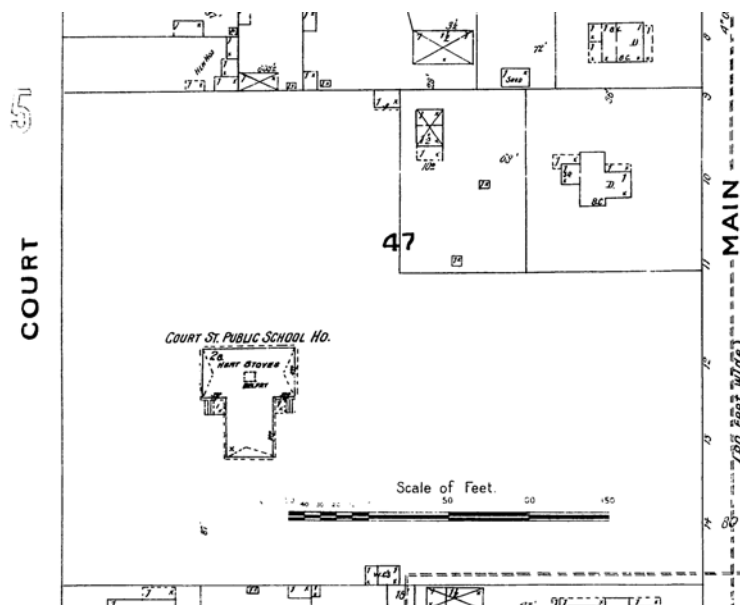


Figure 5: Sanborn Fire Insurance Map, Woodland, CA (Sheet 1) September 1895.

⁸ Ann Siprelle and Steven Ingram. Law Offices of Best, Best & Krieger, LLP. Closed Session Memorandum. March 18, 2004.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):



Figure 6: Main Street School, 1890s (Courtesy Yolo County Archives).
The school was located where the gazebo is today in Freeman Park.

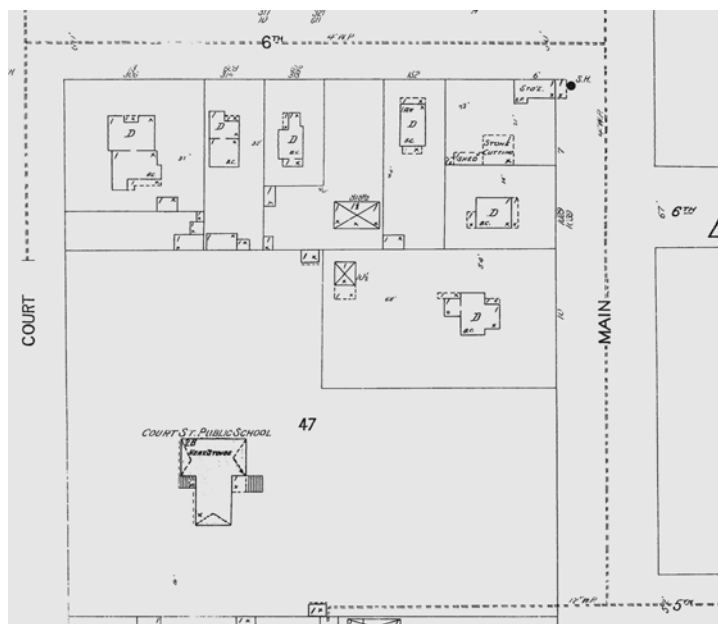


Figure 7: Sanborn Fire Insurance Map, Woodland, CA (Sheet 3) June 1906.

***B10. Significance: (Continued):**

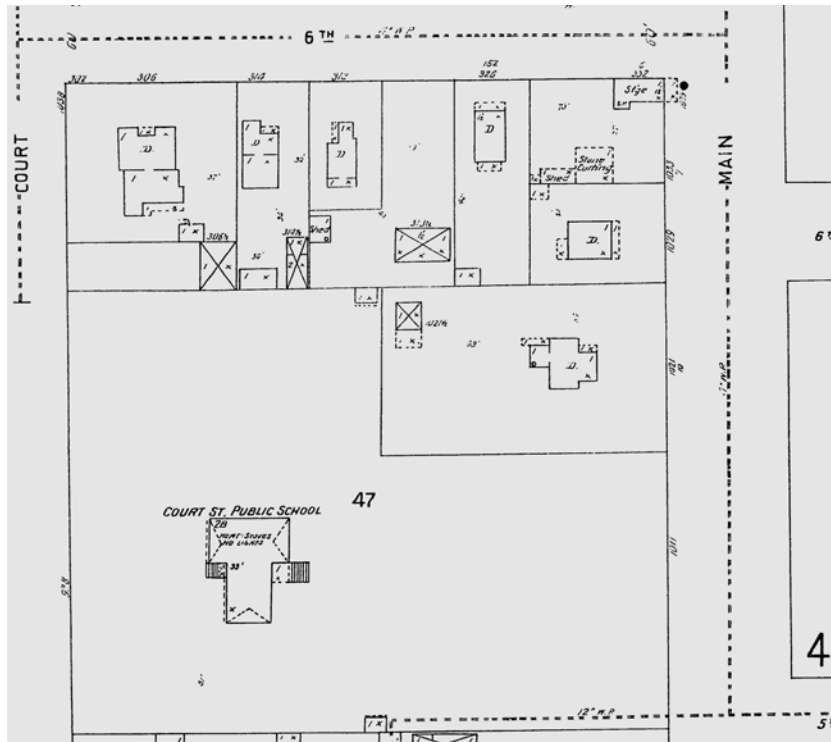


Figure 8: Sanborn Fire Insurance Map, Woodland, CA (Sheet 3) January 1912.



Figure 9: Official Map of Yolo County, 1915. The map depicts the Woodland School District parcel, now the site of Freeman Park, and the parcel occupied by the former DMV office, once owned by the Keehn brothers (Courtesy of Yolo County Archives).

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):

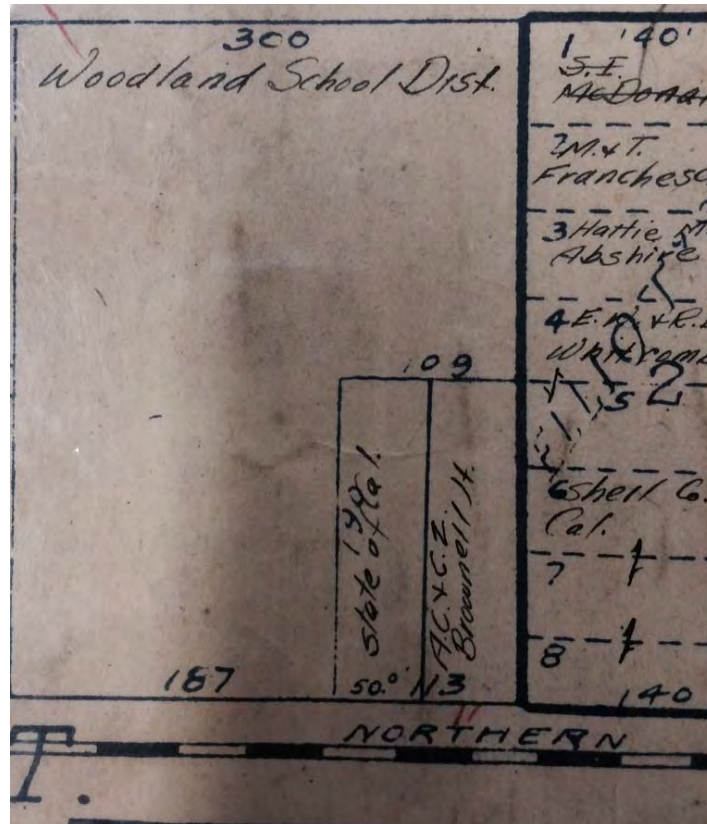


Figure 10: Assessor's Parcel Map, 1921, depicting lands owned by the Woodland School District, later transferred to the City as Freeman Park, the State of California parcel being the site of the DMV/Highway Patrol Office, and the parcel owned by A.C. and C.Z. Brownell, where the Budget Inn, formerly the Gray Motel, was built (Courtesy Yolo County Archives).

On February 7, 1921 a petition signed by some one hundred persons was presented to the City Council to acquire and maintain a city park on "the old Grammar School Property," and the Council appointed a committee to investigate the matter to acquire the school property for park purposes. On October 3, 1921 the Council committee reported that the school trustees agreed to lease the school lot to the City until the property was needed for a school building.⁹

On December 19, 1921 the Council authorized arrangements for a supply of water to the City Park on Main Street, between Fourth and Sixth Streets. On February 20, 1922 the City Council directed the City Engineer to prepare plans and specifications for grading and fixing a tennis court on the Main Street Park, which included hauling crushed rock from nearby quarries. The rock was shipped to the park via the nearby railroad.¹⁰ During February existing trees, perhaps associated with the old school, were removed in order to replant the site.¹¹ In January 1923, the city announced it planned to start construction on a wading pool for the children at the park.¹²

⁹ Ann Siprelle and Steven Ingram. Law Offices of Best, Best & Krieger, LLP. Closed Session Memorandum. March 18, 2004; *Woodland Daily Democrat*, August 30, 1922.

¹⁰ Ibid.

¹¹ *Woodland Daily Democrat*, February 24, 1922.

¹² *Woodland Daily Democrat*, January 27, 1923.

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***Resource Name or #:** (Assigned by recorder) 1001 Main Street

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***B10. Significance: (Continued):**

On July 6, 1923 the City Council approved Resolution #442, approving a lease agreement with the Woodland School District Board of Trustees to lease the property for a term of twenty (20) years for the purpose of maintaining a public park thereon. On August 20, 1923 the Council awarded a bid to J. A. Gould for \$1,885 to construct a restroom at the park.¹³

By 1925 a new municipal park was built at the site of an early grammar school known as the "brick school" (1871-1916). The board of trustees named it Freeman Park to honor Woodland's Founder, Frank S. Freeman. W. E. Robinson, the newly appointed gardener for the park, began work on the beautification of the park, in accordance with plans of the City Engineer, A. G. Proctor. The plans included flower plots and numerous paths.¹⁴

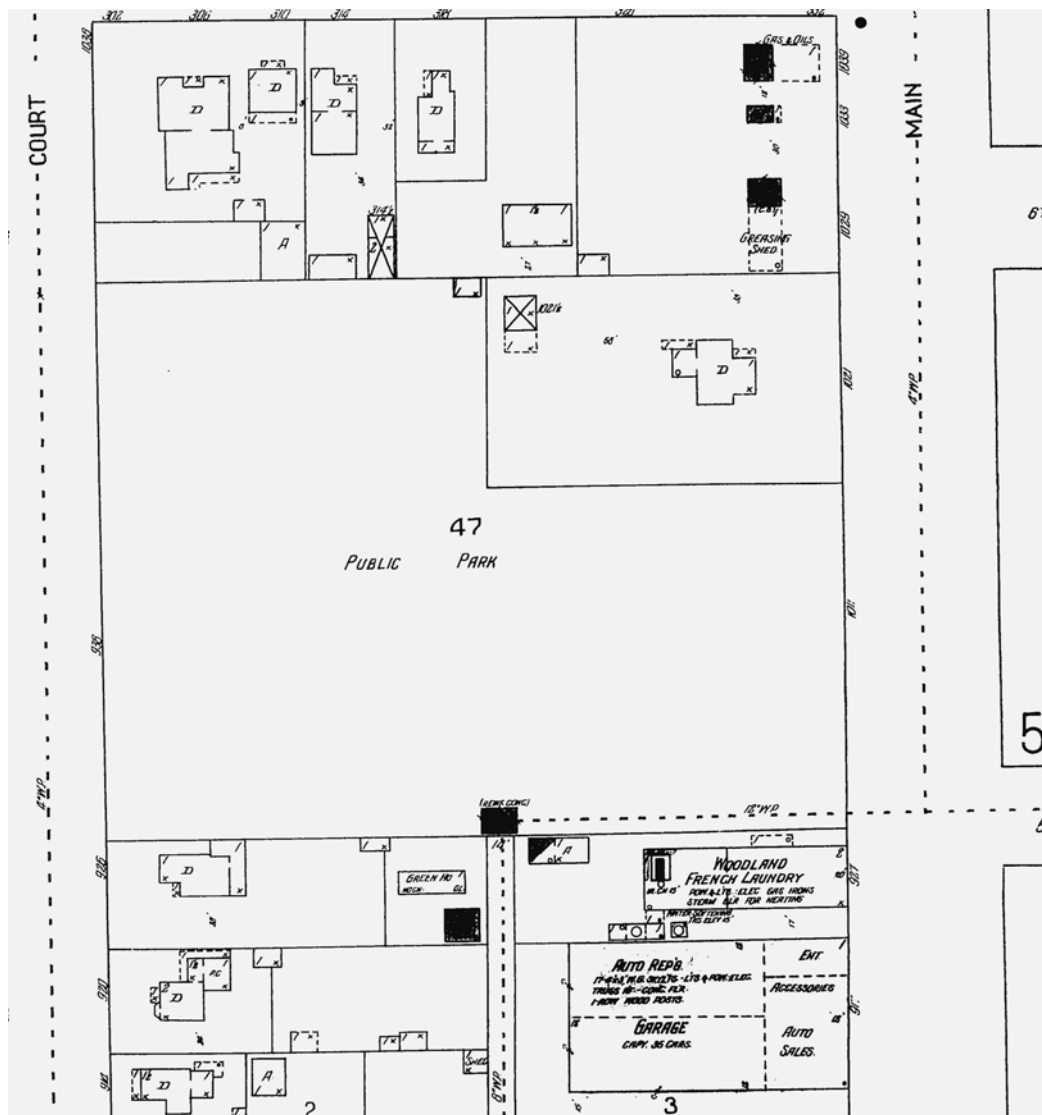


Figure 11: Sanborn Fire Insurance Map, Woodland, CA (Sheet 4) November 1926.

¹³ *Woodland Daily Democrat*, January 27, 1923.bid.

¹⁴ *Woodland Daily Democrat*. "Beautification of Woodland is Started." Woodland, California. March 17, 1925.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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***B10. Significance: (Continued):**

Freeman Park reflects a general movement in the United States referred to as "City Beautiful Movement." The 1890s and early years of the twentieth century were a turning point in American society. The economic system struggled to define itself and Americans through the language of consumption; social unrest and violence, results of economic depressions, disgust with corruption in government, and overcrowded urban centers erupted periodically throughout the era; and the agrarian way of life, so familiar and fundamental to American thought and self-image, was passing away into a nostalgic past. Historian Harold Faulkner observes that Americans witnessed the passing of the frontier and the rise of the United States to a position of world power and responsibility which was to make any return to her old isolation increasingly difficult, if not impossible. Old issues were dead or dying; sectional tension was no longer a force of much importance in politics, and efforts to revive it proved unavailing. Most important of all, the triumph of industry over agriculture was now assured. The Industrial Revolution, if not completed, had gone so far as to make turning back to the ways of a simpler agrarian society out of the question.¹⁵

Life had come to be lived, for many, in the city. Not only had population increased during the period 1860 to 1910 from 31.4 million to 91.9 million, but the percentage of Americans living in cities increased as well - by 1910, 46% lived in cities with populations of over 2,500.¹⁶ With population centering on urban areas, the questions of the city - crime, poverty, urban blight, and civic idealism - all came to the fore near the turn of the century.

The real consumers of the city's goods were not its residents; increasingly, with the advent of improved transportation and roadways, the middle and upper-middle class retreated from the cities into the suburbs, leaving the less well-to-do and the downright poverty-stricken to the quickly decaying urban center. The upper classes traveled into the city to attend to their business, consume the leisure activities contained therein, and the return to their comfortable and beautiful suburban homes. What they left behind in the cities is the subject of numerous Progressive reform movements throughout the period.

The reformers were concerned less with the poor of the cities than with their own fear of these growing urban masses. Their concern can be understood in the context of the social upheaval centered on the city during the Gilded Age, beginning with Chicago's Haymarket Riot of 1886 and followed by labor unrest just prior and just after the beginning of the 1893 depression - the Homestead strike of 1892 and the Pullman strike of 1894. The depression starting in 1893 lasted until 1897, its pain, division, and violence a memory fresh in the minds of Americans.

The reformers of urban America were generally middle and upper-middle class, whose concern was with the potential violence of those left in the cities. The lower classes these activists were attempting to control were living in squalid and significantly unhealthy conditions. The squalor and hopelessness of city life for immigrants and the poor throughout the country has been recounted numerous times by writers such as Theodore Dreiser, Stephen Crane, Riis, and Frank Norris. The middle and upper-class reformers who sought to remedy this situation did so, for the most part, out of their own fear. They had to make the assumption that the poverty-stricken were somehow morally, and by extension civically, deficient, a point of view quite in vogue at the time, with the continuing popularity of Darwin's theories of survival of the fittest and Spenser's translation of these ideas into the social realm.¹⁷

The most visible expression of this belief in the creation of moral and civic virtue in the urban population was created by the reformers of the City Beautiful movement. The movement was conceived as explicitly reform-minded; Daniel Burnham, a leading proponent of the movement, linked their efforts with Progressivism. A reform "of the landscape, he suggested, [would] complement the burgeoning reforms in other areas of society."¹⁸ While other reformers concentrated on improving sanitary conditions or opening missions, the City Beautiful leaders (upper-middle class, white, male), believed the emphasis should be on creating a beautiful city, which would in turn inspire its inhabitants to moral and civic virtue. "The reform movement in America, which had largely been concerned with corruption in local government, exploitation of the laboring classes by big business, improvement in housing conditions in large cities, and other social causes, quickly embraced the concept of the city beautiful as an American goal."¹⁹

¹⁵ "The City Beautiful Movement." <http://xroads.virginia.edu/~cap/citybeautiful/city.html>. Accessed September 2015.

¹⁶ Hines, Thomas S. "The Imperial Mall: The City Beautiful Movement and the Washington Plan of 1901-02." in *The Mall in Washington, 1791-1991*. Washington: National Gallery of Art, 1991:81.

¹⁷ Boyer, Paul S. *Urban Masses and Moral Order in America, 1820-1920*. Cambridge: Harvard University Press, 1978, vii.

¹⁸ Hines, 95.

¹⁹ Riis, Jacob A. *How the Other Half Lives*. New York: Charles Scribner's Sons, 1890:195.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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***B10. Significance: (Continued):**

Generally stated, the City Beautiful advocates sought to improve their city through beautification, which would have a number of effects: social ills would be swept away, as the beauty of the city would inspire civic loyalty and moral rectitude in the impoverished; American cities would be brought to cultural parity with their European competitors through the use of the European Beaux-Arts idiom; and a more inviting city center still would not bring the upper classes back to live, but certainly to work and spend money, in the urban areas. The premise of the movement was the idea that beauty could be an effective social control device.

Based on their fear, and a sincere sense of responsibility to improve the lives of the inner city poor, the City Beautiful reformers believed that "civic loyalty itself ... [could] provide the foundation stone" for a harmonious urban moral order.²⁰ Important as beauty was for itself, its role in environmental conditioning was never far from the minds of civic center advocates. The civic center's beauty would reflect the souls of the city's inhabitants, inducing order, calm, and propriety. Furthermore, the citizen's presence in the center, together with other citizens, would strengthen pride in the city and awaken a sense of community with fellow urban dwellers.²¹

The idiom the City Beautiful leaders used in their ideal civic center was the Beaux-Arts style, named for the famous Ecole des Beaux-Arts in Paris, which instructed artists and architects in the necessity of order, dignity, and harmony in their work. The first expression of this monumental style in the United States was found at the World's Columbian Exposition of 1893. The shimmering "White City," as the fair came to be known during that summer in Chicago, was a tour de force of early city planning and architectural cohesion. In the grand Court of Honor, architects, brought in from the East by Director of Construction Daniel H. Burnham of Chicago, put their Beaux-Arts training to use in the monumental and vaguely classical buildings, all of uniform cornice height, all decorated roughly the same, and all painted bright white.

Not only was the White City dignified and monumental, it was also well-run: there was no poverty and no crime, there were state-of-the-art sanitation and transportation systems, and the Columbian Guard kept everyone happily in their place. In contrast to the grey urban sprawl and blight of Chicago and other American cities, this seemed a utopia. The fair set American taste in architecture for at least the next 15 years, although some argue that its influence extends even farther into the twentieth century. The Beaux-Arts style was considered dignified and beautiful, and Americans embraced the order the style provided during a period of great disharmony and disorder in their country. The fair also introduced the concept of a monumental core or civic center, an arrangement of buildings intended to inspire in their beauty and harmony, as well as the beginnings of comprehensive city planning, although in many cases the city planning was directly only at the monumental core and public parks, rather than addressing zoning issues or affordable housing.

Freeman Park, although dedicated as a city park in 1921, remained marginally developed until the 1930s. On January 16, 1936, the *Woodland Democrat* reported that "work had started on the new park for the city." The notation in newspaper read:

Hopeful they will be given a break by the weatherman, a crew of WPA laborers was at work Thursday morning landscaping the old city dump at the east end of Court Street which is being made into a three-acre park. The ground will be leveled before the planting of shrubs and trees takes place. Much interest is being shown in the proposed target range which will occupy part of the park.²²

²⁰ Boyer, 252.

²¹ Wilson, William H. *The City Beautiful Movement*. Baltimore: Johns Hopkins University Press, 1989:92.

²² *Woodland Daily Democrat*, January 16, 1936:1.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):



Figure 12: Photograph of Freeman Park, circa 1940 with WPA landscaping (Courtesy Yolo County Archives).

Based upon a historic photograph (Figure 12), probably taken in the 1940s, Freeman Park had been improved by the Works Project Administration (WPA) with sidewalks, fluted lamp standards, a raised promenade with a fountain, a drinking fountain, concrete seating areas, and various shrubs and trees. The overall impression is "Neo-classical" landscape architecture popularized in the 1920s-1930s. The centrally located raised concrete promenade has been replaced with a gazebo in 2001, and the other improvements, such as the drinking fountain and concrete benches, no longer exist. In essence, virtually all of the WPA landscape features have been removed from the park and replaced with lawns, newer walkways, a gazebo, and restrooms. The tree canopy in the 1940s photograph does not appear to represent the trees in the park today, which include predominantly cedar and sycamore trees.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):



Figure 13: Aerial Photograph of Freeman Park, 1937, with the completed WPA landscape design (courtesy U.C. Davis Map Library).



Figure 14. Aerial Photograph of Freeman Park, 2015 (Google Earth)

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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***B10. Significance: (Continued):**

The Trustees of the Woodland School District leased the Freeman Park property to the City of Woodland from 1923 until at least 1943. On July 28, 2004 the Woodland Joint Unified School District quitclaimed to the City of Woodland all interest in the following described property, identified as Assessor Parcel Number 005-645-10:

Parcel One:

A part of Block #5, as shown by plat of said town on file and of record, in the Recorders Office of our county, being a part of the land conveyed by William B. Emery and Lucy Emery to J. J. Deming on the 1st day of October 1862, recorded in Book "Y" of Deeds on pages 180 & 181, which record is referred to for a more full description of the land hereby conveyed.

Commencing at the southeast corner of the said tract as the southwest corner of a tract owned by James M. Martin; running thence north four hundred and thirty-five feet; thence west one hundred and ninety-five feet; thence south four hundred and thirty-five feet; thence east one hundred and ninety-five feet to the place of beginning.

Parcel Two:

Commencing at a point in the center of Court Street in said town of Woodland at the southwest corner of land, owned and occupied by J. Chandler; running thence south two hundred thirty (230) feet; thence west one hundred seven (107) feet; thence north two hundred thirty (230) feet to the center of said Court Street; thence east along the center of said Court Street one hundred and seven (107) feet to the place of beginning. The same being a part of the land described in the deed of F. S. Bruman to M. Burber, recorded in Book "F" of Deeds, Page 582 records of said Yolo County.²³

As previously noted, today Freeman Park retains its historic configuration, however, the original and later WPA landscape features no longer exist, replaced by a contemporary gazebo, restrooms, walkways. The trees and planting appear to date from the last 50 years.

REGULATORY FRAMEWORK

NRHP Criteria

Criterion A: Event

Properties can be eligible for the National Register if they are associated with events that have made a significant contribution to the broad patterns of our history.

Criterion B: Person

Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past.

Criterion C: Design/Construction

Properties may be eligible for the National Register if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

²³ Yolo County Recorder's Office. Official Deeds, Book 38259, Page 1320. July 28, 2004.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):

Criterion D: Information Potential

Properties may be eligible for the National Register if they have yielded, or may be likely to yield, information important in prehistory or history. As the National Register points out, “when evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation - A, B, C, or D.” The rationale for judging a property's significance and, ultimately, its eligibility under the Criteria is its historic context and integrity. The use of historic context allows a property to be properly evaluated in a variety of ways. The key to determining whether the characteristics or associations of a particular property are significant is to consider the property within its proper historic context.²⁴

CEQA and CRHR Criteria

The regulatory framework for this historic resource study and the evaluation lies within the guidelines imposed for the California Environmental Quality Act (CEQA) and the California Register of Historic Resources (CRHR) under Public Resources Code section 5024.1. CEQA guidelines define a significant cultural resource as “a resource listed in or eligible for listing on the CRHR. A historical resource may be eligible for inclusion in the CRHR if it:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important to prehistory or history.

Even if a resource is not listed in, or determined eligible for listing in, the CRHR, the lead agency may consider the resource to be an “historical resource” for the purposes of CEQA provided that the lead agency determination is supported by substantial evidence (CEQA Guidelines 14 CCR 15064.5).

According to the state guidelines, a project with an effect that may cause a substantial adverse change in the significance of a historical resource or a unique archaeological resource is a project that may have a significant effect on the environment (14 CCR 15064.5[b]). CEQA further states that a substantial adverse change in the significance of a resource means the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired. Actions that would materially impair the significance of a historical resource are any actions that would demolish or adversely alter those physical characteristics of a historical resource that convey its significance and qualify it for inclusion in the CRHR or in a local register or survey that meet the requirements of PRC 5020.1(k) and 5024.1(g).

City of Woodland Standards for Historic Designation

In addition, the City of Woodland Sec. 12A-3-1. Standards for designation of historical landmarks, historical districts, and historical resources was taken into consideration. The standard is as follows:

(a) A building, structure, object, or particular place may be designated for preservation as a landmark if it meets one or more of the following criteria:

(1) Historical Importance. The building, structure, object, particular place, vegetation or geology, has character, interest of value, as part of the development, heritage or cultural characteristics of the city, state or nation; or is the site of an historic event with an effect upon society; or is identified with a person or group of persons who had some influence on society; or exemplifies the cultural, political, economic, social or historic heritage of the community.

²⁴ USDI, National Park Service. National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, n.d.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):

(2) Architectural Importance. The building, structure, object, or particular place exemplifies the environment of a group of people in an era of history characterized by distinctive architectural style; or embodies those distinguishing characteristics of an architectural type specimen; or is the work of an architect or master builder whose individual work has influenced the development of the area; or contains elements of architectural design, detail, materials or craftsmanship which represent a significant innovation.

(b) An area may be designated as an historical district which it includes at least two designated historical landmarks in such proximity that they create a setting historically or culturally significant to the local community, the state, or the nation, sufficiently distinguishable from other areas of the city to warrant preservation by such means. Such districts may include structures and sites that individually do not meet criteria for landmark status but which geographically and visually are located so as to be part of the setting in which the other structures are viewed.

(c) The city council shall approve and maintain a historical resources list. A building, structure, or object may be included on the list as a historical resource if, in the determination of the city council, it satisfies the historical preservation commission's historical resources inventory study list evaluation criteria. (Ord. No. 1004, § 2 (part); Ord. No. 1310, § 3 (part).)

INTEGRITY CRITERIA

Determining the significance of 1001 and 1017 Main Street is predicated on the property retaining a sufficient level of integrity in order to convey its historic significance. Integrity is defined by the National Park Service as follows:

Location

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

Design

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape. Design can also apply to districts, whether they are important primarily for historic association, architectural value, information potential, or a combination thereof. For districts significant primarily for historic association or architectural value, design concerns more than just the individual buildings or structures located within the boundaries. It also applies to the way in which buildings, sites, or structures are related: for example, spatial relationships between major features; visual rhythms in a streetscape or landscape plantings; the layout and materials of walkways and roads; and the relationship of other features, such as statues, water fountains, and archeological sites.

Setting

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historical role. It involves *how*, not just *where*, the property is situated and its relationship to surrounding features and open space.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):

Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is positioned in its environment can reflect the designer's concept of nature and aesthetic preferences.

The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as:

- Topographic features (a gorge or the crest of a hill);
- Vegetation;
- Simple manmade features (paths or fences); and
- Relationships between buildings and other features or open space.

These features and their relationships should be examined not only within the exact boundaries of the property, but also between the property and its *surroundings*. This is particularly important for districts.

Materials

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. Indigenous materials are often the focus of regional building traditions and thereby help define an area's sense of time and place.

A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant features must have been preserved. The property must also be an actual historic resource, not a recreation; a recent structure fabricated to look historic is not eligible. Likewise, a property whose historic features and materials have been lost and then reconstructed is usually not eligible (refer to Criteria Consideration E in Part VII: *How to Apply the Criteria Considerations* for the conditions under which a reconstructed property can be eligible.)

Workmanship

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques. Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery.

Feeling

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century. A grouping of prehistoric petroglyphs, unmarred by graffiti and intrusions and located on its original isolated bluff, can evoke a sense of tribal spiritual life.

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

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*B10. Significance: (Continued):

Association

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. For example, a Revolutionary War battlefield whose natural and manmade elements have remained intact since the 18th century will retain its quality of association with the battle. Because feeling and association depend on individual perceptions, their retention *alone* is never sufficient to support eligibility of a property for the National Register.

DETERMINATION OF INTEGRITY AND ELIGIBILITY

Location - Freeman Park (1001 Main Street) retains its original location.

Design - The design of Freeman Park has been altered by the removal of virtually all of its original landscape design elements, including those installed by the WPA in the 1930s.

Setting - The setting of Freeman Park has been altered through physical changes to the original park including new trees, lawns, etc.

Materials - The majority of the original materials associated with the 1920s through the 1930s at Freeman Park no longer exist.

Workmanship - The original workmanship of Freeman Park has been compromised by contemporary re-design and development of the park, including a gazebo and restrooms.

Feeling - The feeling of Freeman Park is diminished, due to the loss of the original park design and WPA features.

Association - The association of Freeman Park remains relatively good in that it still serves as a public park.

EVALUATION CRITERIA

Is Freeman Park (1001 Main Street) eligible for the NRHP? No.

Under NRHP Criterion A, Freeman Park played an important role in the cultural and recreational history of Woodland. Under NRHP Criterion B, the park is associated with the Freemans, a pioneer Woodland family who reportedly donated some of the land that became the park. Under Criterion C, other than the configuration of the park, the historic landscape design and furniture built by the WPA no longer exist. Under NRHP Criterion D, there is some evidence that the park site was once part of the Woodland City Dump. However, it is likely that the refuse was removed prior to the development of the park and prior to construction of the school. Because the park lacks integrity of design, workmanship, materials, association, and, to some degree, feeling, the property does not appear to be eligible for the NRHP under any of the criteria.

Is Freeman Park (1001 Main Street) eligible for CEQA and the CRHR? No.

Under CRHR Criterion 1, Freeman Park played an important role in the cultural and recreational history of Woodland. Under CRHR Criterion 2, the park is associated with the Freemans, a pioneer Woodland family who reportedly donated some of the land that became the park. Under CRHR 3, other than the configuration of the park, the historic landscape design and furniture built by the WPA no longer exist. Under CRHR Criterion 4, there is some evidence that the park site was once part of the Woodland City Dump. However, it is likely that the refuse was removed prior to the development of the park and prior to construction of the school. Because the park lacks integrity of design, workmanship, materials, association, and, to some degree, feeling, the property does not appear to be eligible for the CRHR under any of the criteria.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

NRHP Status Code: 6Z

***B10. Significance: (Continued):**

Is Freeman Park (1001 Main Street) a significant resource per the City of Woodland Sec. 12A-3-1-Standards for designation of historical landmarks, historical districts and historical resources? No.

In order for any historical property to be designated, it must retain adequate integrity to convey its significance. Unfortunately, while Freeman Park has commemorative importance, being associated with the Freeman family, it no longer retains adequate integrity in order to convey its historic significance as a "historic park." One of the most important aspects of the park is its association with the WPA during the 1930s. Prior to that time, the park was developed, but not to its full potential nor with a specific design in mind. The WPA changed that with a central promenade and fountain, concrete walls with Neo-Classic balustrades, walkways, a drinking fountain, and the planting of trees, shrubs, and lawns. While the trees and lawns are consistent with the original concept, the design elements of the WPA no longer exist. Instead the park includes a centrally located gazebo installed where the WPA fountain once sat and a restroom. During the past few decades contemporary infill has occurred around the park, including in the past year the completion of the new County Courthouse across the street. Therefore, the park does not appear to warrant historic designation as a landmark, individual property, or historic district.

SIGNIFICANCE SUMMARY STATEMENT

Freeman Park, located at 1001 Main Street, Woodland, California, does not warrant designation as a significant historic resource under the NRHP, CRHR, as a City of Woodland Landmark individual resource, or as part of a historic district. This finding is based upon the property's lack of integrity, particularly its workmanship, design, and materials.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

NRHP Status Code: 6Z

B12. References (Continued):

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BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1001 Main Street

NRHP Status Code: 6Z

B12. References (Continued):

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Maps

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State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #: _____
HRI # _____
Trinomial _____
NRHP Status Code: _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

- P1. Other Identifier:** Woodland Toy Library
- *P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County:** Yolo
- b. USGS 7.5' Quadrangle:** Woodland, CA **Date:** 1952, revised 1981
- c. Address:** 1017 Main Street **City:** Woodland **Zip:** 95695
- d. UTM:** N/A
- e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate):** The subject property is located on the north side of Main Street, approximately 210' west of 6th Street and approximately 470' east of 4th Street, bordered on the west by Freeman Park, and on the east by the Budget Inn and Rainbow Sales glass company. APN 005-645-11.

***P3a. Description:** The subject property consists of a one-story, brick masonry, "L" shaped building that faces south towards Main Street. The north half of the building is wood-frame with stucco exterior cladding. Besides an enclosed area, the rear addition includes open bays for automobiles that face a narrow paved driveway. Character defining features of the building include a nearly flat hipped roof clad with rolled asphalt roofing, brick masonry exterior walls, wide overhanging roof eaves with fascia and rain gutters, a slight inset front entry porch offset to the left of the building facing Main Street, and double-hung wood-sash windows set in plain architraves. From left to right the south or front elevation of the building features a wood-sash window with a steel security screen, a contemporary paneled wood entry door (facing west), two more wood-sash windows, and a second contemporary entry door with a aluminum screen door in front. The main access is via the left entry door with a concrete stoop and roof overhang. The west elevation features a single wood-sash window and a third replacement wood paneled entry door. Above the door is a cloth awning and a sign that reads "TOY LIBRARY." The west elevation continues to the north with plain stucco walls to its termination near the existing restrooms for Freeman Park. The east elevation of the building features five wood-sash windows and a wall vent. The east elevation nearly abuts the adjacent Budget Inn, a concrete walkway dividing the two buildings. The northeast corner of the building makes a slight return to the west before continuing to the north as part of the stucco clad carports. The rear or north elevation of the original brick building is covered by the wood-frame stucco addition, terminating with plain partially re-stuccoed walls lacking any fenestration. The rear carport is visible from the north through a locked chain link fence and driveway.

***P3b. Resource Attributes:** HP14 former government building; HP15 Educational building (library)

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: View looking north at 1017 (Woodland Toy Library) across Main Street.

***P6. Date Constructed/Age and Sources:** ☒ Historic Constructed circa 1931, according to City of Woodland records.

***P7. Owner and Address:** City of Woodland, 300 First Street, Woodland, CA 95695.

***P8. Recorded by:** Dana E. Supernowicz, Architectural Historian, Historic Resource Associates, 2001 Sheffield Drive, El Dorado Hills, CA 95762.

***P9. Date Recorded:** September 12, 2015.

***P10. Type of Survey:** ☒ Architectural

***P11. Report Citation:** Historical Resource Analysis Study of 1001 and 1017 Main Street, Woodland, Yolo County, California 95695. Prepared for the City of Woodland, 300 First Street, Woodland, Yolo County, CA 95695. Prepared by Historic Resource Associates, 2001 Sheffield Drive, El Dorado Hills, CA 95762. September 2015.

***Attachments:** Building, Structure, and Object Record, Photograph Record.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

- B1. Historic Name:** California State Department of Motor Vehicles/Highway Patrol Office
B2. Common Name: Woodland Toy Library
B3. Original Use: State government office
B4. Present Use: City library
***B5. Architectural Style:** Brick masonry government office
***B6. Construction History:** Based upon historic photos, maps, deeds, and design drawings, the subject property was built in 1936-37. Sometime after 1949-50, a rear addition was added that included 3 vehicle bays.
***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:**
***B8. Related Features:** Freeman Park, which dates to the 1920s lies immediately to the west of the subject property.
B9a. Architect: Alfred A. Eichler **B9b. Builder:** State of California
***B10. Significance: Theme:** Depression Era State Government Office Building **Area:** Woodland
Period of Significance: 1936-1937 **Property Type:** government building **Applicable Criteria:** A, B, C, and D

The historic context for the subject property lies principally in the expansion of branch offices owned and operated by the California Department of Motor Vehicles during the Great Depression of the 1930s. The subject property, located on the east side of Woodland's historic Main Street and bordered on the east by 6th Street, also represents expanding governmental services in the city as well as the county. The building was constructed on a irregularly-shaped corner parcel that once was developed with a late-nineteenth century Victorian residence. The residence was likely demolished in the 1950s and replaced in the 1960s with a motel, today referred to as the Budget Inn. Immediately to the west is Freeman Park, developed in the 1920s with further improvements during the 1930s (refer to BSO, Page 2 of 15).

B11. Additional Resource Attributes: None

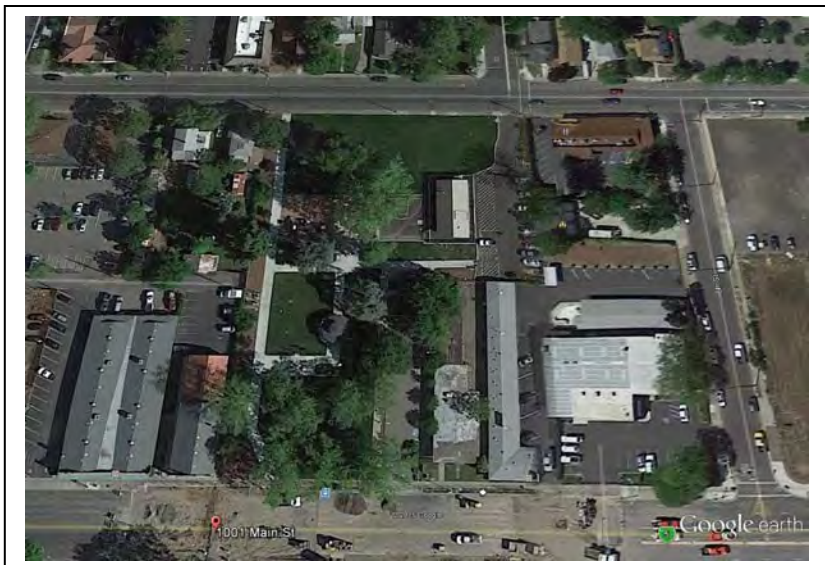
B12. References: Adams, Steven. *The Arts and Crafts Movement*. London: Quintet Publishing Limited. 1987; American Studies at the University of Virginia Website. "The City Beautiful Movement." <http://xroads.virginia.edu/~cap/citybeautiful/city.html>. Accessed September 2015; Ames, David L. "Draft Guidelines for Evaluating America's Historic Suburbs for the National Register of Historic Places." Unpublished manuscript. Washington D.C.: U.S. Department of the Interior, National Park Service. 1998; Anderson, Timothy, Eudorah M. Moore, and Robert W. Winter, eds. *California Design 1910*. Salt Lake City: Peregrine Smith Books. 1980; Boyer, Paul S. *Urban Masses and Moral Order in America, 1820-1920*. Cambridge: Harvard University Press. 1978; California Highway Patrol Website. "History of the California Highway Patrol." <https://www.chp.ca.gov/home/about-us/the-history-of-the-california-highway-patrol>, Accessed September 2015; City of Woodland. "A Brief History of Woodland." Excerpted from the 1996 Woodland General Plan. www.cityofwoodland.org. 1996 (refer to BSO, Page 14 of 15).

B13. Remarks:

B14. Evaluator: Dana E. Supernowicz, Historic Resource Associates, 2001 Sheffield Dr., El Dorado Hills, CA 95762.

Date of Evaluation: September 2015

AERIAL PHOTOGRAPH 2015 (Google Earth)



(This space reserved for official comments.)

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

Just before the turn of the century a new mode of transportation was seen and heard on the California landscape. It made an enormous racket, like a rapidly popping string of firecrackers. It spewed smoke and stirred giant clouds of dust. It thrilled youngsters of the day and frightened animals. Some referred to it as a "horseless carriage." Others called it an "automobile." It was to have a more profound and greater impact upon the state than any other single invention. It would eventually intrude into all California life, causing deep and lasting changes.

California's first half century of automobile legislation portrays a people striving to understand and to cope with their new motor car environment. Essentially, Californians were anxious to police motorists and protect themselves with a formidable barrier of "rules of the road." In 1901, California laws authorized cities and counties to license bicycles, tricycles, automobile carriages, carts, and similar wheeled vehicles. By 1905, this task was transferred to the Secretary of State for a more statewide and uniform vehicle registration system. Owners paid a \$2 fee and were issued a circular tag that had to be conspicuously displayed in the vehicle. In addition, they had to display the license number on the rear of the vehicle in 3-inch-high black letters on a white background. Some owners also painted numbers on headlamp lenses. Vehicle registration prerequisites included satisfactory lamps, good brakes, and either a bell or a horn. The secretary of state handled vehicle registrations from 1905 until 1913, when the legislature gave the task to the state treasurer. At the same time, the Engineering Department (predecessor of the Department of Public Works and forerunner of today's Department of Transportation) became custodian of vehicle records.

The first Department of Motor Vehicles in California was created in 1915 with enactment of Senator E.S. Birdsall's "Vehicle Act of 1915." Vehicle registrations that year had climbed to 191,000. In 1921, the powers and duties of the Department of Motor Vehicles (DMV) were transferred to the Division of Motor Vehicles, part of the newly created Department of Finance. The move reflected recognition of the division's revenue producing status. In 1931, the DMV became a stand-alone state department and has remained in this status to the present day.¹

On August 14, 1929, the California Highway Patrol (CHP) was created through an act of the Legislature. The new law gave Statewide authority to the Highway Patrol to enforce traffic laws on county and State highways - a responsibility which remains in effect today, along with many additional functions undreamed of in 1929. The primary mission of the California Highway Patrol is "the management and regulation of traffic to achieve safe, lawful, and efficient use of the highway transportation system." As a major statewide law enforcement agency, the secondary mission of the Department is to assist in emergencies exceeding local capabilities. The CHP also provides disaster and lifesaving assistance. In 1930, the CHP established its first academy training class at the old State Fairgrounds in Sacramento.

During its first ten years, the CHP successfully grew into a highly respected, effective traffic safety force of 730 uniformed personnel. After World War II, the legislature decided to consolidate and reorganize the Patrol's enforcement and administrative responsibilities. In October 1947, the Department of the California Highway Patrol was established and the position of commissioner was created to head the new Department. The span of enforcement responsibility has expanded dramatically and the CHP has continued to grow and change. Today's responsibilities include truck and bus inspections, air operations (both airplanes and helicopters) and vehicle theft investigation and prevention. The 1995 merger with the California State Police also increased the areas of responsibility to include protection of state property and employees, the Governor, and other dignitaries.²

The founding of the California Highway Patrol really was an evolution more than a birth – one that started in 1911 with the hiring of the first rural traffic officer by San Mateo County. It was formalized in 1929 with the passage of a bill to create a formal Highway Patrol to be part of the Division of Motor Vehicles, and continued through 1947, when it earned the status of separate department. Despite that, the obvious key date is August 14, 1929. That is when Senate Bill 869, which had been signed into law by then Governor C.C. Young, became a law that created a statewide rural traffic force. Only 280 men comprised the initial patrol. The impetus for organizing came in 1915, when the first statewide traffic laws were printed in pamphlet form.

¹ State of California. "CA Department of Motor Vehicles History." <https://www.dmv.ca.gov/portal/dmv/detail/about/profile/history>. Accessed September 2015.

² California Highway Patrol. "History of the California Highway Patrol." <https://www.chp.ca.gov/home/about-us/the-history-of-the-california-highway-patrol>, Accessed September 2015.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

Most counties hired officers to enforce these laws. By 1917, four inspectors were visiting counties to train local officers – an effort that was not often received cordially. The system was disrupted in 1923, when the state Supreme Court ruled it was illegal for counties to appoint traffic officers and pay them from county treasuries. So the state legislature created a program of dual control, in which the state appointed and paid officers from lists submitted by county supervisors. However, since those officers were still controlled by counties, there was little uniformity of approach to problems. Meanwhile, by 1925 the vehicle registration had grown to almost half a million. In 1927, the state Senate appointed an interim committee to study the issues. The result was the formation of the patrol in 1929. That didn't entirely solve the dilemma, unfortunately. A few county boards – most notably Los Angeles county – elected to maintain separate traffic squads. It finally became a truly statewide entity when the Los Angeles Motor Patrol was absorbed on July 1, 1932. The final piece of the puzzle came on October 1, 1947, when the Department of California Highway Patrol was created – to be headed by a commissioner appointed by the governor.³

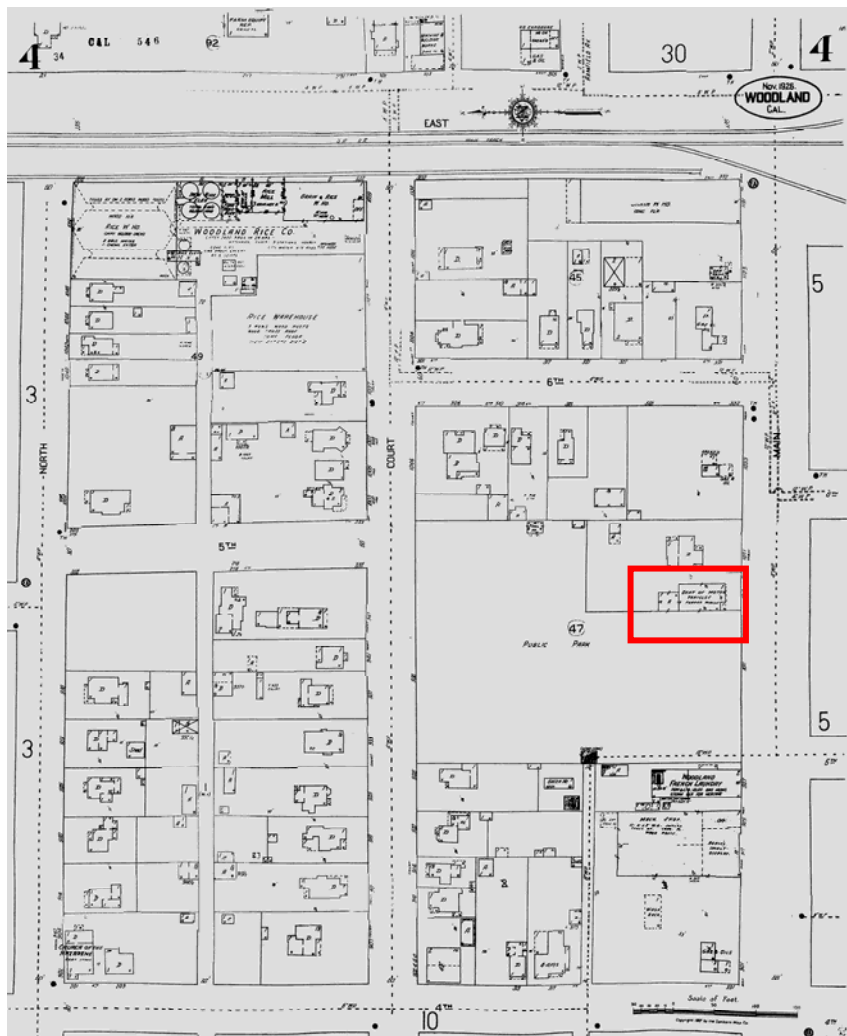


Figure 1: Sanborn Fire Insurance Map, Woodland, CA (Sheet 4) November 1926-revised July 1949. The DMV/Highway Patrol Office is highlighted in red. Note the original office configuration included a single-car garage in the rear.

³ Spike Helmick. "Formation of the California Highway Patrol." <http://www.spike-helmick.com/Highway-Patrol/>, Accessed September 2015.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

Equally important as the functionality of the DMV and California Highway Patrol were the architects who designed the wide variety of state-owned buildings. One in particular deserves special recognition - Alfred W. Eichler. Born in Missouri on September 7, 1895, Eichler spent most of his childhood in San Francisco. He studied at the Ecole des Beaux Arts Institute of Design in Paris, France. Out of school in 1924, Eichler partnered with architect Everett Radcliff Harman to form Harman and Eichler, Architects in Los Angeles, California. A year later, in 1925, Eichler began to work for the California Department of Public Works in the Division of Architecture. By 1949, he was promoted to a supervising architect. He retired in 1963. Alfred W. Eichler died on November 27, 1977, at the age of 82.⁴

During his employment with the State of California, Eichler designed hundreds of buildings, as well as bridges. His designs varied from one project to another, including Modern, Art Deco, Spanish Revival or Mediterranean, and Classical. He was particularly active during the Great Depression of the 1930s working with WPA staff architects. In 1935, Eichler designed 1017 Main Street, the Woodland Department of Motor Vehicles Office (Figure 2).

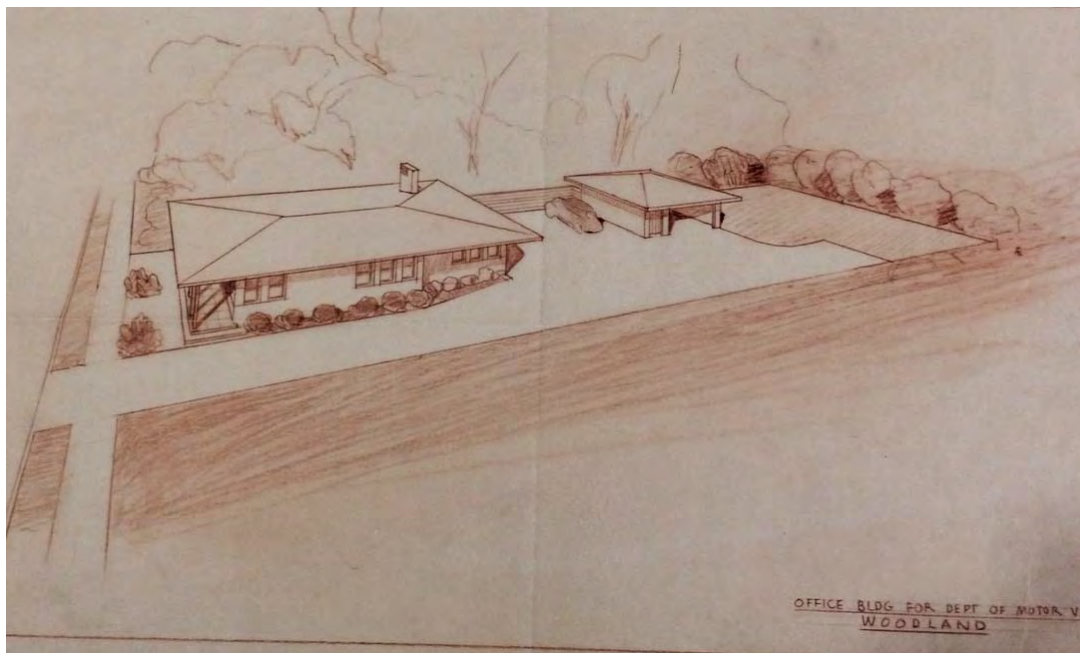


Figure 2: Eichler design for the Woodland DMV Office, 1935 (Courtesy California State Archives, Department of Public Works, Division of Architecture, Design Section).

The rendering of the DMV office carried out by Eichler in 1935 does not entirely represent the building that was ultimately built in Woodland. The main difference appears to be that the front facade does not have such a prominent roofline extending towards Main Street, creating a veranda. Also, the rear garage was either never built or incorporated into the late carports. Another building that bears a striking resemblance to 1017 Main Street was the Marysville DMV office, designed by Eichler in 1936 (Figure 3). The Marysville DMV and Highway Patrol Office exhibited a similar massing and arrangement of doors and windows as the Woodland DMV and Highway Patrol Office. Both buildings had a single garage in the rear.

⁴ Online Archives of California Website. "Finding Aid for the Alfred Eichler Papers, circa 1914-circa 1963." http://www.oac.cdlib.org/findaid/ark:/13030/c8cv4grq/entire_text/, Accessed September 2015.

BUILDING, STRUCTURE, AND OBJECT RECORD

B12. Significance (Continued):



Figure 3: Eichler design for the Marysville DMV and Highway Patrol Office, 1936 (Courtesy California State Archives, Dept. of Public Works, Division of Architecture, Design Section, F3274.206).

Figures 4 and 5 depict two of Eichler's more elaborate designs for DMV and Highway Patrol Offices in the mid-1930s.

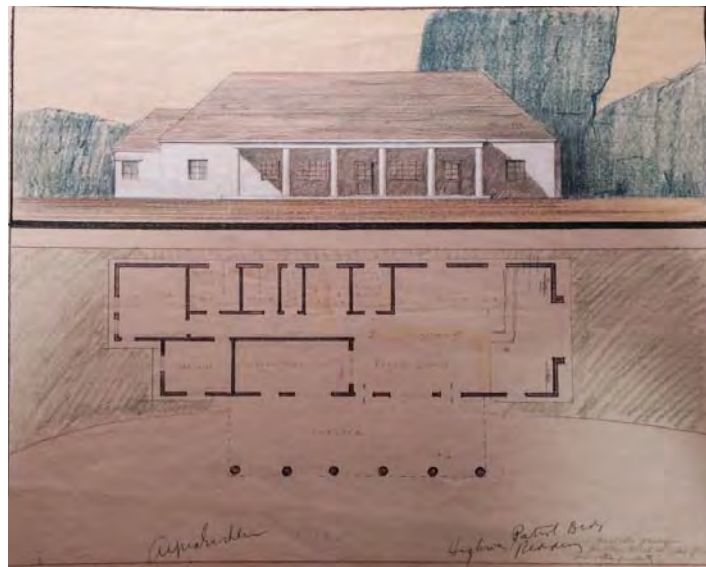


Figure 4: Eichler design for the Redding Highway Patrol Office, 1936 (Courtesy California State Archives, Dept. of Public Works, Division of Architecture, Design Section).

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

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B12. Significance (Continued):



*Figure 5: Eichler design for the Pasadena Highway Patrol Office, 1936
(Courtesy California State Archives, Dept. of Public Works,
Division of Architecture, Design Section).*

With the 1931 stand-alone status of the DMV as a formal department, new offices were planned for various cities throughout California. Architectural designs were prepared under the auspices of the California State Architect's office, and through funds secured through appropriations for each fiscal year.



Figure 6: Former DMV office, 411 N. Hunter Street, Stockton, CA.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

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B12. Significance (Continued):



Figure 7: Former shared DMV and Highway Patrol Office, San Rafael, CA, during the flood of 1945.



Figure 8: 1960s era DMV Office, Pasadena, CA.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

The Woodland, Marysville, and Stockton DMV/Highway Patrol offices were built during the Great Depression, a period of time when the state incurred budget shortfalls and funding was tempered by the location and function of the building. Certainly the Woodland and Marysville offices were designed largely for their function and minimal cost to construct. Exterior walls and fenestration were plain, lacking any ornamentation or unique architectural features.

The functionality or usefulness of the Woodland office gradually declined after World War II, largely due to the increase of people driving automobiles in California, increased demand for licenses, and the centralization of the California Highway Patrol in Sacramento. On April 1, 1974 the State of California, through the acting Director of General Services, quitclaimed to the City of Woodland the following described property in Woodland, Yolo County, California:

Commencing at a point in the north line of Main Street, said point being located 63.5 feet west of the southwest corner of Block 2 of Elliot's Eastern Addition to the City of Woodland; thence west along the north line of Main Street 50 feet, more or less, to the southeast corner of a tract of land now or formerly owned by Woodland School District; thence north along the east line of the land of the Woodland School District 200.05 feet to a tract of land now or formerly owned by Woodland School District; thence along said line east and parallel to the north line of Main Street, 50 feet to a point; thence south 200.05 feet, more or less, to the point of commencement.⁵

The conveyance was subject to the express condition that the real property conveyed be used only for park and recreation purposes for a period of twenty-five years. The property conveyed was the southeast corner of the land at Freeman Park located at 1017 Main Street. As result of the conveyance, the former Woodland DMV/Highway Patrol office would be adapted in the 1970s to serve the City of Woodland as the Woodland Toy Library over the past four decades.

REGULATORY FRAMEWORK

NRHP Criteria

Criterion A: Event

Properties can be eligible for the National Register if they are associated with events that have made a significant contribution to the broad patterns of our history.

Criterion B: Person

Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past.

Criterion C: Design/Construction

Properties may be eligible for the National Register if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

⁵ Yolo County Recorder's Office. Official Deeds, Book 1101, Page 295-296. April 1, 1974.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

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B12. Significance (Continued):

Criterion D: Information Potential

Properties may be eligible for the National Register if they have yielded, or may be likely to yield, information important in prehistory or history. As the National Register points out, “when evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation - A, B, C, or D.” The rationale for judging a property’s significance and, ultimately, its eligibility under the Criteria is its historic context and integrity. The use of historic context allows a property to be properly evaluated in a variety of ways. The key to determining whether the characteristics or associations of a particular property are significant is to consider the property within its proper historic context.⁶

CEQA and CRHR Criteria

The regulatory framework for this historic resource study and the evaluation lies within the guidelines imposed for the California Environmental Quality Act (CEQA) and the California Register of Historic Resources (CRHR) under Public Resources Code section 5024.1. CEQA guidelines define a significant cultural resource as “a resource listed in or eligible for listing on the CRHR. A historical resource may be eligible for inclusion in the CRHR if it:

1. Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important to prehistory or history.

Even if a resource is not listed in, or determined eligible for listing in, the CRHR, the lead agency may consider the resource to be an “historical resource” for the purposes of CEQA provided that the lead agency determination is supported by substantial evidence (CEQA Guidelines 14 CCR 15064.5).

According to the state guidelines, a project with an effect that may cause a substantial adverse change in the significance of a historical resource or a unique archaeological resource is a project that may have a significant effect on the environment (14 CCR 15064.5[b]). CEQA further states that a substantial adverse change in the significance of a resource means the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired. Actions that would materially impair the significance of a historical resource are any actions that would demolish or adversely alter those physical characteristics of a historical resource that convey its significance and qualify it for inclusion in the CRHR or in a local register or survey that meet the requirements of PRC 5020.1(k) and 5024.1(g).

City of Woodland Standards for Historic Designation

In addition, the City of Woodland Sec. 12A-3-1. Standards for designation of historical landmarks, historical districts, and historical resources was taken into consideration. The standard is as follows:

(a) A building, structure, object, or particular place may be designated for preservation as a landmark if it meets one or more of the following criteria:

(1) Historical Importance. The building, structure, object, particular place, vegetation or geology, has character, interest of value, as part of the development, heritage or cultural characteristics of the city, state or nation; or is the site of an historic event with an effect upon society; or is identified with a person or group of persons who had some influence on society; or exemplifies the cultural, political, economic, social or historic heritage of the community.

⁶ USDI, National Park Service. National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, n.d.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

(2) Architectural Importance. The building, structure, object, or particular place exemplifies the environment of a group of people in an era of history characterized by distinctive architectural style; or embodies those distinguishing characteristics of an architectural type specimen; or is the work of an architect or master builder whose individual work has influenced the development of the area; or contains elements of architectural design, detail, materials or craftsmanship which represent a significant innovation.

(b) An area may be designated as an historical district which it includes at least two designated historical landmarks in such proximity that they create a setting historically or culturally significant to the local community, the state, or the nation, sufficiently distinguishable from other areas of the city to warrant preservation by such means. Such districts may include structures and sites that individually do not meet criteria for landmark status but which geographically and visually are located so as to be part of the setting in which the other structures are viewed.

(c) The city council shall approve and maintain a historical resources list. A building, structure, or object may be included on the list as a historical resource if, in the determination of the city council, it satisfies the historical preservation commission's historical resources inventory study list evaluation criteria. (Ord. No. 1004, § 2 (part); Ord. No. 1310, § 3 (part).)

INTEGRITY CRITERIA

Determining the significance of 1001 and 1017 Main Street is predicated on the property retaining a sufficient level of integrity in order to convey its historic significance. Integrity is defined by the National Park Service as follows:

Location

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

Design

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape. Design can also apply to districts, whether they are important primarily for historic association, architectural value, information potential, or a combination thereof. For districts significant primarily for historic association or architectural value, design concerns more than just the individual buildings or structures located within the boundaries. It also applies to the way in which buildings, sites, or structures are related: for example, spatial relationships between major features; visual rhythms in a streetscape or landscape plantings; the layout and materials of walkways and roads; and the relationship of other features, such as statues, water fountains, and archeological sites.

Setting

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historical role. It involves *how*, not just *where*, the property is situated and its relationship to surrounding features and open space.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is positioned in its environment can reflect the designer's concept of nature and aesthetic preferences.

The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as:

- Topographic features (a gorge or the crest of a hill);
- Vegetation;
- Simple manmade features (paths or fences); and
- Relationships between buildings and other features or open space.

These features and their relationships should be examined not only within the exact boundaries of the property, but also between the property and its *surroundings*. This is particularly important for districts.

Materials

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. Indigenous materials are often the focus of regional building traditions and thereby help define an area's sense of time and place.

A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant features must have been preserved. The property must also be an actual historic resource, not a recreation; a recent structure fabricated to look historic is not eligible. Likewise, a property whose historic features and materials have been lost and then reconstructed is usually not eligible (refer to Criteria Consideration E in Part VII: *How to Apply the Criteria Considerations* for the conditions under which a reconstructed property can be eligible.)

Workmanship

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques. Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery.

Feeling

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century. A grouping of prehistoric petroglyphs, unmarred by graffiti and intrusions and located on its original isolated bluff, can evoke a sense of tribal spiritual life.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

Association

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. For example, a Revolutionary War battlefield whose natural and manmade elements have remained intact since the 18th century will retain its quality of association with the battle. Because feeling and association depend on individual perceptions, their retention *alone* is never sufficient to support eligibility of a property for the National Register.

DETERMINATION OF INTEGRITY AND ELIGIBILITY

Location - The former DMV/Highway Patrol Office retains its original location.

Design - The DMV/Highway Patrol Office has largely retained its original design with the exception of additions to the original structure in the rear, which included adding carports after 1950.

Setting - During the 1950s, a motel was built on the site of a nineteenth century residence east of the DMV/Highway Patrol Office, altering the original setting, which once had a much larger setback to the east.

Materials - With the exception of the addition to the rear of the former DMV/Highway Patrol Office, most of its original materials still remain.

Workmanship - The workmanship of the former DMV/Highway Patrol Office remains largely intact.

Feeling - The overall feeling of the former DMV/Highway Patrol Office is relatively good.

Association - The association of the former DMV/Highway Patrol Office is diminished, due to its abandonment as a state office and later use as a toy library.

EVALUATION CRITERIA

Is the former DMV/Highway Patrol Office (1017 Main Street) eligible for the NRHP? No.

1017 Main Street represents a very austere former state-owned office used by the DMV/Highway Patrol from 1936-37 through the 1960s. The building was designed by a prolific California State Architect, Alfred W. Eichler. Because Eichler's career with the state lasted for almost five decades, he was instrumental in designing hundreds of buildings in the state, many of which still remain. With exception of some modest door replacements and a large rear addition (carport), the building retains good integrity. Under NRHP Criterion A, the DMV/Highway Patrol office played an important role in the acquisition of drivers licenses and car registration and served as a branch office for the highway patrol. This association, however, is not well represented in any documentation, which suggests its value to the public was no lesser or greater than other similar offices covering the state, with the main office in Sacramento. The value of the office appears to have diminished after World War II, due to proliferation of automobilists and the size of the office. The centralization of the highway patrol in Sacramento also led to the eventual abandonment of the office. Therefore, the DMV/Highway Patrol Offices does not appear to be significant under NRHP Criterion A. Under NRHP Criterion B, no documentation exists to connect the office to a person or persons of significance locally, regionally, or statewide. Under Criterion C, although the office was designed by Alfred A. Eichler, a renowned California architect, Eichler was responsible for numerous other office buildings of much more importance, both in their architectural design and function. He was also the designer of the historic Tower Bridge in Sacramento, which is listed on the NRHP. The architectural design of the building, principally a rectangular brick box, does not have important artistic merit or a high degree of workmanship. Therefore, the DMV/Highway Patrol Office does not appear to eligible for the NRHP under Criterion C. The subject property has no information or scientific data potential under NRHP Criterion D.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. Significance (Continued):

Is the former DMV/Highway Patrol Office (1017 Main Street) eligible for CEQA and the CRHR? No.

1017 Main Street represents a very austere former state-owned office used by the DMV/Highway Patrol from 1936-37 through the 1960s. The building was designed by a prolific California State Architect, Alfred W. Eichler. Because Eichler's career with the state last for almost five decades, he was instrumental in designing hundreds of buildings in the state, many of which still remain. With the exception of some modest door replacements and a large rear addition (carport), the building retains good integrity. Under NRHP Criterion A, the DMV/Highway Patrol office played an important role in the acquisition of drivers licenses and car registration and served as a branch office for the highway patrol. This association, however, is not well represented in any documentation, which suggests its value to the public was no lesser or greater than other similar offices covering the state, with the main office in Sacramento. The value of the office appears to have diminished after World War II, due to proliferation of automobilists and the size of the office. The centralization of the highway patrol in Sacramento also led to the eventual abandonment of the office. Therefore, the DMV/Highway Patrol Offices does not appear to be significant under CRHR Criterion 1. Under CRHR Criterion 2, no documentation exists to connect the office to a person or persons of significance locally, regionally, or statewide. Under CRHR Criterion 3, although the office was designed by Alfred A. Eichler, a renowned California architect, Eichler was responsible for numerous other office buildings of much more importance, both in their architectural design and function. He was also the designer of the historic Tower Bridge in Sacramento, which is listed on the CRHR and NRHP. The architectural design of the building, principally a rectangular brick box, does not have important artistic merit or a high degree of workmanship. Therefore, the DMV/Highway Patrol Office does not appear to eligible for the CRHR under Criterion 3. The subject property has no information or scientific data potential under CRHR Criterion 4.

Is the former DMV/Highway Patrol Office (1017 Main Street) a significant resource per the City of Woodland Sec. 12A-3-1- Standards for designation of historical landmarks, historical districts and historical resources? No.

In order for any historical property to be designated, it must retain adequate integrity to convey its significance. The former State DMV/Highway Patrol Office does retain good integrity. Built in 1936-37 and used as a state office through the 1960s, the building was designed by a prolific California State Architect, Alfred W. Eichler. Because Eichler's career with the state last for almost five decades, he was instrumental in designing hundreds of buildings in the state, many of which still remain. The DMV/Highway Patrol office played an important local role for citizens to obtain driver's licenses and register vehicles. For a time the building also served as a small branch office for the California Highway Patrol. This association, however, is not well represented in any documentation, which suggests its value to the public was no lesser or greater than other similar offices covering the state, with the main office in Sacramento. The value of the office appears to have diminished after World War II, due to proliferation of automobilists and the size of the office. The centralization of the highway patrol in Sacramento also led to the eventual abandonment of the office. The architectural design of the building, principally a rectangular brick box, does not have important artistic merit or a high degree of workmanship. Nor does the building represent a significant element to the local or county governmental history of Woodland, as does the historic County Courthouse. Therefore, the former DMV/Highway Patrol Office does not appear to warrant historic designation as a landmark, individual property, or historic district.

SIGNIFICANCE SUMMARY STATEMENT

The Woodland Branch of the DMV/California Highway Patrol, located at 1017 Main Street does not warrant designation as a significant historic resource under the NRHP, CRHR, as a City of Woodland Landmark individual resource, or as part of a historic district.

BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. References (Continued):

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BUILDING, STRUCTURE, AND OBJECT RECORD

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*Resource Name or #: (Assigned by recorder) 1017 Main Street

NRHP Status Code: 6Z

B12. References (Continued):

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PHOTOGRAPH RECORD

1001 and 1017 Main Street, Woodland, California
September 2015



Photograph 1: View from Main Street looking northeast towards 1017 Main Street (Woodland Toy Library), formerly the California State Department of Motor Vehicles (DMV) and Highway Patrol Office.



Photograph 2: View looking north at the front or south facade of 1017 Main Street.



Photograph 3: View looking east at the west facade of 1017 Main Street and the main entrance to the Woodland Toy Library.



Photograph 4: View looking south at the east elevation of 1017 Main Street with the new County Courthouse in the background of the photograph.



Photograph 5: View looking east down Main Street with 1017 Main Street on the left.



Photograph 6: View looking north at Freeman Park restrooms and 1017 Main Street on the right.



Photograph 7: View of the right front facade of 1017 Main Street showing brick and window detail.



Photograph 8: View looking northwest at the left front facade of 1017 Main Street.



***Photograph 9: View looking north at the east elevation of 1017 Main Street.
The building on the right is the Budget Inn, located at 1021 Main Street.***



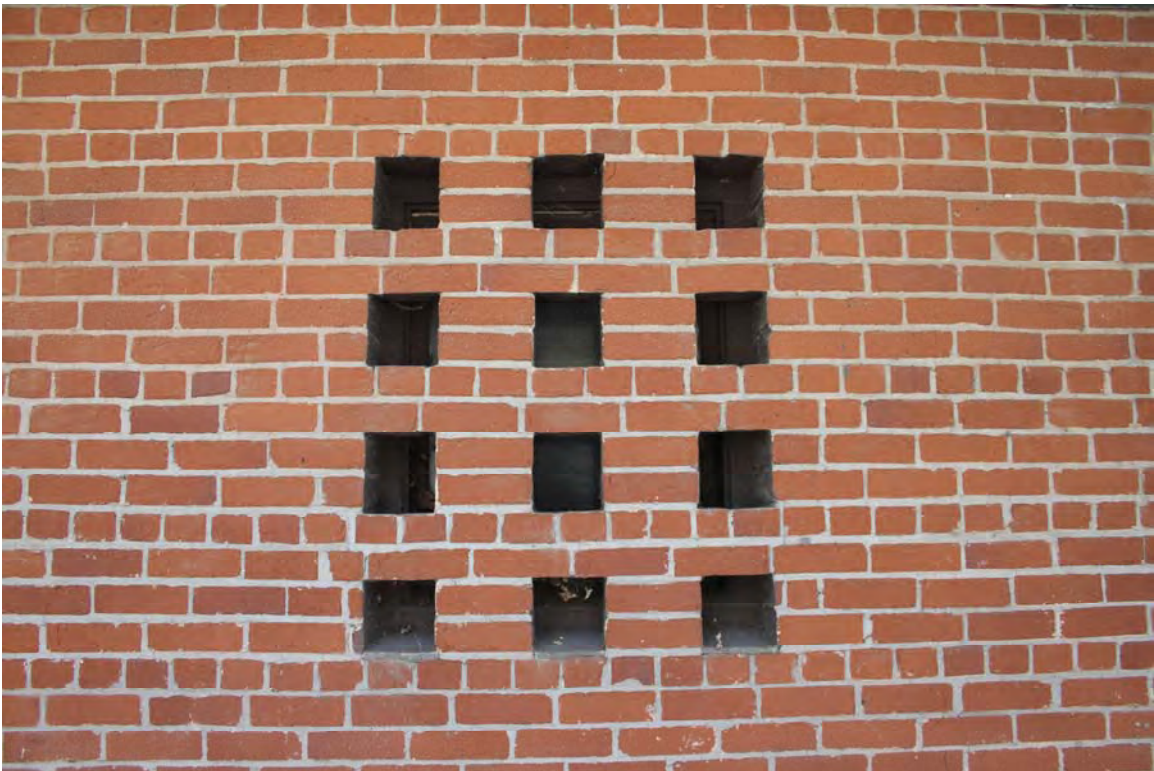
Photograph 10: View of the replaced front entry door, looking east.



Photograph 11: Close-up of window details showing the double-hung windows covered by contemporary security screens.



Photograph 12: View of the east elevation of the building.



Photograph 13: Linear vents in the brick exterior facade.



Photograph 14: View looking south through the parking lot of Freeman Park towards 1017 Main Street on the left and the new County Courthouse on the right.



Photograph 15: View looking east from Freeman Park at the rear addition (parking bays) for 1017 Main Street. The addition was completed after 1949-1950.



Photograph 16: Another view looking southeast at 1017 Main Street from Freeman Park.



Photograph 17: View looking south across the right or east side of Freeman Park towards the new County Courthouse.



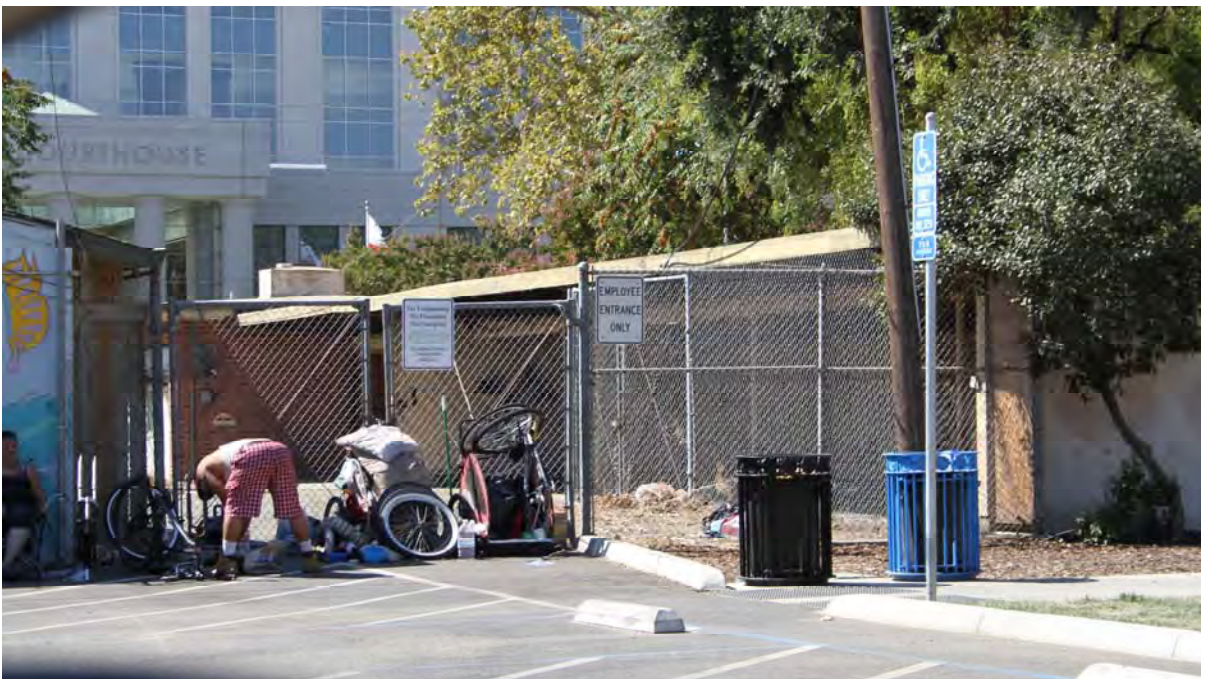
Photograph 18: View looking south across Freeman Park towards the new walkways and restrooms with 1017 Main Street in the distance.



Photograph 19: View looking southwest from the rear parking area towards the Freeman Park restrooms and the rear of 1017 Main Street.



Photograph 20: View looking east at the west elevation of the addition to 1017 Main Street.



Photograph 21: View looking south at the gated rear entrance to 1017 Main Street from the rear parking area.



Photograph 22: View looking south inside the gated and fenced courtyard behind 1017 Main Street. The carports or bays on the right are later additions.



Photograph 23: View looking north across 1001 Main Street (Freeman Park) from Main Street.



Photograph 24: View looking northwest across Freeman Park from Main Street.



Photograph 25: View looking northeast across Freeman Park from Main Street.



Photograph 26: Close-up of the gazebo in Freeman Park, built in 2001.



Photograph 27: View looking northwest across Freeman Park at contemporary concrete benches. The original Neo-Classical seating was designed by the Works Progress Administration (WPA) in 1936. All of the original park furniture has since been removed.



Legislation Details (With Text)

File #: 16-258 Version: 1 Name:
Type: Public Hearing Item Status: Agenda Ready
File created: 12/3/2015 In control: Planning Commission
On agenda: 1/21/2016 Final action:
Title: SUBJECT: Bulls Eye Bail Bonds Project
DATE: January 21, 2016

RECOMMENDATION:

In light of the new information presented, the Planning Commission is asked to consider: 1) the proposed Downtown Specific Plan amendments to allow for a bail bonds business to locate within District A4 and to include specific performance standards pertaining to bail bonds businesses within the downtown; and 2) the requested Conditional Use Permit for Bulls Eye Bail Bonds to locate at 1037 Main Street within District A4.

Staff recommends that the Planning Commission:

- 1) conduct a public hearing;
- 2) consider the proposed Downtown Specific Plan Amendments to permit bail bonds businesses as a conditional use in the A4 District by amending Specific Plan Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, and consider the associated request for a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, within District A4; and
- 3) recommend to City Council approval or denial of the proposed Specific Plan Amendment and associated Conditional Use Permit.

Sponsors:

Indexes:

Code sections:

Attachments: [1 - Copy of 6-2-15 City Council Staff Report](#)
[2 - Planning Commission Resolution Recommending Approval](#)
[3 - Planning Commission Resolution Recommending Denial](#)
[4 - Proposed Signage Elevation for Bulls Eye Bail Bonds](#)
[5 - Letter from Chamber of Commerce](#)
[6 - Letter to Main Street Business and Property Owners](#)
[7 - Public Comment Letters](#)
[8 - Applicant Initiated Survey and Responses](#)

Date	Ver.	Action By	Action	Result
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City of Woodland

MEMORANDUM

TO: Members of the Woodland Planning Commission
FROM: Erika Bumgardner, Senior Planner
SUBJECT: Bulls Eye Bail Bonds Project
DATE: January 21, 2016

RECOMMENDATION:

In light of the new information presented, the Planning Commission is asked to consider: 1) the proposed Downtown Specific Plan amendments to allow for a bail bonds business to locate within District A4 and to include specific performance standards pertaining to bail bonds businesses within the downtown; and 2) the requested Conditional Use Permit for Bulls Eye Bail Bonds to locate at 1037 Main Street within District A4.

Staff recommends that the Planning Commission:

- 1) conduct a public hearing;
- 2) consider the proposed Downtown Specific Plan Amendments to permit bail bonds businesses as a conditional use in the A4 District by amending Specific Plan Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, and consider the associated request for a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, within District A4; and
- 3) recommend to City Council approval or denial of the proposed Specific Plan Amendment and associated Conditional Use Permit.

BACKGROUND:

On April 2, 2015, the Planning Commission heard and considered a request by Mike Balasa of Bulls Eye Bail Bonds to amend the Downtown Specific Plan to conditionally permit bail bonds businesses within District A4 ("Eastern Gateway") of the Central Business District and to recommend approval of a Conditional Use Permit to allow, specifically, Bulls Eye Bail Bonds to operate at 1037 Main Street, within District A4. For your review, the original April 2, 2015, staff report to the Planning Commission is provided in Attachment 1, as well as a copy of the staff report presented to City Council on June 2, 2015.

After hearing from the project applicant, receiving public testimony, and after considerable discussion, the Planning Commission passed a motion recommending to City Council denial of the proposed specific plan amendment and denial of the use permit. The motion to deny the project request passed on a vote of 5-1 with one member absent. Questions and concerns from members of the commission included whether locating a bail bonds business directly on Main Street, particularly at the eastern gateway, was a necessity given that there are other areas in the downtown where the use could be conditionally allowed. Some members expressed concern that the proposed use did not fit with what the downtown was "trying to achieve;" that it was not a use that would draw people in to walk around and support local downtown businesses, restaurants and boutiques. Other members expressed concern with a bail bonds business at the gateway being "the first thing you see" coming in to the downtown. The commission recognized and understood the need for and importance of a bail bonds business, but overall, did not support the use directly on Main Street within the downtown.

The recommendation of the Planning Commission went on to City Council on June 2, 2015. Council directed staff at that hearing to conduct additional outreach efforts to existing businesses on Main Street, to the Chamber of Commerce and to the Historic Downtown Business Association to solicit their input on the proposed specific plan amendment and use permit. Council further directed staff to return to the Planning Commission with this additional public feedback to provide the Commission the opportunity to consider the project in light of this additional public input and in light of new information presented at council, specifically the proposed business signage.

Summary of Outreach Efforts:

Chamber of Commerce - The Chamber of Commerce provided a letter to the Mayor and Council on June 3, 2015 in response to Council's request. In the letter, the Chamber did not take a position regarding the proposed use stating that, *"The Chamber advocates for business and encourages them to thrive, and want to make it easy for companies to do business in Woodland. Where they locate has to be the job of the city planning department and the Planning Commission. The plans presently in place were created for certain reasons and at the time for smart growth. Previous companies doing business in Woodland had to adhere to the current zoning plans and until they are changed future development should be based on what is in place."* (See Attachment 5, June 3, 2015, Chamber of Commerce letter to City Council.)

Historic Downtown Business Association - Following the City Council hearing in June, city staff met with members of the Historic Downtown Business Association requesting their input on the proposed specific plan amendment and use permit. The association board voted against the amendment to the Downtown Specific Plan to permit bail bond offices on Main Street but supported consideration of them in areas closer to the new courthouse other than on Main Street.

Main Street Businesses - In December, planning staff mailed a notice (Attachment 6) to all business and property owners along Main Street in the downtown and to businesses surrounding the proposed location of the bail bonds office (1037 Main Street). Staff followed up in-person with those local businesses within District A4 and within close proximity to 1037 Main Street. The full results from the mail out and door to door inquiry were not available at the time of preparation of this report. Results received prior to the publication of this report are included as Attachment 7. Additional public comment forms received prior to the hearing will be provided to the Planning Commission on or before January 21st.

It should be noted that the project applicant also completed a door-to-door, in-person survey of surrounding businesses on Main Street in response to the City Council requested business outreach. The applicant spoke with both business owners and employees along Main Street and in close proximity the project location. These survey forms and responses are provided as Attachment 8.

Proposed Business Signage:

Following the April 2, 2015, Planning Commission hearing, based on comments from the Commission regarding business signage, the project applicant submitted the attached sign design elevation to be included in the City Council staff report packet and presentation (see Attachment 4). The sign conforms to the recommended performance standards for bail bonds businesses. The applicant sought to demonstrate that the sign would not be "flashing neon," and would be relatively small in scale at approximately 10 square feet, which is half the size otherwise allowed by the proposed bail bonds businesses performance standards. The applicant has also proposed to name the business "Bullseye Insurance Bail" or "Bullseye Surety Bail," if the

specific term “bail bonds” was of concern. However, it should be noted that signage is a transitory element that may change subject to conformance with the Downtown Specific Plan and Sign Ordinance.

Planning Commission Zoning Subcommittee

Staff met with the members of the Planning Commission Zoning Subcommittee on November 5, 2015 to seek additional input and suggestions regarding the project prior to returning to the full Commission. At the meeting, Commissioner Holt requested clarification of the performance standards language pertaining to sign heights. Commissioner Holt also requested information regarding the ability for bail bonds businesses to be located within Specific Plan Districts B and D given the proposed 200-foot separation requirement between bail bonds businesses and the 200-foot residential buffer requirement as included in the proposed performance standards. Commissioner Lizarraga requested clarification and rationale for the 200-foot separation requirement between bail bonds businesses. Commissioner Lopez raised questions regarding public safety in and around the business.

In response to Commissioner Holt’s signage question, staff suggests the following slightly amended performance standard language for Commission consideration:

“The dimension of the sign shall not exceed 24 inches in height; individual lettering shall not exceed 20 inches in height. Signage shall be compatible with the design and scale of the building.”

In response to Commissioner Holt’s location question, staff reassessed the ability for a bail bonds business to locate within Districts B and D (please see Attachment 1 for District Map) and finds that there continues to be opportunity for a bail bonds business to location within the districts. The newly proposed separation and residential buffer requirements would limit the number of bail bonds businesses within these districts more so than current conditions, however, it should be noted that bail bonds businesses are and will remain allowed “by-right” within all C-1, C-2, and C-3 commercial land use designations outside of the Downtown Specific Plan area and are also allowed “by-right” in Zones C, D, E and F of the East Street Corridor Specific Plan.

In response to Commissioner Lizarraga’s request for clarification, staff’s recommendation regarding the 200-foot distance requirement between bail bonds businesses is to limit the potential overconcentration of bail bonds businesses within the downtown, particularly in close proximity to the new courthouse on Main Street.

Over proliferation and concentration of one type of business or land use is of concern and can alter the perception of a small commercial district such as Woodland’s downtown. A successful downtown will have a variety of uses including, most importantly, those that encourage and are oriented toward pedestrian activities at the ground floor, including ground floor retail and restaurant uses. The economic vitality of smaller downtowns is in their ability to appeal to and attract residents and visitors through unique retail and dining opportunities that cannot be found elsewhere in the community. The “gateway” to a downtown plays an important role in setting the stage for what the remainder of the district has to offer. Further, the regulation of bail bonds businesses is in no way unique to Woodland. Many communities, large and small, throughout California regulate the location of bail bonds businesses to minimize the potential for over concentration, to provide a buffer between the use and other potentially incompatible uses such as residences, parks and schools, and to protect the viability of smaller downtowns.

RECOMMENDED ACTION:

In light of the new information presented, the Planning Commission is asked to consider: 1) the proposed Downtown Specific Plan amendments to allow for a bail bonds business to locate within District A4 and to include specific performance standards pertaining to bail bonds businesses within the downtown; and 2) the

requested Conditional Use Permit for Bulls Eye Bail Bonds to locate at 1037 Main Street within District A4.

The Planning Commission is asked to take action to either:

1. Adopt Resolution No. PC 16- _____ (Attachment 2), recommending City Council **approval** of: 1) the attached Ordinance amending Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, of the Downtown Specific Plan to conditionally permit bail bonds businesses within District A4 of the Central Business District, as identified in Figure 3-3 of the Specific Plan and to provide performance standards for the operation of bail bonds establishments within the Central Business District; and 2) a Conditional Use Permit (CUP) allowing a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street subject to the Conditions of Approval, which will become operative upon the effective date of the ordinance amending the Downtown Specific Plan; **or**
2. Adopt Resolution No. PC 16- _____ (Attachment 3), recommending that the City Council **deny** the proposed Downtown Specific Plan Amendment and related Conditional Use Permit to allow for Bulls Eye Bail Bonds to locate at 1037 Main Street.

ATTACHMENTS:

Attachment 1 - Copy of June 2, 2015 City Council Staff Report including:

- a. City Council Ordinance Amending the Downtown Specific Plan
- b. City Council Resolution Approving the Conditional Use Permit
- c. Exhibit A: CUP Conditions of Approval
- d. Downtown Specific Plan Districts Map
- e. General Application and Project Justification Statement
- f. Planning Commission Staff Report (April 2, 2015)
- g. Proposed Business Signage

Attachment 2 - Planning Commission Resolution Recommending Approval

Attachment 3 - Planning Commission Resolution Recommending Denial

Attachment 4 - Proposed Signage Elevation for Bulls Eye Bail Bonds

Attachment 5 - Letter from Chamber of Commerce

Attachment 6 - Letter to Main Street Business and Property Owners

Attachment 7 - Public Comment Letters

Attachment 8 - Applicant Initiated Survey and Responses

Legislation Text

File #: 14-719, **Version:** 1

TO: THE HONORABLE MAYOR AND CITY COUNCIL**DATE:** June 2, 2015

SUBJECT: Public Hearing - Bulls Eye Bail Bonds Project - (1) Request to amend the Downtown Specific Plan to (a) conditionally allow a bail bonds business within District A4 of the Downtown Business District; (b) adopt performance standards for all bail bonds businesses within the Downtown Specific Plan; and (2) approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, within District A4

Recommendation for Action: Staff recommends that the City Council take action on the following:

- 1) Conduct a public hearing; and
- 2) Approve a Conditional Use Permit for the Bulls Eye Bail Bonds business with specified conditions of approval; and
- 3) Introduce and waive the first reading of Ordinance No. _____, authorizing amendments to the Downtown Specific Plan Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards.

From and after the effective date of Ordinance No. _____, the Bulls Eye Bail Bonds business would be permitted to operate pursuant to a Conditional Use Permit.

Staff Contact

Erika Bumgardner, Senior Planner - (530) 661-5886, Erika.bumgardner@cityofwoodland.org

Fiscal Impact

No fiscal impact. The applicant has paid for all processing costs associated with this application.

Report in Brief

The applicant is requesting an amendment to the Downtown Specific Plan and a Conditional Use Permit to permit a bail bonds business within District A4 of the Specific Plan.

Downtown Specific Plan Amendment

The City's Downtown Specific Plan currently permits bail bonds businesses to operate within Districts B and D of the Central Business District with an approved Conditional Use Permit. It is requested that the Downtown Specific Plan be amended to permit bail bonds businesses within District A4, "Eastern Gateway," of the Central Business District.

Conditional Use Permit

Bulls Eye Bail Bonds would operate seven days a week with regular office hours of 8:00 AM to 6:00 PM. The office may be utilized "after hours" by appointment only for clients in need of service after 6:00 PM. According to the applicant, a majority of the work associated with the bail process is completed at the courthouse or at the jail.

Background

The Downtown Specific Plan was originally adopted in 1993 and updated on March 18, 2003 (Resolution No. 4425). The Downtown Specific Plan area incorporates the central core of Woodland's downtown, bounded approximately by Cleveland Street on the west, North Street on the north, East Street on the east, and Lincoln Avenue on the south and extending down to Pendegast Street. The Specific Plan area covers 139 acres.

Bail Bonds offices are permitted within the Downtown Specific Plan area, but only in Districts B and D with a Conditional Use Permit. District B is the "Government Center" on Court Street between Elm and Fourth Streets, and District D is a "Mixed Use District" between Elm and Fifth Streets, just north of Lincoln Avenue.

On December 30, 2014, the applicant submitted an application, requesting an amendment to the Downtown Specific Plan and approval of a Conditional Use Permit to allow a bail bonds business within the Downtown Specific Plan - District A4.

Discussion

The Downtown Specific Plan "District A4," as identified in Figure 3-3 of the Specific Plan (see Attachment 4) is located on the eastern portion of the Main Street commercial corridor between Fifth and East Streets. In the area just north of Main Street and west of Sixth Street, land uses consist of a two-acre city park (Freeman Park), Toy Library and United Way offices, one motel, an auto glass shop, and a tanning salon. To the east of Sixth Street are vacant lots and an empty Victorian house. The new courthouse, currently under construction, is located south of Main Street, east of Sixth, in District A4. The Wiseman Building is located south of Main Street and west of Sixth Street.

The proposed site for the bail bonds business is 1037 Main Street, in the Rainbow Sales & Glass commercial site, which includes an existing, approximately 9,300 square foot, single story commercial building on a 0.45 acre parcel. The bail bonds tenant space is 886 square feet in size and is located between the Rainbow Sales & Glass business and the tanning salon. Site access consists of driveways off of Main Street and Sixth Street.

General Plan Consistency

The General Plan designation for the site is Central Commercial (CC), which provides for retail and service uses, restaurants, banks, professional and administrative offices, hotels and motels, public uses and similar

compatible uses. The following General Plan policies are applicable to bail bond facilities:

GOAL 1.A

To grow in an orderly pattern consistent with economic, social and environmental needs, providing for continued small-town character and preservation of surrounding agricultural lands.

Policies

1.A.3. The City shall designate land for development consistent with the needs of the community and consistent with its efforts to maintain a positive fiscal balance for the City.

1.A.6. The City shall promote infill development and reuse of underutilized parcels in a manner compatible with the character of the surrounding neighborhood.

GOAL 1.E

To designate adequate commercial land for and promote development of commercial uses compatible with surrounding land uses to meet the present and future needs of Woodland residents and visitors and to maintain Woodland's economic vitality.

Policies

1.E.1. The City shall designate commercial land in appropriate locations to provide for various kinds of commercial development to meet the needs of Woodland residents and visitors. The City shall strive to avoid creating an oversupply of commercially-designated land to prevent the dilution or deterioration of currently viable commercial areas.

GOAL 1.F

To develop and maintain an economically-viable and physically attractive Downtown.

Policies

1.F.2. The City shall ensure that Downtown remains the sole central business district for Woodland.

The proposed business is considered a professional office use and, as conditioned, is consistent with the General Plan.

Zoning Consistency

Land Use

The zoning designation for the site is Central Business District (CBD). The project is subject to the City's Downtown Specific Plan. Bail bonds offices are currently permitted only in Districts B and D of the Specific Plan as a Commercial Service use, with a Conditional Use Permit.

Staff supports the proposed specific plan amendment to allow bail bonds offices with an approved Conditional Use Permit in District A4 of the Downtown Specific Plan (Central Business District), as identified in Figure 3-3 of the Specific Plan. The amendment would allow for a bail bonds office to be located within close proximity to the new Courthouse currently under construction at the southwest corner of Main and Sixth Streets, but would limit the proliferation and concentration of multiple bail bonds offices along Main Street and at the gateway to Historic Downtown Woodland. Bail bonds establishments tend to cluster near jails and courthouses, in accessible locations where walk-in customers can negotiate bail in as short amount of time as possible. Customers of bail bonds businesses are frequently family members or friends of someone who has been arrested.

As proposed, the specific plan amendment would limit the number of bail bonds businesses within District A4 of the Downtown Specific Plan to a maximum of two (2) at any point in time. The proposed limitation would minimize the proliferation of bail bonds businesses on Main Street adjacent to the new County Courthouse and particularly within the “eastern gateway” to the City’s Historic Downtown District. The Downtown Specific Plan seeks to avoid overconcentration of any one type of business within District A4 and rather seeks to balance retail and service needs of city residents through a mix of uses.

As outlined in the attached Ordinance (Attachment 1), it is recommended that the Downtown Specific Plan provide specific performance standards for bail bonds businesses, including:

- *Bail bonds businesses shall be located at least 200 feet from any other bail bonds business as measured from the property/parcel boundary.*
- *Bail bonds businesses shall at no time be located within 200 feet of residentially zoned property.*
- *Not more than one (1) bail bonds business shall be permitted on Main Street (on a property/parcel with frontage on Main Street), and not more than two (2) bail bonds businesses shall be permitted within District A4 at any one time.*
- *Signage for bail bonds businesses shall comply with Section 6.7 of this Specific Plan, but shall be limited to not more than 20 square feet in total sign area or two times the linear frontage of the leased space, whichever is less. Total sign area includes logos, which shall not exceed 4 square feet. Sign lettering shall not exceed 20 inches in height and shall be compatible with the design and scale of the building. Internally illuminated pan-channel letters are not permitted. If illuminated, signage must be down-lit with decorative lighting compatible with the design of the building or halo back lit with soft white light only. Flags, sandwich boards or other attention getting devices are prohibited at all times. Compliance with these standards is subject to review and approval by the Community Development Director.*
- *Bail bond businesses shall not operate past 8 PM except on appointment basis.*

Based on discussions with the Woodland Police Department, bail bond agents typically have a positive working relationship with their clients because the bond posted on their behalf is allowing them to attend court out of custody. Bail is a financial arrangement that a bail bonding agency will make on

behalf of the criminal defendant. A bail bonding agency, acting for the defendant, will arrange with the court to have a defendant released from jail pending the trial in exchange for money or collateral, which may be cash, assets, or a bond. The court sets the monetary value of the bail. The bail agency is then responsible for ensuring that the individual arrives in court on the day of his or her trial.

The Police Department provided specific safety recommendations for the operation of bail bonds businesses, which have been incorporated in the project's conditions of approval, including:

1. The lobby area shall be well lit and visible to all staff during business hours.
2. The front door shall be equipped with a device that emits an audible sound so that staff knows that someone has arrived at the business.
3. The back door to the business shall remain locked from the outside, but still provide for emergency fire exit.
4. The business shall have a panic button installed in a location that is easily accessible to bail bonds staff and that goes directly to Woodland Police Department dispatchers.
5. If the business is staffed outside of its normal business hours, it shall keep the door locked after its posted closing time.

It is also recommended that children should not be allowed in the business without an accompanying parent, and any on-site safe should be kept out of site to prevent theft.

Late Night Operation

The Conditional Use Permit requirement for bail bond businesses ensures adequate discretionary review of these uses, particularly in regard to operation of the business during late night and early morning hours. The use shall not be approved unless the facility can operate without detriment to nearby residential uses or the general welfare of the surrounding area.

The proposed bail bonds business will be “open to the public” from 8:00 AM to 6:00 PM. Bail bonds staff will be available by phone after hours and if needed will meet with clients at the main office at 1037 Main Street by appointment only. A majority of the “work” happens at the jail or at the courthouse. The office will be closed to the public and lock its doors after 6:00 PM.

As stated above, the project has been conditioned to include safety related conditions per Woodland Police Department recommendations.

Parking

The proposed use will be located within an existing commercial building with 18 on-site parking spaces. Additional off-street parking within the downtown is required only if the square footage of a building is increased by ten percent or more. The proposed use does not increase the size of the existing building and therefore does not require any additional off-street parking. Sufficient on-site parking is available to accommodate the proposed use within the existing commercial center.

Setbacks and Height

The existing building complies with the Downtown Specific Plan setback requirements and Community Design Standards. No new structural changes are being made to the outside of the building.

Signage

Article 24 of the Zoning Code (Chapter 25 of the Municipal Code) commencing with Section 25-21-10 addresses signs. Signs require a separate permit, and tenants shall submit construction drawings and receive approval for all proposed signage. Staff will review these plans to ensure that they meet established zoning and Downtown Specific Plan requirements. Signage within the downtown shall be compatible with the historic character of the downtown area and shall reinforce rather than detract from the existing downtown historical character.

Commission/Committee Recommendation (optional)

At its meeting on April 2, 2015, the City of Woodland Planning Commission conducted a public hearing on the proposed Project. Two members of the public expressed concern regarding the location of the proposed business on Main Street (at the eastern gateway to the downtown) and the perceived negative visual impacts of the use on the entrance to the city's downtown.

After consideration of public comment and after thoughtful deliberation, a motion recommending City Council approve the proposed Downtown Specific Plan amendments and the requested Conditional Use Permit was made. The motion failed for lack of a second. A subsequent motion to recommend City Council denial of the Specific Plan amendments and denial of the use permit was made and seconded. The motion recommending denial passed on a vote of 5-1.

Commission members voting to recommend denial of the project expressed concern with the location of the proposed use on Main Street and at the eastern entrance to the city's downtown and the associated negative visual impact and perception associated with the proposed use in light of the city's efforts to revitalize the downtown. (Attachment 6, Planning Commission Staff Report Cover.)

Since the April 2nd Planning Commission meeting, the applicant has provided an elevation of the proposed exterior business sign. In response to the Planning Commission's concern regarding the location and visual presentation of the business at the eastern gateway to Historic Downtown Woodland, the proposed sign is limited in scale so as not to create undue attention, but will enable clients to identify and locate the business when necessary. The proposed sign, including the logo, is approximately 9.6 square feet in size, with individual letter heights not exceeding 15 inches. As recommended by staff, signage for bail bonds businesses shall not exceed 20 square feet in size and letter heights shall not exceed 20 inches. The proposed sign fits within these parameters. (See Attachment 7.)

Conclusion

Staff recommends that the City Council take action on the following:

- 1) Conduct the public hearing; and
- 3) Approve a Conditional Use Permit for the Bulls Eye Bail Bonds business with specified conditions of approval; and
- 4) Introduce and waive the first reading of Ordinance No. _____, authorizing amendments to the Downtown Specific Plan Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards.

From and after the effective date of Ordinance No. _____, the Bulls Eye Bail Bonds business would be permitted to operate pursuant to a Conditional Use Permit, if approved by the City Council.

Prepared by: Erika Bumgardner, Senior Planner

Reviewed by: Cindy Norris, Principal Planner
Ken Hiatt, Community Development Director

Paul Navazio, City Manager

ATTACHMENTS:

1. City Council Ordinance Amending the Downtown Specific Plan
2. City Council Resolution Approving Conditional Use Permit (CUP)
3. Exhibit A: CUP Conditions of Approval
4. Downtown Specific Plan Districts Map
5. General Application and Project Justification Statement
6. Planning Commission Staff Report Cover (April 2, 2015)
7. Proposed Business Signage

ORDINANCE NO. _____

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
WOODLAND AMENDING TABLE 8-1, LAND USE MATRIX, AND SECTION 8.5,
PERFORMANCE STANDARDS, OF THE CITY OF WOODLAND DOWNTOWN
SPECIFIC PLAN RELATING TO BAIL BONDS ESTABLISHMENTS OPERATING
WITHIN THE DOWNTOWN BUSINESS DISTRICT**

WHEREAS, the City of Woodland received Planning Application No. PLNG 15-00004 from Michael Balasa, proposing to amend the Downtown Specific Plan to permit bail bonds businesses within District A4 of the Central Business District, as identified in Figure 3-3 of the Downtown Specific Plan, and for a Conditional Use Permit to permit a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street, within District A4 of the Central Business District; and

WHEREAS, the City of Woodland Downtown Specific Plan currently permits bail bonds businesses to operate within Districts B and D of the Central Business District with an approved Conditional Use Permit; and

WHEREAS, the City desires to avoid overconcentration of any one type of business within District A4 of the Downtown Specific Plan and seeks to balance retail and service needs of city residents through a mix of uses; and

WHEREAS, the City desires to minimize the proliferation of bail bonds businesses on Main Street adjacent to the new County Courthouse and within the City's Historic Downtown District, particularly at the gateway to the downtown; and

WHEREAS, the City desires to amend Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, of the Downtown Specific Plan to permit bail bonds businesses with District A4, Eastern Gateway, in light of the new location of the County Courthouse on Main Street to provide reasonable access and accommodation for individuals in need of such services as a component of the due process of law; and

WHEREAS, the City Council also desires to provide for performance standards for all bail bonds establishments operating within the Central Business District.

The City Council of the City of Woodland, California, does hereby ordain as follows:

Section 1. Recitals. The above recitals are incorporated as though set forth in this section.

Section 2. Amendment to Table 8-1 of the Downtown Specific Plan. Table 8-1, Land Use Matrix, of the Downtown Specific Plan is hereby amended to read as set forth in the attached "**Exhibit A.**"

Section 3. Amendment to Section 8.5 of the Downtown Specific Plan. Section 8.5, Performance Standards, of the Downtown Specific Plan is hereby amended to read in full as set forth in the attached "**Exhibit B,**" incorporated by this reference.

Section 4. Severability. If any provision or clause of this ordinance or any application of it to any person, firm, organization, partnership or corporation is held invalid, such invalidity shall not affect other provisions of this ordinance which can be given effect without the invalid provision or application. To this end, the provisions of this ordinance are declared to be severable.

Section 5. Effective Date and Notice. This ordinance shall take effect thirty (30) days after its adoption and, within fifteen (15) days after its passage, shall be published at least once in a newspaper of general circulation published and circulated within the City of Woodland.

PASSED AND ADOPTED by the City Council of the City of Woodland this ____ day of _____, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Tom Stallard, Mayor

ATTEST:

Ana Gonzalez, City Clerk

APPROVED AS TO FORM:

Kara K. Ueda, City Attorney

EXHIBIT A

City of Woodland Downtown Specific Plan Amendment

The Bail Bonds use in Table 8-1 of Chapter 8 of the City of Woodland Downtown Specific Plan is hereby amended to read as follows:

“Chapter 8. Policies and Standards. Table 8-1—Land Use Matrix.

Table 8-1

Land Use	Districts (per Figure 3-3)				
	A	B	C	D	E
Commercial - Service					
Bail Bonds (5)	C	C		C	

- (5) Bail Bonds businesses shall be conditionally permitted only in District A4, Eastern Gateway (of the larger District A), and in Districts B and D subject to the Performance Standards as outlined for Bail Bonds businesses in Section 8.5. Within District A4, not more than one (1) bail bonds business shall be permitted on Main Street (on a property/parcel with frontage on Main Street), and not more than two (2) bail bonds businesses shall be allowed in the District.”

EXHIBIT B

City of Woodland Downtown Specific Plan Amendment

Section 8.5, Performance Standards, of Chapter 8 of the City of Woodland Downtown Specific Plan is hereby amended to include the following language under the “Commercial Service” category:

“Chapter 8. Policies and Standards. Section 8.5 – Performance Standards

Bail Bonds Businesses

- Bail bonds businesses shall be located at least 200 feet from any other bail bonds business as measured from the property/parcel boundary.
- Bail bonds businesses shall at no time be located within 200 feet of residentially zoned property.
- Not more than one (1) bail bonds business shall be permitted on Main Street (on a property/parcel with frontage on Main Street), and not more than two (2) bail bonds businesses shall be permitted within District A4 at any one time.
- Signage for bail bonds businesses shall comply with Section 6.7 of this Specific Plan, but shall be limited to not more than 20 square feet in total sign area or two times the linear frontage of the leased space, whichever is less. Total sign area includes logos, which shall not exceed 4 square feet. Sign lettering shall not exceed 20 inches in height and shall be compatible with the design and scale of the building. Internally illuminated pan-channel letters are not permitted. If illuminated, signage must be down-lit with decorative lighting compatible with the design of the building or halo back lit with soft white light only. Flags, sandwich boards, or other attention getting devices are prohibited at all times. Compliance with these standards is subject to review and approval by the Community Development Director.
- Bail bond businesses shall not operate past 8 PM except on an appointment basis.”

RESOLUTION NO. CC 15-_____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
WOODLAND APPROVING A CONDITIONAL USE PERMIT
ALLOWING A BAIL BONDS BUSINESS (BULLS EYE BAIL BONDS)
TO OPERATE AT 1037 MAIN STREET WITHIN THE DOWNTOWN
SPECIFIC PLAN AREA**

WHEREAS, Michael Balasa submitted an application to the City of Woodland for a conditional use permit for the operation of a bail bonds business at 1037 Main Street; and

WHEREAS, on April 2, 2015, the Planning Commission of the City of Woodland held a duly noticed public hearing to review and consider recommending to the City Council approval of a Conditional Use Permit to allow a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street, subject to the Conditions of Approval ("**Exhibit A**") provided that the City Council adopt an ordinance approving amendments to the Downtown Specific Plan to allow bail bonds businesses within District A4 of the Central Business District with certain performance standards; and

WHEREAS, the Planning Commission considered the written material provided as well as an oral report from City staff and testimony from the public and at the conclusion of the public hearing before the Planning Commission, the Planning Commission voted to recommend to the City Council that the Conditional Use Permit be denied; and

WHEREAS, the City of Woodland City Council held a duly noticed public hearing on June 2, 2015, to review and consider approval of a Conditional Use Permit to allow a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street, located within the Downtown Specific Plan Area and considered both the written and oral material provided to it, including testimony given at the City Council meeting; and

WHEREAS, because the Downtown Specific Plan must be amended to permit the proposed use as a conditionally permitted use, the Conditional Use Permit shall only become operative upon the effective date of the ordinance amending the Downtown Specific Plan, which is being considered concurrently by the Woodland City Council; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the proposed Conditional Use Permit is exempt from CEQA per CEQA Regulation 15303, which applies to the conversion of small structures from one use to another where only minor modifications are made in the exterior of the structure; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Woodland, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby make the following findings, determinations, and recommendations with respect to the proposed Conditional Use Permit:

- 1) The City Council hereby makes the following findings:
 - a) The proposed Conditional Use Permit, including the attached conditions, allowing for the operation of a bail bonds business at 1037 Main Street conforms to the City of Woodland General Plan, applicable provisions of the Zoning Ordinance and the Downtown Specific Plan, provided that the Downtown Specific Plan is amended to permit bail bonds businesses as a conditionally permitted use in District A4 of the Central Business District, which approval is to occur concurrently with adoption of this Resolution.
 - b) The site for the intended use is adequate in size, shape, topography, accessibility, and other physical characteristics to accommodate the use and required provisions of the Zoning Ordinance and satisfies all minimum physical standards required under the City's Zoning Ordinance for similar type uses.
 - c) The Conditional Use Permit is compatible with the nearby existing uses and will not be detrimental to the health, safety, morals, comfort, and general welfare of persons residing in the surrounding neighborhood.
 - d) The conditions specified in the attachment will assure the continued quiet enjoyment of the area.
 - e) Pursuant to Title 14 of the California Code of Regulations, section 15303, the proposed project is exempt from CEQA as it is a conversion of a small structure from one use to another where only minor modifications are made to the exterior of the structure.
- 2) The City Council does hereby approve Conditional Use Permit PLNG 15-00004 subject to the conditions of approval included in "Exhibit A," allowing for the operation of a bail bonds business (Bulls Eye Bail Bonds) at 1037 Main Street, within District A4 of the Central Business District as identified in Figure 3-3 of the Downtown Specific Plan.

The Conditional Use Permit shall become operative from and after the effective date of Ordinance No. _____ of the City Council of the City of Woodland amending the Downtown Specific Plan allowing for bail bonds in District A4 as a conditionally permitted use and providing for performance standards for such use.

PASSED AND ADOPTED by the City Council on June 2, 2015 by the following vote

AYES:

NOES:

ABSENT:

ABSTENTIONS:

Tom Stallard, Mayor

ATTEST:

APPROVED AS TO FORM:

Ana B. Gonzalez, City Clerk

Kara K. Ueda, City Attorney

Exhibit A Project Conditions of Approval

EXHIBIT A

[Conditions of Approval]

EXHIBIT A

Conditions of Approval

1. The project, as described in the staff report prepared for the June 2, 2015, City Council meeting, includes a bail bonds business located at 1037 Main Street, in the Central Business District, Downtown Specific Plan, Area A4. Any expansion or enlargement of the business beyond the leased space covered by this Conditional Use Permit (1037 Main Street) shall be subject to Community Development Director Review or, at the discretion of the Director, may be elevated to Planning Commission review and subject to a new or modified Conditional Use Permit.
2. The applicant shall defend, indemnify, and hold harmless the City of Woodland, its agents, officers or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the subject application by the City, its legislative body, advisory agencies or administrative officers. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either, at the City's discretion, undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City Attorney.
3. The hours of operation for the business shall be from 8:00 AM to 6:00 PM, before or after which time, the doors will be locked and business at 1037 Main Street shall be on appointment basis only.
4. In the event that the Use Permit has not been exercised within one (1) year, the permit shall be null and void without further action, except that the Zoning Administrator may extend the approval of a use permit for one (1) additional year, with the same conditions of approval, if circumstances have not changed. The request in writing must be received prior to the expiration of the use permit.
5. New business signage, exterior painting and/or any other exterior modifications/improvements shall be subject to review and approval by the Community Development Director to ensure conformity with the Downtown Specific Plan and applicable Performance and Community Design Standards and shall be subject to all applicable building permit requirements prior to the commencement of work.

Building

6. This project must meet all criteria and mandates for these City adopted codes or the most current code:
 - 2013 California Building Code
 - 2013 California Plumbing Code
 - 2013 California Mechanical Code
 - 2013 California Electrical Code
 - 2013 Building Energy Efficiency Standards
 - 2013 California Green Building Code
 - The Code of the City of Woodland

7. Other City and County Agencies (Health, Fire, Public Works, and Planning, Air Resources Board) may be required to approve the project prior to a building permit being issued.
8. Any deferred submittals that are not a part of the initial permit application must be listed on the cover sheet of the plan at the time of application for the project.
9. All plans, computations, and specifications to be prepared and designed by an architect or engineer licensed by the state of California.
10. A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the building and project area.
11. Accessibility Compliance: Any unauthorized deviations from such regulations or building standards shall be rectified by full compliance within 90 days after discovery of the deviation.

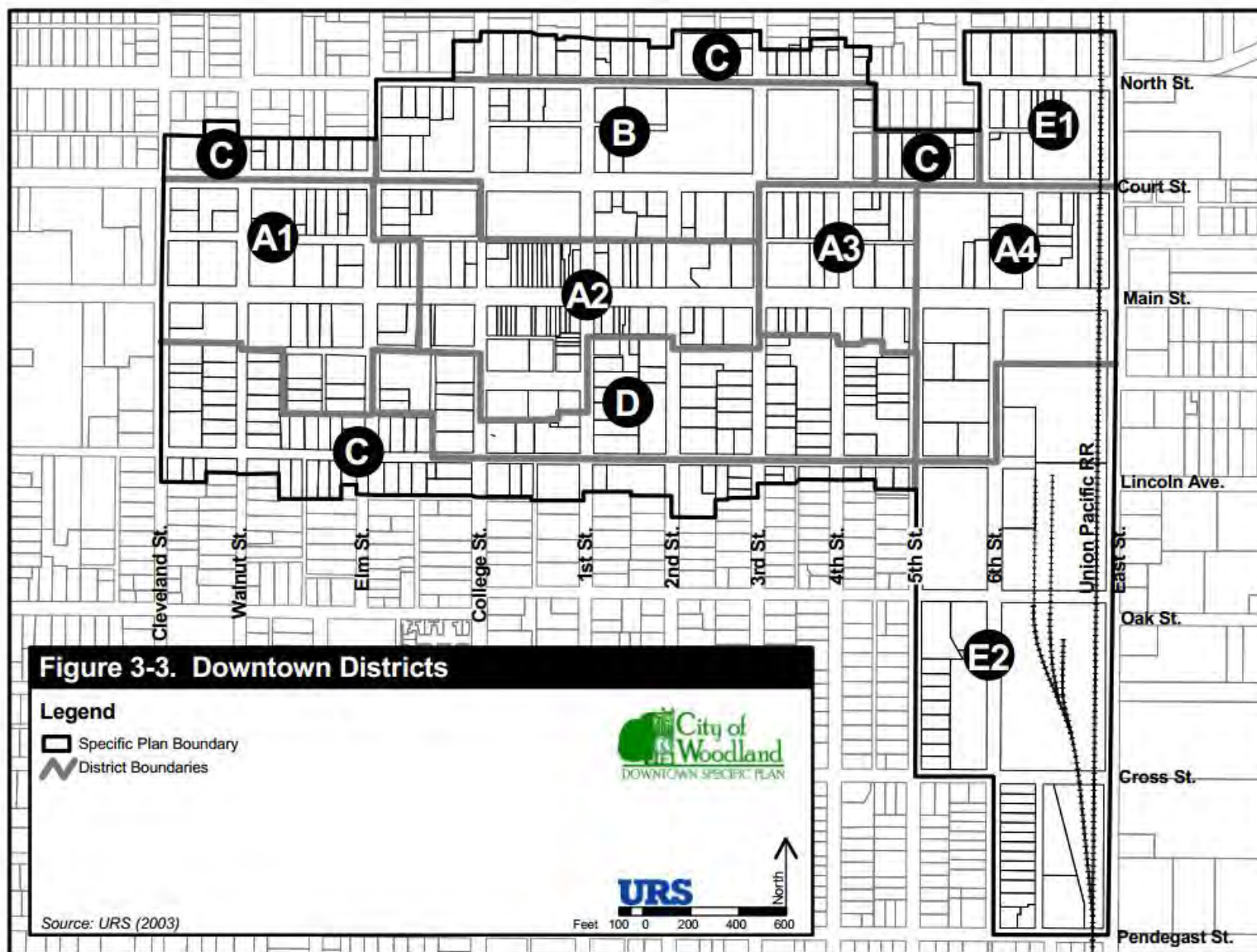
Fire Department

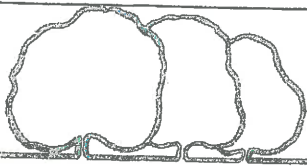
12. The project shall be subject to all applicable fire and safety requirements and applicable requirements of the California Fire Code.

Police Department

13. The lobby area shall be well lit and visible to all staff during business hours.
14. The front door shall be equipped with a device that emits an audible sound so that staff knows that someone has arrived at the business.
15. The back door to the business shall remain locked from the outside, but still provide for emergency fire exit.
16. The business shall have a panic button installed in a location that is easily accessible to bail bonds staff and that goes directly to Woodland Police Department dispatchers.
17. If the business is staffed outside of its normal business hours, it shall keep the door locked after its posted closing time.

Downtown Specific Plan – Downtown Districts





City of Woodland

Community Development Department
300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER: DAVE GILLETTE
NEBULOUSE ENTERPRISES LLC.

MAILING ADDRESS: 1033 MAIN ST.

CITY STATE ZIP CODE: WOODLAND, CA. 95695

PHONE NUMBER: 530-666-1234

E-MAIL ADDRESS: RAIN DAVE@iwb.com

PROJECT APPLICANT MICHAEL BALASA

MAILING ADDRESS: 1037 MAIN ST.

CITY STATE ZIP CODE: WOODLAND, CA. 95695

PHONE NUMBER: 530/66-6500

E-MAIL ADDRESS: BULLSEYEBAI@Yahoo.Com

2. Application Requested

- | | | |
|--|--|--|
| ☐ General Plan Petition | ☒ Zoning Amendment | ☐ General Plan Amendment |
| ☐ Tentative Subdivision Map | ☐ Tentative Parcel Map | ☐ Lot Line Adjustment |
| ☐ Site Plan Review | ☐ Design Review | ☒ Sign Design Review |
| ☒ Conditional Use Permit (CUP) | ☐ Zoning Administrator Permit | ☐ Variance |
| ☐ Public Convenience or Necessity | ☒ Other <u>CATEGORICAL EXEMPTION</u> | |

Is this request part of another application? ☐ Yes ☒ No If so, what? _____

3. Project Description

Project Name: BULLSEYE BAIL BONDS

Total Acres or Square Feet 900 SQ. FT.

Site address or location: 1037 MAIN ST.

Assessor's Parcel Number: _____

Is Your Project Located in a Flood Zone?

☐ Yes ☒ No

Does this request include signage?

☒ Yes ☐ No

4. Justification for Request



On a separate sheet, explain in detail your request and why you believe your request is justified.

5. General Plan Amendment

Existing General Plan Designation	Gross Acres	Proposed General Plan Designation	Gross Acres
-----------------------------------	-------------	-----------------------------------	-------------

6. Zoning Amendment

Existing Land Use Zone	Gross Acres	Proposed Land Use Zone	Gross Acres
------------------------	-------------	------------------------	-------------

7. Residential Development

No. of residential units are being requested? _____ No. of lots will be created by this project? _____

Single Family _____ Half-plex _____

Do you intend to market the units for sale?

Duplex _____ Apartments _____

☐ YES ☐ No

Condominiums _____ Other _____

Do you intend to market the units for rent?

Townhomes _____ Total Units _____

☐ YES ☐ No

8. Commercial/Industrial Development

Indicate the type of commercial/industrial development proposed:

BAIL BONDS OFFICE

Indicate the gross and leasable square footage for each type of development:

900 SQ. FT.

9. Authority to File Application

Check one:

☒ Property Ownership ☐ Power of Attorney*

☐ Contract to Purchase* ☐ Other

Specify _____

* Attach Evidence of Authority

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

APPLICATION WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Michael Balasa 1-27-15

Applicant:

Date

[Signature] 1/3/15

Legal Owner:

Date

Legal Owner:

Date

DEPARTMENT USE ONLY

Amount Paid: _____

Project No: _____

Amount Due: _____

Logged by: _____ Date: _____

GP / Zoning Designation: _____

Planner: _____ Date: _____



Bulls Eye Bail Bonds has been privately owned and operated since 1993 and has been serving the residents of Yolo County for the past 20 years. We are appointed with Accredited Surety and Casualty Company who is licensed in all 50 states and the District of Colombia and is Treasury listed by the United States to write Federal Bonds.

Why bail is important to your community:

- Bail, provided by a licensed surety agent, is an insurance contract that guarantees the appearance of a defendant in court
- Bail is guaranteed by the 8th and 14th Amendments in the United States Constitution
- Bail relieves jail overcrowding
- Bail is privately funded; no cost to the tax payer
- Bail agents are accountable financially and physically for defendants
- Bail agents must either produce the defendant or pay the full amount of the bond to the court
- Bail agents pay all costs of extradition for defendants who fail to appear and are re-arrested
- Private surety bail has lower failure to appear rates than government funded pretrial release programs
- Bail agents invest and instill financial incentives by integrating family and friends as guarantors of the bonds
- Bail reduces county costs
- Bail agents and the insurance company they represent are accountable to the court
- Defendants are held accountable through their contract with the bail agent



Legislation Text

File #: 14-668, Version: 1



Planning Commission

Bulls Eye Bail Bonds Project: Request to recommend to the City Council amending the Downtown Specific Plan to, (a) conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, within District A4.

Location: 1037 Main Street, Woodland, CA 95695

Applicant/Owner: Michael Balasa (Applicant), 1037 Main Street, Woodland, CA 95695; Nebulous Enterprises, LLC (Owner), 1033 Main Street, Woodland, CA 95695

Environmental Report: Categorical Exemption

APN: 005-645-013-000

Project Planner: Erika Bumgardner, Senior Planner

Staff Recommendation: Recommend City Council approval of (1) the proposed Downtown Specific Plan Amendments to permit bail bonds businesses as a conditional use in the A4 District and to add performance standards for bail bonds businesses; and (2) a Conditional Use Permit for the Bulls Eye Bail Bonds business with specified conditions

Report For: Planning Commission Public Hearing - April 2, 2015

General Plan Designation: Central Commercial (CC)

Current Zoning: Central Business District - Area A4

Specific Plan Designation: Downtown Specific Plan

Existing Land Uses: Commercial Building; Automotive Repair and Retail

Flood Zone: X - Area Outside the 2% Annual Chance Flood Event, FIRM Community Panel Number - 06113C0445H Revised May 16, 2012

Street Access: Main and Sixth Streets

Adjacent Land Uses & Zoning:

DIRECTION	LAND USE	ZONING
North	Motel	Central Business District
South	Office/Commercial	Central Business District
East	Vacant Undeveloped	Central Business District
West	Auto Repair/Motel	Central Business District

Pending/Potential Action

Staff recommends that the Planning Commission take action on the following:

1. Receive the Staff Report;
2. Conduct the Public Hearing; and
3. Adopt Resolution No. PC 15-_____, recommending City Council approval of: 1) the attached Ordinance amending Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, of the Downtown Specific Plan to conditionally permit bail bonds businesses within District A4 of the Central Business District, as identified in Figure 3-3 of the Specific Plan, and to provide performance standards for the operation of bail bonds establishments within the Central Business District; and 2) a Conditional Use Permit (CUP) allowing a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street subject to the Conditions of Approval, to become operative upon the effective date of the ordinance amending the Downtown Specific Plan.

Project Site Description

The Downtown Specific Plan “District A4,” as identified in Figure 3-3 of the Specific Plan (see Attachment 5) is located on the eastern portion of the Main Street commercial corridor between Fifth and East Streets. In the area just north of Main Street and west of Sixth Street, land uses consist of a two-acre city park (Freeman Park), Toy Library and United Way offices, one motel, an auto glass shop, and a tanning salon. To the east of Sixth Street are vacant lots and an empty Victorian house. The new courthouse, currently under construction, is located south of Main Street, east of Sixth, in District A4. The Wiseman Building is located south of Main Street and west of Sixth Street.

The proposed site for the bail bonds business is 1037 Main Street, in the Rainbow Sales & Glass commercial site, which includes an existing, approximately 9,300 square foot, single story commercial building on a 0.45 acre parcel. The bail bonds tenant space is 886 square feet in size and is located between the Rainbow Sales & Glass business and the tanning salon. Site access consists of driveways off of Main Street and Sixth Street.

Background

The Downtown Specific Plan was originally adopted in 1993 and updated on March 18, 2003 (Resolution No. 4425). The Downtown Specific Plan area incorporates the central core of Woodland’s downtown, bounded approximately by Cleveland Street on the west, North Street on the north, East Street on the east, and Lincoln Avenue on the south and extending down to Pendegast Street. The Specific Plan area covers 139 acres.

Bail Bonds offices are permitted within the Downtown Specific Plan area, but only in Districts B and D with a Conditional Use Permit. District B is the “Government Center” on Court Street between Elm and Fourth Streets, and District D is a “Mixed Use District” between Elm and Fifth Streets, just north of Lincoln Avenue.

On December 30, 2014, the applicant submitted an application, requesting an amendment to the Downtown Specific Plan and approval of a Conditional Use Permit to allow a bail bonds business within the Downtown Specific Plan - District A4.

Project Proposal

The applicant is requesting an amendment to the Downtown Specific Plan and a Conditional Use Permit to permit a bail bonds business within District A4 of the Specific Plan.

Downtown Specific Plan Amendment

The City’s Downtown Specific Plan currently permits bail bonds businesses to operate within Districts B and D of the Central Business District with an approved Conditional Use Permit. It is requested that the Downtown Specific Plan be amended to permit bail bonds businesses with District A4, “Eastern Gateway,” of the Central Business District.

Conditional Use Permit

Bulls Eye Bail Bonds will operate seven days a week with regular office hours of 8:00 AM to 6:00 PM. The office may be utilized “after hours” by appointment only for clients in need of service after 6:00 PM. According to the applicant, a majority of the work associated with the bail process is completed at the courthouse or at the jail.

Review Agency Comments:

The application was circulated for review by agencies of jurisdiction. All comments received have been incorporated as Conditions of Approval.

Public Notification

Public notice advertising for the public hearing on this project was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Woodland's Municipal Code and State Planning Law. Two methods of public notice were used:

- Legal notice was published in the Woodland Daily Democrat on or before March 23, 2015.
- Notices were mailed to all property owners within 300 feet of the project site.

Copies of the factual staff report for the proposed project have been on file at City Hall since March 27, 2015.

Applicable Laws, Codes & Ordinances

The project is subject to the following laws, codes, and ordinances:

- The California Environmental Quality Act (CEQA)
- The City of Woodland General Plan
- The City of Woodland Zoning Ordinance
- The Downtown Specific Plan

Environmental Assessment Status

Pursuant to the California Environmental Quality Act ("CEQA"), the proposed ordinance amendment is exempt from CEQA review per CEQA regulations (Title 14 of the California Code of Regulations) 15061(b)(3) and 15303. Regulation 15061(b)(3) applies to projects that will not have a significant effect on the environment. The proposed Downtown Specific Plan amendment adds bail bonds businesses to the list of permitted uses within District A4 of the Downtown Business District. The proposed amendment is limited in scope and will not result in a use that is more intense, or would have more environmental impacts, than the currently permitted uses. The proposed amendment is consistent with the General Plan.

The proposed Conditional Use Permit (*operation of a bail bonds business at 1037 Main Street*) is also exempt from CEQA per Section 15303, which applies to the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The site is located within Woodland City Limits and is surrounded by urban development. The 0.45 acre site consists of one approximately 9,300 square-foot commercial building, with the proposed project utilizing 886 square feet of the overall building.

The Planning Commission is requested to confirm this environmental determination in conjunction with its recommendation of approval to the City Council of the project. If this project is approved by the City Council, staff will file a Notice of Exemption with the Yolo County Clerk's Office in conformance with Article 5

§15062(a) of the CEQA guidelines.

Staff Analysis

Staff supports the project subject to the attached recommended conditions of approval (Attachment 4) and provides the following analysis:

General Plan Consistency

The General Plan designation for the site is Central Commercial (CC), which provides for retail and service uses, restaurants, banks, professional and administrative offices, hotels and motels, public uses and similar compatible uses. The following General Plan policies are applicable to bail bond facilities:

GOAL 1.A

To grow in an orderly pattern consistent with economic, social and environmental needs, providing for continued small-town character and preservation of surrounding agricultural lands.

Policies

1.A.3. *The City shall designate land for development consistent with the needs of the community and consistent with its efforts to maintain a positive fiscal balance for the City.*

1.A.6. *The City shall promote infill development and reuse of underutilized parcels in a manner compatible with the character of the surrounding neighborhood.*

GOAL 1.E

To designate adequate commercial land for and promote development of commercial uses compatible with surrounding land uses to meet the present and future needs of Woodland residents and visitors and to maintain Woodland's economic vitality.

Policies

1.E.1. *The City shall designate commercial land in appropriate locations to provide for various kinds of commercial development to meet the needs of Woodland residents and visitors. The City shall strive to avoid creating an oversupply of commercially-designated land to prevent the dilution or deterioration of currently viable commercial areas.*

GOAL 1.F

To develop and maintain an economically-viable and physically attractive Downtown.

Policies

1.F.2. *The City shall ensure that Downtown remains the sole central business district for Woodland.*

The proposed business is considered a professional office use and, as conditioned, is consistent with the

General Plan.

Zoning Consistency

Land Use

The zoning designation for the site is Central Business District (CBD). The project is subject to the City's Downtown Specific Plan. Bail bonds offices are currently permitted only in Districts B and D of the Specific Plan as a Commercial Service use, with a Conditional Use Permit.

Staff supports the proposed specific plan amendment to allow bail bonds offices with an approved Conditional Use Permit in District A4 of the Downtown Specific Plan (Central Business District), as identified in Figure 3-3 of the Specific Plan. The amendment would allow for a bail bonds office to be located within close proximity to the new county courthouse currently under construction at the southwest corner of Main and Sixth Streets, but would limit the proliferation and concentration of multiple bail bonds offices along Main Street and at the gateway to Historic Downtown Woodland. Bail bonds establishments tend to cluster near jails and courthouses, in accessible locations where walk-in customers can negotiate bail in as short amount of time as possible. Customers of bail bonds businesses are frequently family members or friends of someone who has been arrested.

As proposed, the specific plan amendment would limit the number of bail bonds businesses within District A4 of the Downtown Specific Plan to a maximum of two (2) at any point in time. The proposed limitation would minimize the proliferation of bail bonds businesses on Main Street adjacent to the new County Courthouse and particularly within the "eastern gateway" to the City's Historic Downtown District. The Downtown Specific Plan seeks to avoid overconcentration of any one type of business within District A4 and rather seeks to balance retail and service needs of city residents through a mix of uses.

As outlined in the attached Ordinance (Attachment 1, Exhibit A), it is recommended that the Downtown Specific Plan provide specific performance standards for bail bonds businesses, including:

- *Bail bonds businesses shall be located at least 200 feet from any other bail bonds business as measured from the property/parcel boundary.*
- *Bail bonds businesses shall at no time be located within 200 feet of residentially zoned property.*
- *Not more than one (1) bail bonds business shall be permitted on Main Street (on a property/parcel with frontage on Main Street), and not more than two (2) bail bonds businesses shall be permitted within District A4 at any one time.*
- *Signage for bail bonds businesses shall comply with Section 6.7 of this Specific Plan, but shall be limited to not more than 20 square feet in total sign area or two times the linear frontage of the leased space, whichever is less. Total sign area includes logos, which shall not exceed 4 square feet. Sign lettering shall not exceed 20 inches in height and shall be compatible with the design and scale of the building. Internally illuminated pan-channel letters are not permitted. If illuminated, signage must be down-lit with decorative lighting compatible with the design of the building or halo back lit with soft*

white light only. Flags, sandwich boards or other attention getting devices are prohibited at all times. Compliance with these standards is subject to review and approval by the Community Development Director.

- *Bail bond businesses shall not operate past 8 PM except on appointment basis.*

Based on discussions with the Woodland Police Department, bail bond agents typically have a positive working relationship with their clients because the bond posted on their behalf is allowing them to attend court out of custody. Bail is a financial arrangement that a bail bonding agency will make on behalf of the criminal defendant. A bail bonding agency, acting for the defendant, will arrange with the court to have a defendant released from jail pending the trial in exchange for money or collateral, which may be cash, assets, or a bond. The court sets the monetary value of the bail. The bail agency is then responsible for ensuring that the individual arrives in court on the day of his or her trial.

The Police Department provided specific safety recommendations for the operation of bail bonds businesses, which have been incorporated in the project's conditions of approval, including:

1. The lobby area shall be well lit and visible to all staff during business hours.
2. The front door shall be equipped with a device that emits an audible sound so that staff knows that someone has arrived at the business.
3. The back door to the business shall remain locked from the outside, but still provide for emergency fire exit.
4. The business shall have a panic button installed in a location that is easily accessible to bail bonds staff and that goes directly to Woodland Police Department dispatchers.
5. If the business is staffed outside of its normal business hours, it shall keep the door locked after its posted closing time.

It is also recommended that children should not be allowed in the business without an accompanying parent, and any on-site safe should be kept out of site to prevent theft.

Late Night Operation

The Conditional Use Permit requirement for bail bond businesses ensures adequate discretionary review of these uses, particularly in regard to operation of the business during late night and early morning hours. The use shall not be approved unless the facility can operate without detriment to nearby residential uses or the general welfare of the surrounding area.

The proposed bail bonds business will be "open to the public" from 8:00 AM to 6:00 PM. Bail bonds staff will be available by phone after hours; and if needed will meet with clients at the main office at 1037 Main Street by appointment only. A majority of the "work" happens at the jail or at the courthouse. The office will be closed to the public and lock its doors after 6:00 PM.

As stated above, the project has been conditioned to include safety related conditions per Woodland Police Department recommendations.

Parking

The proposed use will be located within an existing commercial building with 18 on-site parking spaces. Additional off-street parking within the downtown is required only if the square footage of a building is increased by ten percent or more. The proposed use does not increase the size of the existing building and therefore does not require any additional off-street parking. Sufficient on-site parking is available to accommodate the proposed use within the existing commercial center.

Setbacks and Height

The existing building complies with the Downtown Specific Plan setback requirements and Community Design Standards. No new structural changes are being made to the outside of the building.

Signage

Article 24 of the Zoning Code (Chapter 25 of the Municipal Code) commencing with Section 25-21-10 addresses signs. Signs require a separate permit, and tenants shall submit construction drawings and receive approval for all proposed signage. Staff will review these plans to ensure that they meet established zoning and Downtown Specific Plan requirements. Signage within the downtown shall be compatible with the historic character of the downtown area and shall reinforce rather than detract from the existing downtown historical character.

Amendments and Zone Changes

Article 29 of the Zoning Code, (Chapter 25 of the Municipal Code) commencing with Section 25-29-01, addresses zone changes. The Planning Commission shall hold a public hearing on any such proposed rezoning. Notice of the time and place of said hearing including a general explanation of the matter to be considered and including a general description of the area affected shall be given at least ten (10) calendar days prior to the hearing. After the public hearing, the Planning Commission shall render its decision in the form of a written recommendation to the City Council. If, from the facts presented at the public hearing, the Commission is satisfied that the proposed change conforms to the General Plan, the Commission may recommend such change to the City Council.

Conditional Use Permit

Article 27 of the Zoning Code (Chapter 25 of the Municipal Code) commencing with Section 25-27-01 addresses conditional use permits and permits the Planning Commission to approve, conditionally approve, or deny an application for a conditional use permit. The zoning designation for the site is Downtown Specific Plan, District A4. Bail bonds businesses will be a conditionally permitted use provided that the City Council amends the Downtown Specific Plan to conditionally permit such use in District A4. Because only the City Council may amend the Downtown Specific Plan, staff recommends that the City Council approve both the ordinance amending the Downtown Specific Plan and the Conditional Use Permit, which shall only become operative upon the effective date of the ordinance amending the Downtown Specific Plan.

Staff has drafted a resolution to be considered by the City Council approving a conditional use permit for this bail bonds business, which is attached as Attachment 3.

If the conditional use permit is approved by the City Council, the applicant will be required to comply with all conditions of approval. Failure to adhere to the conditions could result in the revocation of the conditional use permit.

Recommendation

Staff recommends that the Planning Commission take action on the following:

1. Receive the Staff Report;
2. Conduct the Public Hearing; and
3. Adopt Resolution No. PC 15-_____, recommending City Council approval of: 1) the attached Ordinance amending Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, of the Downtown Specific Plan to conditionally permit bail bonds businesses within District A4 of the Central Business District, as identified in Figure 3-3 of the Specific Plan and to provide performance standards for the operation of bail bonds establishments within the Central Business District; and 2) a Conditional Use Permit (CUP) allowing a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street subject to the Conditions of Approval, which will become operative upon the effective date of the ordinance amending the Downtown Specific Plan.

Attachments:

1. Planning Commission Resolution
2. Exhibit 1: City Council Ordinance Amending the Downtown Specific Plan
3. Exhibit 2: City Council Resolution Approving Conditional Use Permit
4. Exhibit A: CUP Conditions of Approval
5. Downtown Specific Plan Districts Map
6. General Application and Project Justification Statement

1037 Main Street, Woodland, ca.

(LEDs) illuminated routed individual pan channel letter signs
signage size = 30" ht. X 60" wde



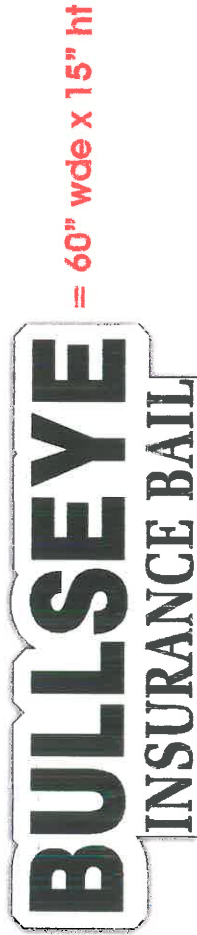
Flush mounted to the aluminum panel soffit

ILLUMINATED
(LEDs) ROUTED
INDIVIDUAL PAN
CHANNEL LOGO
WITH 3M TRANSLUCENT VINYL
OVERLAYED

Lease store frontage = 25ft



2 units of routed (LEDs) individual pan channel logo



RESOLUTION NO. PC 16- _____

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WOODLAND RECOMMENDING TO THE CITY COUNCIL
APPROVAL OF 1) AN ORDINANCE AMENDING TABLE 8-1, LAND
USE MATRIX, AND SECTION 8.5, PERFORMANCE STANDARDS, OF
THE CITY OF WOODLAND DOWNTOWN SPECIFIC PLAN TO
CONDITIONALLY PERMIT BAIL BONDS BUSINESSES WITHIN
DISTRICT A4, EASTERN GATEWAY, OF THE DOWNTOWN
BUSINESS DISTRICT AND PROVIDE PERFORMANCE STANDARDS
FOR BAIL BONDS ESTABLISHMENTS OPERATING WITHIN THE
CENTRAL BUSINESS DISTRICT AND 2) A CONDITIONAL USE
PERMIT ALLOWING A BAIL BONDS BUSINESS (BULLS EYE BAIL
BONDS) TO OPERATE AT 1037 MAIN STREET SUBJECT TO THE
CONDITIONS OF APPROVAL AND THE ADOPTION OF THE
ORDINANCE AMENDING THE DOWNTOWN SPECIFIC PLAN**

WHEREAS, Michael Balasa submitted an application to the City of Woodland for the operation of a bail bonds businesses at 1037 Main Street, within District A4; and

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on January 21, 2016, to review and consider recommending to the City Council approval of the proposed Ordinance to amend Table 8-1, Land Use Matrix, and Section 8.5 Performance Standards, of the City of Woodland Downtown Specific Plan to conditionally permit Bail Bonds businesses within District A4, Eastern Gateway, of the Central Business District; and to provide performance standards for bail bonds establishments operating within the Central Business District (“Exhibit 1”); and

WHEREAS, the City of Woodland Downtown Specific Plan currently conditionally permits Bail Bonds businesses within Districts B and D of the Downtown Business District; and

WHEREAS, the City desires to avoid overconcentration of any one type of business within District A4 of the Downtown Specific Plan and, rather, seeks to balance retail and service needs of city residents through a mix of uses; and

WHEREAS, the City desires to minimize the proliferation of bail bonds businesses on Main Street adjacent to the new County Courthouse and within the City’s Historic Downtown District, particularly at the gateway to the downtown; and

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on January 21, 2016, to review and consider recommending to the City Council approval of a Conditional Use Permit to allow a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street, subject to the Conditions of Approval included in “Exhibit 2,” and the City Council’s adoption of an Ordinance approving the Downtown Specific Plan Amendment as described above; and

WHEREAS, pursuant to the California Environmental Quality Act (“CEQA”), the proposed ordinance amendment is exempt from CEQA review per CEQA Guideline 15061 (b)(3), which apply to projects that will not have a significant effect on the environment; and the proposed Conditional Use Permit is exempt from CEQA per CEQA Guideline 15303, which applies to the conversion of small structures from one use to another where only minor modifications are made in the exterior of the structure; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Woodland, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby make the following findings, determinations, and recommendations with respect to the proposed Downtown Specific Plan Amendments and the proposed Conditional Use Permit:

- 1) The Planning Commission, in recommending to the City Council approval of the Downtown Specific Plan Amendments and the Conditional Use Permit, hereby makes the following findings:
 - a) The proposed amendments to the Downtown Specific Plan are in general conformance with the Woodland General Plan, which seeks to encourage small businesses and promote development of commercial uses compatible with surrounding land uses to meet the present and future needs of Woodland residents and visitors, and to maintain Woodland’s economic viability.
 - b) The proposed Conditional Use Permit allowing for the operation of a bail bonds business at 1037 Main Street conforms to the City of Woodland General Plan, applicable provisions of the Zoning Ordinance and the Downtown Specific Plan as proposed to be amended by the City Council, in that the use shall be conditionally permitted in District A4 of the Central Business District, and appropriate conditions have been made part of the approval.
 - c) The site for the intended use is adequate in size, shape, topography, accessibility, and other physical characteristics to accommodate the use and required provisions of the Zoning Ordinance and satisfies all minimum physical standards required under the City’s Zoning Ordinance for similar type uses.
- 2) The Planning Commission does hereby recommend to the City Council approval of Application No. PLNG 15-00004 including 1) amendments to Table 8-1, Land Use Matrix, and Section 8.5, Performance Standards, of the City of Woodland Downtown Specific Plan to conditionally permit Bail Bonds businesses within District A4, Eastern Gateway, and to

provide performance standards for bail bonds establishments operating within the Central Business District; and 2) the Conditional Use Permit subject to the conditions of approval included in “Exhibit 2,” allowing for the operation of a bail bonds business (Bulls Eye Bail Bonds) at 1037 Main Street within District A4 of the Central Business District as identified in Figure 3-3 of the Downtown Specific Plan. The Conditional Use Permit will become operative upon the effective date of the Ordinance amending the Downtown Specific Plan.

PASSED AND ADOPTED by the Planning Commission of the City of Woodland at a regular meeting on the 21st day of January, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chairperson

ATTEST:

Cindy Norris, Principal Planner

EXHIBIT 1

[Ordinance]

EXHIBIT 2

[City Council Resolution Approving Conditional Use Permit]

RESOLUTION NO. PC 16- _____

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WOODLAND RECOMMENDING TO THE CITY COUNCIL DENIAL
OF A CONDITIONAL USE PERMIT TO BULLS EYE BAIL BONDS,
WHICH PROPOSES TO LOCATE AT 1037 MAIN STREET AND TO
NOT ADOPT AMENDMENTS THAT WOULD PERMIT THE BAIL
BONDS BUSINESS TO LOCATE IN DISTRICT A4 OF THE
DOWNTOWN SPECIFIC PLAN AREA**

WHEREAS, on December 30, 2014, Michael Balasa submitted an application to the City of Woodland for the operation of a bail bonds businesses at 1037 Main Street, within District A4 of the Downtown Specific Plan Area; and

WHEREAS, while bail bonds businesses are currently permitted to operate within Districts B and D of the Central Business District with an approved conditional use permit, operation of the proposed bail bonds business in District A4 would require a Conditional Use Permit and an amendment to the Downtown Specific Plan; and

WHEREAS, in order for the applicant to operate a bail bonds business, the Downtown Specific Plan would need to be amended to permit, or conditionally permit, such use; and

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on April 2, 2015, to review and consider recommending to the City Council approval of the Conditional Use Permit as well as a proposed Ordinance to amend Table 8-1, Land Use Matrix, and Section 8.5 Performance Standards, of the City of Woodland Downtown Specific Plan to conditionally permit Bail Bonds businesses within District A4, Eastern Gateway, of the Central Business District; and to provide performance standards for bail bonds establishments operating within the Central Business District (“Exhibit 1”); and

WHEREAS, the Woodland Planning Commission, following a public hearing, voted by a vote of 5-1 to recommend to the City Council that the Conditional Use Permit and amendment to the Downtown Specific Plan not be approved by the City Council; and

WHEREAS, the City Council of the City of Woodland considered the Planning Commission’s recommendation on May 2, 2015 during a noticed public hearing and after considering testimony from the public, asked the Planning Commission to consider a new sign proposed by the applicant as well as to solicit additional feedback from adjoining neighbors to the proposed business; and

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on January 21, 2016, to review and consider the City Council’s previous direction and to consider recommending to the City Council approval of a Conditional Use Permit to allow a bail bonds business (Bulls Eye Bail Bonds) to operate at 1037 Main Street, subject to certain Conditions of

Approval and the City Council's adoption of an Ordinance approving the Downtown Specific Plan Amendment as described above; and

WHEREAS, the Planning Commission does not find it appropriate to amend the Downtown Specific Plan to allow bail bonds businesses to locate within District A4 given that the proposed use is conditionally allowed in Districts B and D of the Downtown Business District and allowed "by-right" in Zones C-1, C-2, and C-3 outside of the Downtown, and "by-right" in Areas C, D, E and F within the East Street Specific Plan Area; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Woodland, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby make the following findings, determinations, and recommendations with respect to the Conditional Use Permit:

- 1) That the City Council deny the Conditional Use Permit because:
 - a) The purpose of conditional use permits is to allow the proper integration into the community of uses that may be suitable only in specific locations in a zoning district or only if such uses are designed or laid out on the site in a particular manner, and the proposed use is not designed or laid out in a manner that furthers the proper integration of the downtown area. More specifically, the proposed use does not further the goals and stated vision for the Downtown, as specified in the Downtown Specific Plan, including the vision of a "vibrant Downtown area where visitors, shoppers, and business people stroll..." and where "shopping, dining and entertainment opportunities abound."
 - b) The location of the proposed use on Main Street, at the eastern entrance to the City's downtown, will not provide an attractive entrance into downtown Woodland, especially in light of the City's efforts to revitalize the downtown.
 - c) The proposed use does not further General Plan Policy 1.F.3, which seeks to "promote the use of first floor space in new buildings Downtown for quality retail, food service, financial institutions, family entertainment and other high volume commercial uses, and the use of upper floors for office and residential uses," as the use is not considered a high volume commercial use.
 - d) In light of the above, the proposed use is not desirable for the public convenience and would be detrimental to the general public welfare.
- 2) Therefore, the Planning Commission does hereby recommend to the City Council denial of Application No. PLNG 15-00004 including (1) the Conditional Use Permit allowing for the

operation of a bail bonds business (Bulls Eye Bail Bonds), proposed to be located at 1037 Main Street within District A4 of the Central Business District and (2) the necessary amendments to the City of Woodland Downtown Specific Plan that would conditionally permit Bail Bonds businesses within District A4, Eastern Gateway.

PASSED AND ADOPTED by the Planning Commission of the City of Woodland at a regular meeting on the 21st day of January, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chairperson

ATTEST:

Cindy Norris, Principal Planner

EXHIBIT 1

[Ordinance]

EXHIBIT 2

[City Council Resolution Denying Conditional Use Permit]

1037 Main Street, Woodland, ca.

(LEDs) illuminated routed individual pan channel letter signs
signage size = 30" ht. X 60" wde



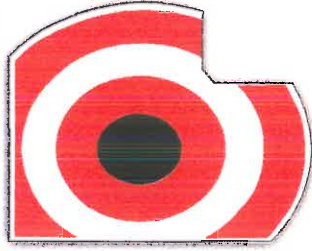
Flush mounted to the aluminum panel soffit

ILLUMINATED
(LEDs) ROUTED
INDIVIDUAL PAN
CHANNEL LOGO
WITH 3M TRANSLUCENT VINYL
OVERLAYED

Lease store frontage = 25ft



2 units of routed (LEDs) individual pan channel logo



= 20" wde x 24" ht



= 60" wde x 15" ht

June 3, 2015

Woodland City Council
300 First St.
Woodland, CA 95695

Honorable Mayor and Councilmembers,

It has been brought to our attention that the City Council would like the Chamber to take a position on a proposed Bail Bond Insurance company that wishes to locate on Main Street near the new Courthouse. It is also our understanding that this issue went before the Planning Commission and the business is not one that is approved for the downtown area in accordance with the current Downtown Specific Plan.

Recently, the Chamber was asked to take a position on another proposed business for Woodland and its location. We would like to reiterate what was communicated at that time. As soon as possible, following the completion of the General Plan Update, the city needs to review and update the antiquated ordinances and zoning codes. At that time, the Chamber will create a task force and we are anxious to assist in the process and give input.

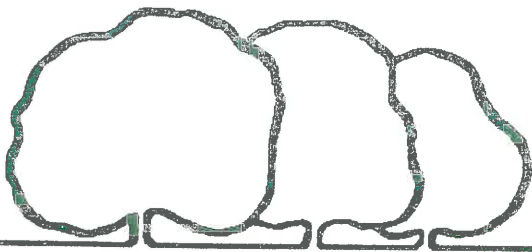
The Chamber advocates for business and encourages them to thrive and want to make it easy for companies to do business in Woodland. Where they locate has to be the job of the city planning department and the Planning Commission. The plans presently in place were created for certain reasons and at the time for smart growth. Previous companies doing business in Woodland had to adhere to the current zoning plans and until they are changed future development should be based on what is in place.

Thank you for your time and consideration on this issue.

Sincerely,

Al Aldrete
President

Kristy Wright
Chief Executive Officer



City of Woodland

Community Development Department 300 First Street Woodland CA 95695 (530) 661-5820 (530) 406-0832 Fax

December 14, 2015

**** YOUR INPUT IS REQUESTED ****

**DOWNTOWN SPECIFIC PLAN AMENDMENT TO CONDITIONALLY ALLOW
A BAIL BONDS BUSINESS WITHIN DISTRICT "A4" OF THE DOWNTOWN BUSINESS DISTRICT**

Dear Downtown Business and/or Property Owner,

The City of Woodland Planning Division is requesting feedback from business and property owners along and within close proximity to Main Street (within the Downtown Business District) regarding whether they support or oppose a requested amendment to the Downtown Specific Plan that would allow not more than two bail bonds businesses to operate within Downtown Business District "A4" (District Map enclosed) at any given time. Bail bonds businesses would be subject to specific "performance standards" as outlined in the following attachment.

PROJECT REQUEST:

The City of Woodland received an application requesting an amendment to the Downtown Specific Plan to allow bail bonds businesses on Main Street, within District A4 ("Eastern Gateway") of the Downtown Business District (**please see enclosed District Map**). If the amendment is approved by City Council, bail bonds businesses permitted within District A4 would be subject to a public hearing and Planning Commission approval of a Conditional Use Permit and would be subject to specific performance standards as outlined in the following attachment. The application also includes a specific request to allow "Bulls Eye Bail Bonds" to operate at 1037 Main Street, within District A4. (Please find the attached project aerial map and signage proposal for Bulls Eye Bail Bonds.)

Currently, bail bonds businesses are prohibited within Districts A1-A4, District C and Districts E1 and E2 of the Downtown Business District. Bail bonds businesses are currently allowed only in Districts B and D, subject to a public hearing and Planning Commission approval of a Conditional Use Permit. Outside of the Downtown Business District, bail bonds businesses are permitted in most Commercial land use designations.

YOUR FEEDBACK REQUESTED:

If you wish to provide feedback (your support, opposition, or concerns) regarding the proposed amendment, you may do so in one of the following three ways:

1. Email Erika Bumgardner, Senior Planner, at Erika.bumgardner@cityofwoodland.org;

2. Call Erika Bumgardner, Senior Planner, at (530) 661-5886; or
3. Fill out the attached comment form and return it to the following address:

City of Woodland
Attn: Erika Bumgardner
Community Development Department
300 First Street
Woodland, CA 95695

Please submit comments by Wednesday, January 20, 2016, and please be sure to include your name, contact information and the name and address of the business or property you represent.

PLEASE NOTE: As the enclosed Public Hearing Notice indicates, this project request will be heard by the Woodland Planning Commission on Thursday, January 21, 2016, at 6:30 PM in the City Council Chambers at City Hall, 300 First Street, Woodland, CA. You are welcomed and encouraged to provide your comments at this public hearing as well. At the conclusion of the meeting, the Planning Commission will consider making a recommendation to the City Council to support or deny the requested specific plan amendment and Conditional Use Permit. You will be notified of the date and time of the subsequent City Council public hearing as it is scheduled. **Written comments received prior to the posting of the Planning Commission and/or City Council staff report packets will be included in the report packets for review and consideration by each governing board, unless you specifically request that your comments not be included in the report packets.** Written comments received after the packets are posted will be hand delivered to the Planning Commission and/or City Council prior to the public hearing.

It is anticipated that the January 21st report packet will be available for review on January 15, 2015. Report packets are available online at www.CityofWoodland.org, or at the Community Development Department located on the first floor of City Hall. Please note that City Hall will be closed between the afternoon of December 24th through January 3rd, opening again on Monday, January 4th.

If you have any questions regarding the proposed amendment, please feel free to contact me at (530) 661-5886 or by email at Erika.bumgardner@cityofwoodland.org.

Respectfully,



Erika Bumgardner, Senior Planner
City of Woodland
300 First Street
Woodland, CA 95695

COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, _____, Property/Business Owner, of
(name) (circle one)

_____, Support/Oppose the proposed Downtown
(business name and/or property address) (circle one)

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the
"Eastern Gateway") of the Downtown Specific Plan Area.

I **SUPPORT** the proposed Amendment for the following reason(s): _____

I **DO NOT** support the proposed Amendment for the following reason(s): _____

I choose not to state my opinion at this time; however, I have the following questions and/or concerns
with the proposed use/location: _____

I would like a representative of the Woodland Planning Division to contact me to discuss this project:
YES or **NO** (circle one). If Yes, please provide your contact information below:

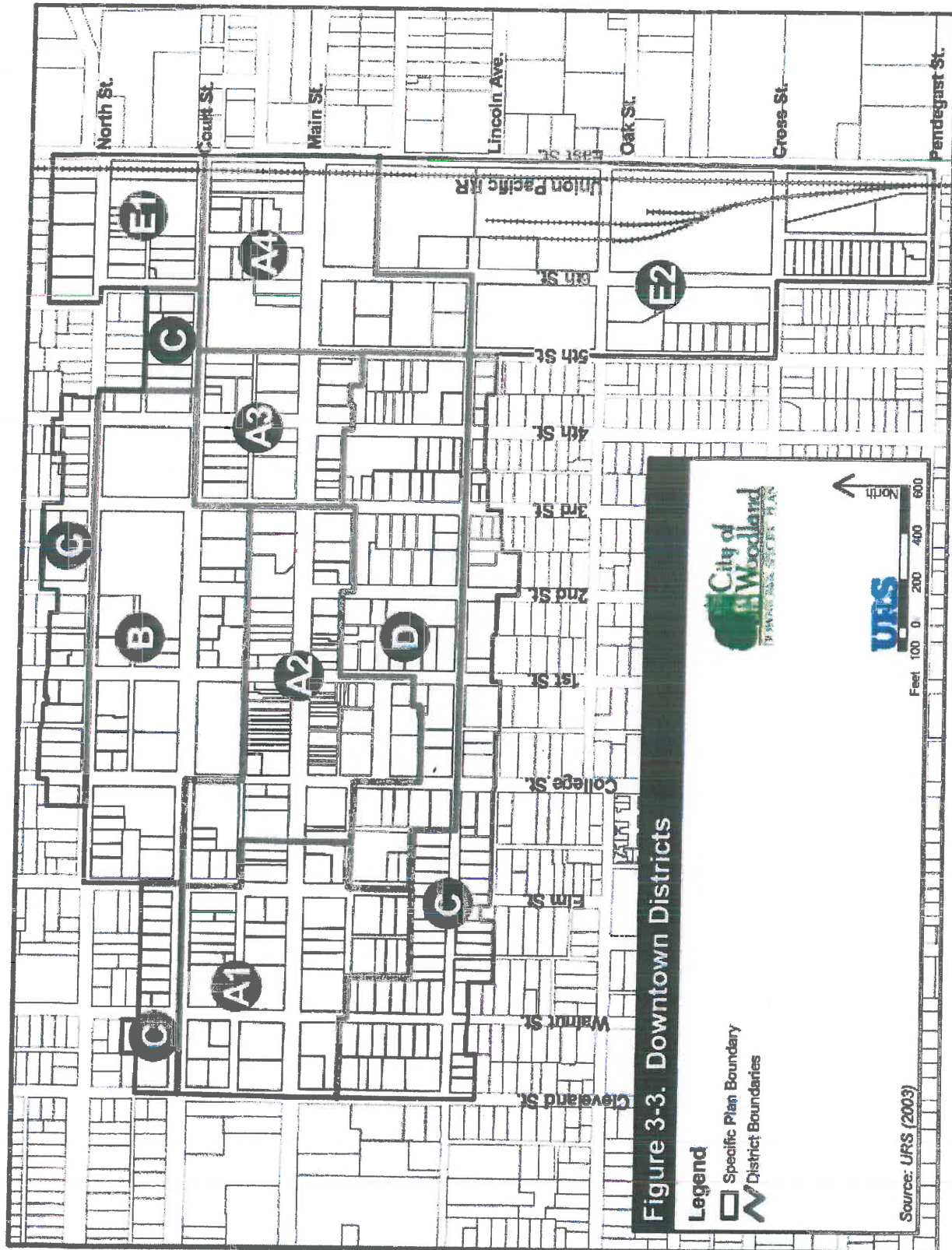
Name _____ Phone/Email _____

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)

**Postage
Required**

**Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695**

Downtown Specific Plan – Downtown Districts



*** Proposed ***

PERFORMANCE STANDARDS

For BAIL BONDS BUSINESSES

City of Woodland Downtown Specific Plan Amendment

Section 8.5, Performance Standards, of Chapter 8 of the City of Woodland Downtown Specific Plan is hereby amended to include the following language under the “Commercial Service” category:

“Chapter 8. Policies and Standards. Section 8.5 – Performance Standards

Bail Bonds Businesses

- Bail bonds businesses shall be located at least 200 feet from any other bail bonds business as measured from the property/parcel boundary.
- Bail bonds businesses shall at no time be located within 200 feet of residentially zoned property.
- Not more than one (1) bail bonds business shall be permitted on Main Street (on a property/parcel with frontage on Main Street), and not more than two (2) bail bonds businesses shall be permitted within District A4 at any one time.
- Signage for bail bonds businesses shall comply with Section 6.7 of this Specific Plan, but shall be limited to not more than 20 square feet in total sign area or two times the linear frontage of the leased space, whichever is less. Total sign area includes logos, which shall not exceed 4 square feet. Sign lettering shall not exceed 20 inches in height and shall be compatible with the design and scale of the building. Internally illuminated pan-channel letters are not permitted. If illuminated, signage must be down-lit with decorative lighting compatible with the design of the building or halo back lit with soft white light only. Flags, sandwich boards, or other attention getting devices are prohibited at all times. Compliance with these standards is subject to review and approval by the Community Development Director.
- Bail bond businesses shall not operate past 8 PM except on an appointment basis.”



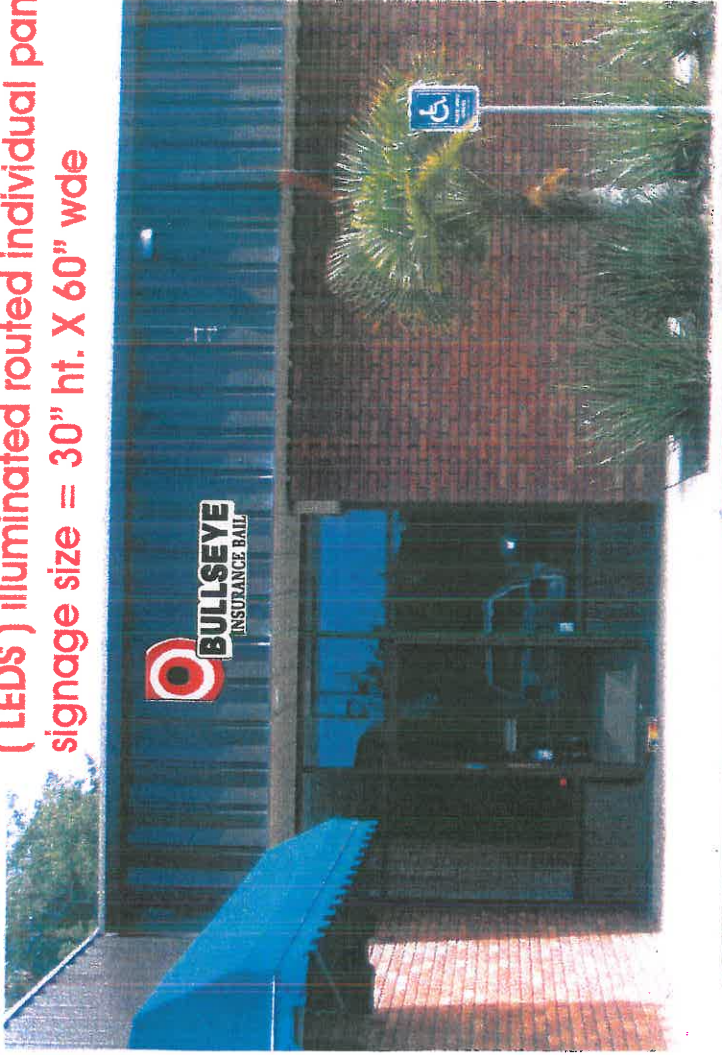
Tenant Space
1037 Main Street
APN 005-645-013

County
Court
House

Freeman
Park

1037 Main Street, Woodland, ca.

(LEDs) illuminated routed individual pan channel letter signs
signage size = 30" ht. X 60" wde



Flush mounted to the aluminum panel soffit

ILLUMINATED
(LEDs) ROUTED
INDIVIDUAL PAN
CHANNEL LOGO
WITH 3M TRANSLUCENT VINYL
OVERLAYED

Lease store frontage = 25ft



2 units of routed (LEDs) individual pan channel logo



COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, Thomas Wendt, Property/Business Owner, of
(name) (circle one)

Amana Everedell, Support/ Oppose the proposed Downtown
(business name and/or property address) (circle one)

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the
"Eastern Gateway") of the Downtown Specific Plan Area.

I **SUPPORT** the proposed Amendment for the following reason(s): _____

I **DO NOT** support the proposed Amendment for the following reason(s): The existing ordinance provides plenty of space for new Bail Bonds businesses, and are only a few blocks away from the courthouse

I choose not to state my opinion at this time; however, I have the following questions and/or concerns with the proposed use/location: _____

I would like a representative of the Woodland Planning Division to contact me to discuss this project:
YES or **NO** (circle one). If Yes, please provide your contact information below:

Name _____ Phone/Email _____

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)

RECEIVED

JAN - 8 2016

City of Woodland
Community Development

COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, Duane Thomson, ~~XXXXXX~~ Business Owner, of
(name) (circle one)

712 Main Street

(business name and/or property address)

~~XXXXXX~~ Support/Oppose the proposed Downtown
(circle one)

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the "Eastern Gateway") of the Downtown Specific Plan Area.

I SUPPORT the proposed Amendment for the following reason(s):

I DO NOT support the proposed Amendment for the following reason(s): I feel the downtown specific plan was drafted with the clear intent of what was deemed appropriate for the long term goals and use of Main Street. We are beginning to see the fruits of this vision and I think we should see it through as envisioned.

I choose not to state my opinion at this time; however, I have the following questions and/or concerns with the proposed use/location: _____

I would like a representative of the Woodland Planning Division to contact me to discuss this project:
YES or **NO** (circle one). If Yes, please provide your contact information below:

Name _____ Phone/Email _____

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)

COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, Ali Kahdim, Property/Business Owner, of
(name) (circle one)

USA Tires Inc., Support/ Oppose the proposed Downtown
(business name and/or property address) (circle one)

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the
"Eastern Gateway") of the Downtown Specific Plan Area.

I **SUPPORT** the proposed Amendment for the following reason(s): _____

I **DO NOT** support the proposed Amendment for the following reason(s): Downtown
Woodland has made great changes to improve
the look downtown Bailbond business is A negative
image to the Entrance to Downtown Woodland

I choose not to state my opinion at this time; however, I have the following questions and/or concerns
with the proposed use/location: _____

I would like a representative of the Woodland Planning Division to contact me to discuss this project:

YES or NO (circle one). If Yes, please provide your contact information below:

Name _____ Phone/Email _____

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)

COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, Laurel Boyd, Property/Business Owner, of

(name)

(circle one)

L&S Printing

(business name and/or property address)

Support/Oppose the proposed Downtown

(circle one)

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the "Eastern Gateway") of the Downtown Specific Plan Area.

I **SUPPORT** the proposed Amendment for the following reason(s):

I **DO NOT** support the proposed Amendment for the following reason(s): We do not need a bail bonds business in the Historic Downtown Woodland area on Main Street, bad for the appearance. We don't need anymore raff raff in this area.

I choose not to state my opinion at this time; however, I have the following questions and/or concerns with the proposed use/location:

I would like a representative of the Woodland Planning Division to contact me to discuss this project:

YES or NO (circle one). If Yes, please provide your contact information below:

Name Laurel Boyd

Phone/Email 530-666-7794

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)

COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, CHERYL BREMER, Property/Business Owner, of
(name) (circle one)

Remember When Emporium, Support/Oppose the proposed Downtown
(business name and/or property address) (circle one)

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the

"Eastern Gateway") of the Downtown Specific Plan Area.

I **SUPPORT** the proposed Amendment for the following reason(s): _____

I **DO NOT** support the proposed Amendment for the following reason(s): Main Street

does not need this type of business which will
bring undesirable people to the historic downtown
district. No reason to change the specific plan to accommodate
this business.

I choose not to state my opinion at this time; however, I have the following questions and/or concerns
with the proposed use/location: _____

I would like a representative of the Woodland Planning Division to contact me to discuss this project:

YES or **NO** (circle one). If Yes, please provide your contact information below:

Name Cheryl Bremer Phone/Email cbremer47@yahoo.com

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)

The HWDPT board voted against this amendment. Why are you ignoring this?

COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, Levi Ross

(name)

Executive Director

Property/Business Owner, of
(circle one)

World United Way

(business name and/or property address)

Support/Oppose the proposed Downtown
(circle one)

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the
"Eastern Gateway") of the Downtown Specific Plan Area.

I **SUPPORT** the proposed Amendment for the following reason(s): _____

I **DO NOT** support the proposed Amendment for the following reason(s): _____

I choose not to state my opinion at this time; however, I have the following questions and/or concerns
with the proposed use/location: _____

I am neither for nor against.

I would like a representative of the Woodland Planning Division to contact me to discuss this project:
YES or **NO** (circle one). If Yes, please provide your contact information below:

Name _____ Phone/Email _____

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)

COMMENT FORM

Please Return by January 20, 2016 to:

Erika Bumgardner, Senior Planner
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

I, Don Sharp, Property/Business Owner, of 927 Main St,
(name) (circle one)
Fold line RE/MAX Woodland, Support/Oppose the proposed Downtown
(business name and/or property address) (circle one) Fold line

Specific Plan Amendment to allow for a bail bonds business to locate within District A4 (the
"Eastern Gateway") of the Downtown Specific Plan Area.

I **SUPPORT** the proposed Amendment for the following reason(s):

I **DO NOT** support the proposed Amendment for the following reason(s): I am opposed
to A Bail Bond Business on Main Street
especially at the proposed location because
it is our Downtown gateway.

I choose not to state my opinion at this time; however, I have the following questions and/or concerns
with the proposed use/location: _____

I would like a representative of the Woodland Planning Division to contact me to discuss this project:
YES or **NO** (circle one). If Yes, please provide your contact information below:

Name _____ Phone/Email _____

(Please Fold, Staple and Stamp for Mail Delivery. Return Address on Back.)



Petition to operate Bullseye Bail Bonds
1037 Main Street, Woodland, CA 95695
In area A4 of the Downtown Specific Plan
(Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
6-3-15		STEVE BACHMAN	723 MAIN ST.	OWNER
6-3-15		Pamela Deppong	725 Main St #107	Woodland
6-3-15		Peter Kouski	725 Main St. 101	Woodland
6-3-15		Elias Longoria	725 Main St. #107	Woodland
6-3-15		Gregory A Jenkins	725 Main St #230	
6-3-15		Mac Fashion	4th + Hope	Rehab

Date	Signature	Printed Name	Address	Comment
6/3/15		Jessica Bohon	Woodland 95716	
6/3/15		CASSIOY NG	615 MAIN ST	
6/3/15		Monica Vogel	607 Main St	
6/3/15		Ricci Clay	16 Park Ave	

Petition to operate Bullseye Bail Bonds

1037 Main Street, Woodland, CA 95695

In area A4 of the Downtown Specific Plan (Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
6/3/15		Jenna Brimage	40 W. Clark St	
6/3/15		Ivan Schneider	508 MAIN ST	Good Spot
6/3/15		Katrina Ahlstrom	523 G. St.	approve
6/3/15		JORA MARTIN	510 MAIN	GOOD SPOT
6/3/15		Ryan Smith	526 main st.	Approve
6/3/15		Marianna Shaw	508 main st	APPROVE

Date	Signature	Printed Name	Address	Comment
6/3/15		Alfredo Tejeda	27540 main st	Approve
6/3/15		Brandon Little	31 Clanton Ave	Approve
6/3/15		Danni	608 E Main	Approve
6/3/15		Cheri Eastman	705 main st.	Approve

Petition to operate Bullseye Bail Bonds

1037 Main Street, Woodland, CA 95695

In area A4 of the Downtown Specific Plan (Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
6/3/15		Lizanne Shera	1041 Main St.	Golden Beach Tanning
6/3/15		Salma	875 W Southwood	Ramona
6-3-15		R. B.	1021. main st	Bud's Station -
6/3/15		Mike Raker	916 Main St	Good
6/3/15		Alex Quint	928 main	enterprise
6/3/15		Jamison Bare	928 main	enterprise

Date	Signature	Printed Name	Address	Comment
6-3-15		Christine Under	PO Box 1407	Good Spot
6-3-15		Tito Delator	306 6th st	G.M
6-3-15		Maria Sandoval	PO Box 911	Good
6/3/15		Nathaniel Isaac	Colonia St	

Banks Cedarvale ^{Yes} if we can have Bail Bonds in our store
serving area then allow all of us to profit. A3 917 Main St
530 304-0140

Petition to operate Bullseye Bail Bonds
1037 Main Street, Woodland, CA 95695
In area A4 of the Downtown Specific Plan
(Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
6-2		Leslie Rivera	1100 Main St Woodland CA	First American
6-2		Masna Rubio	1100 Main St Woodland	First American
6-2		Milo Van Arman	1100 Main St Woodland	FATED
6-3		Maria Cella	3150 48	
6-3-15		Meloney Rabano	18213 Mandarin St, 95695	
6-3-15		Carolyn Rose	1718 Quincy Dr. 95695	

Date	Signature	Printed Name	Address	Comment
6/3/15		Rachel Martinez	1100 Main St. Ste. 100, Woodland	Woodland oral Sy. office managers
6/3/15		Todd Montgomery	100 MAIN ST STE 200, WOOD	Libm gm.
6/3/15		Jessica Luedy	1100 Main St	
6/3/15		K. Bass	20 Joyce Ct	OK with it!

Petition to operate Bullseye Bail Bonds

1037 Main Street, Woodland, CA 95695

In area A4 of the Downtown Specific Plan (Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
June 3, 2015		TED M. RAMIREZ	537B Main St.	Wald. Owner Sweeties Cafe
6/3/15		ERIKA MONK	537 Main St	Wald. - manager
6/3/15		MICHAEL MATTIS	531 Main St	- WORK HERE
6/3/15		Cruz Morillo	630 Main St.	Bangkok Cuisine
6/3/15		Adam Castano	501 Main St	employee
6/3/15		Chelle Oshind	186 Main St	server

Date	Signature	Printed Name	Address	Comment
6/3/15		Moya Magallon	Pecos	Employee
6/3/15		PECOS	411 Main	owner
6/3/15		Brenda Leonard	744 Second St	

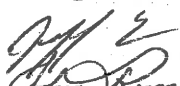
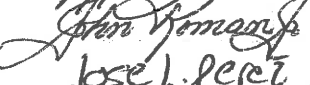
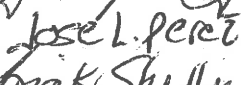
Petition to operate Bullseye Bail Bonds

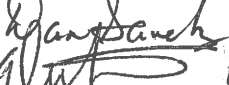
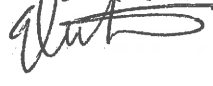
1037 Main Street, Woodland, CA 95695

In area A4 of the Downtown Specific Plan (Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
6/3/15		Jeff Taylor	427 main st	
6/3/15		JOHN ROMANJE	416 Main St	Owner
6/3/15		JOSE L. PEREZ	534 MAIN ST	OWNER
6/3/15		David Shelley	602 Main	OWNER -
6/3/15		Robert Manulla	66 Main St	95695 owner
6/3/15		Chris Beltran	702 Main St	Employee

Date	Signature	Printed Name	Address	Comment
6/3/15		DAN SANCHEZ	702 main st	Employee
6/3/15		Elva Contreras	714 MAIN ST.	MANAGER

Petition to operate Bullseye Bail Bonds
1037 Main Street, Woodland, CA 95695
In area A4 of the Downtown Specific Plan
(Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
5-12	[Signature]	Sody Witten	2767	OK
8-1-15	[Signature]	Daniel Zommerfeld	2948 violet dr wood	approved
8-1-15	[Signature]	Sara Hanton	2448 Violet	good spot
8-1-15	[Signature]	Lisa Carrión	37090 Co. Rd 186	Good spot
8-2-15	[Signature]	John McIn	4725 ALSO WAY	Good people
8-4-15	[Signature]	John Madharyo	501 SUN + ME WOODLAND	Good location

Date	Signature	Printed Name	Address	Comment
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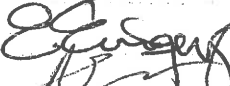
6/3/18	Co	Jane George	1100 Main St Wick CT 06095	
6/3/15	Anne Boots	Anne Boots	1100 Main St Wick CT 06095	Why Not?!
6/3/13	Wick	Yanessa Rodriguez	1100 Main St Wick CT 06095	
6/3/15	Deborah Baumgartner	Deborah Baumgartner	97 1st St. Woodland	approve

Go to www.AtYourBusiness.com for more free business forms

Petition to operate Bullseye Bail Bonds
1037 Main Street, Woodland, CA 95695
In area A4 of the Downtown Specific Plan
(Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to, (a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
6/3/15		Elizabeth Enriquez	705 main St.	Approve.
6-3-15		Ash Khan	705 Main St	Approve!
6-4-15		J. B. Walker	527 Main	opposed. →

Date	Signature	Printed Name	Address	Comment
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Petition to operate Bullseye Bail Bonds
1037 Main Street, Woodland, CA 95695
In area A4 of the Downtown Specific Plan
(Downtown Woodland, CA 95695)

Petition Summary: Request to recommend to the City Council/Planning amending the Downtown Specific Plan to,(a) Conditionally allow a bail bonds business within District A4 of the Downtown Business District; and (b) to adopt performance standards for all bail bonds businesses within the Downtown Specific Plan and to approve a Conditional Use Permit to allow Bulls Eye Bail Bonds to operate at 1037 Main Street, Woodland, CA 95695

Action Petitioned For: We the undersigned are citizens of Woodland/Yolo county who agree in the Act of permitting a Bail Bonds Business in the A4 area of Downtown Woodland, CA 95695

Date	Signature	Printed Name	Address	Comment
6-4-15	<i>Ray Whittaker</i>	RAY WHITTAKER	532 MAIN ST	Fine with me
6-4-15	<i>Tanya Rocha</i>	TANYA ROCHA	532 MAIN ST	Fine with me

Date	Signature	Printed Name	Address	Comment
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Legislation Details (With Text)

File #: 16-295 Version: 1 Name:
Type: Staff Report Status: Agenda Ready
File created: 1/8/2016 In control: Planning Commission
On agenda: 1/21/2016 Final action:
Title: SUBJECT: Public Art Proposal for the Fairfield Inn and Suites, 2100 Freeway Drive
DATE: January 21, 2016

RECOMMENDATION

Staff recommends that the Planning Commission review and approve the public art proposal presented by Fairfield Inn and Suites featuring tile mosaic mural of an olive tree orchard.

Sponsors:

Indexes:

Code sections:

Attachments: [A - Mosaic Mural Design Proposal.pdf](#)
[B - Location of art installation](#)
[C - Samples of Work Completed by Artist](#)

Date	Ver.	Action By	Action	Result
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MEMORANDUM

TO: Members of the Woodland Planning Commission
FROM: Erika Bumgardner, Senior Planner
SUBJECT: Public Art Proposal for the Fairfield Inn and Suites, 2100 Freeway Drive
DATE: January 21, 2016

RECOMMENDATION

Staff recommends that the Planning Commission review and approve the public art proposal presented by Fairfield Inn and Suites featuring tile mosaic mural of an olive tree orchard.

PROJECT PROPOSAL

Rohit Ranchhod, owner, and Vinod Patel, manager, of the Fairfield Inn and Suites, have submitted a custom, artist designed mosaic mural of an olive tree orchard and natural rolling hills landscape to satisfy the public art requirement for new buildings. The proposed mosaic is inspired by the artist's own olive oil ranch located in

nearby Capay Valley, but is also reflective of Woodland's historic olive groves, agricultural processing of olives and olive oil, and our regional landscape. The mosaic mural, prepared by artist Victoria Nicholson Lambert, will be approximately 26-feet wide by 9-feet tall and will be located on the back side wall of the refuse enclosure located near the southeast corner of the property, facing the Interstate 5 (I-5) corridor (please see proposed installation photos, Attachment B). The hotel is currently under construction at 2100 Freeway Drive and is anticipated to open in early February 2016.

BACKGROUND

On April 3, 2014, the Planning Commission approved a Design Review modification for a previously (2008) approved building design for the Fairfield Inn and Suites. The hotel is approximately 40,000 square feet in size with 72 rooms. As a new development, in accordance with the City's Design Standards, the project is required to install public art prior to the certification of occupancy issued by the city's Building Division. The applicant has worked to identify a local artist and to commission a public art piece that is representative of the community's agricultural history. If approved, the artist anticipates starting work immediately and anticipates that the piece will be complete prior to the opening of the hotel in early February.

PROJECT ANALYSIS

Proposal

The base design for the mosaic, as represented in Attachment A, is approximately 26-feet wide by 9-feet tall, and will be located on the rear wall of the refuse enclosure located near the southeast corner of the property just north of the I-5 corridor. The applicant had originally proposed a smaller mural to be located to the right of the main hotel entrance; however, in consultation with the Public Art Subcommittee Chair, staff suggested an alternate location with better public visibility. North bound travelers on the I-5 corridor will see the mural as they approach the city's eastern gateway. The artwork compliments the recent public art painted murals completed for Comfort Suites. The design theme is similar in nature to the agricultural theme presented at Comfort Suites; however the medium will be unique, providing interest and beauty along the I-5 corridor.

The artist provided the following summary of the mosaic design and her inspiration for the project:

Agriculture is the heart of California. Our Golden State feeds the world. I see the world through many filters-as a seventh generation Californian, I look for the growth and long-term goals of our state; as a farmer, I look for the health of our eco-systems and the populace's respect for our food supply and farmers; as an artist, I look for the endless beauty in California and its myriad climates and natural diversity.

The design is based on my own olive orchard in Capay Valley with "California's Gold" behind (the beautiful golden hills in summer). The photograph that is the inspiration captures the twilight lighting seen in paintings by Maxfield Parrish and early 20th century California landscape painters.

Artist

The artist is Victoria Nicholson Lambert. Ms. Lambert graduated with a Bachelor's of Science degree in Farm Management from California Polytechnic University, San Luis Obispo. She has resided in Woodland since 1984 and has been a mosaic artist since 1998. Ms. Lambert coordinated and ran the Dingle Elementary School Visual and Performing Arts Project, grant-funded, from 2006 to 2013. She owns and farms Capay Gold Olive Oil Company and is a 7th generation Californian. She is the great-granddaughter of Don Adolfo Camarillo, the "last of the Spanish Dons."

Among her body of mosaic work, Ms. Lambert has completed many indoor and outdoor custom residential projects as well as the Chinese dragon mosaic, which frames the “China Town begins” historical marker located in Dead Cat Alley. The China Town marker is a public art project created in 2005 with funds provided by the Stroll Through History Committee as part of the Woodland Art Center, Dead Cat Alley Nine Lives Project. Examples of Ms. Lambert’s work are provided in Attachment C.

Materials

The process will include making high-fire ceramic pieces (mainly the olive trees) that will be affixed onto a base of painted stucco (the ground and shadows). The mosaic and mural will be coated, upon completion, with an “anti-graffiti” coating.

Review

In reviewing public art for commercial projects the Commission will need to determine whether the proposed public art complies with the intent of the City’s Community Design Standards requirement for providing public art. The proposed public art concept should be reviewed for appropriateness with regard to the location, scale, architecture of the building and the quality of the materials used. Assuring the highest quality aesthetic experience for the citizens and guests of Woodland is the primary criterion for approving the public art.

RECOMMENDED ACTION:

Staff recommends that the Planning Commission review the proposed public art and make one of the following motions:

MOTION #1

I move to approve the public art proposal as presented for Fairfield Inn and Suites at 2100 Freeway Drive, subject to the following findings:

- The public art proposal fulfills the requirements of the Community Design Standards by incorporating public art into the commercial development.
- The public art was reviewed by the Planning Commission.

MOTION #2

- Specify

ATTACHMENTS:

Attachment A - Mosaic mural Design Proposal

Attachment B - Location of art installation

Attachment C - Samples of Work Completed by Artist





Proposed Location of Mosaic Mural on Enclosure Wall



Pancho Camarillo, Camarillo
Ventura County - commemorates
The "White Horses" of Camarillo



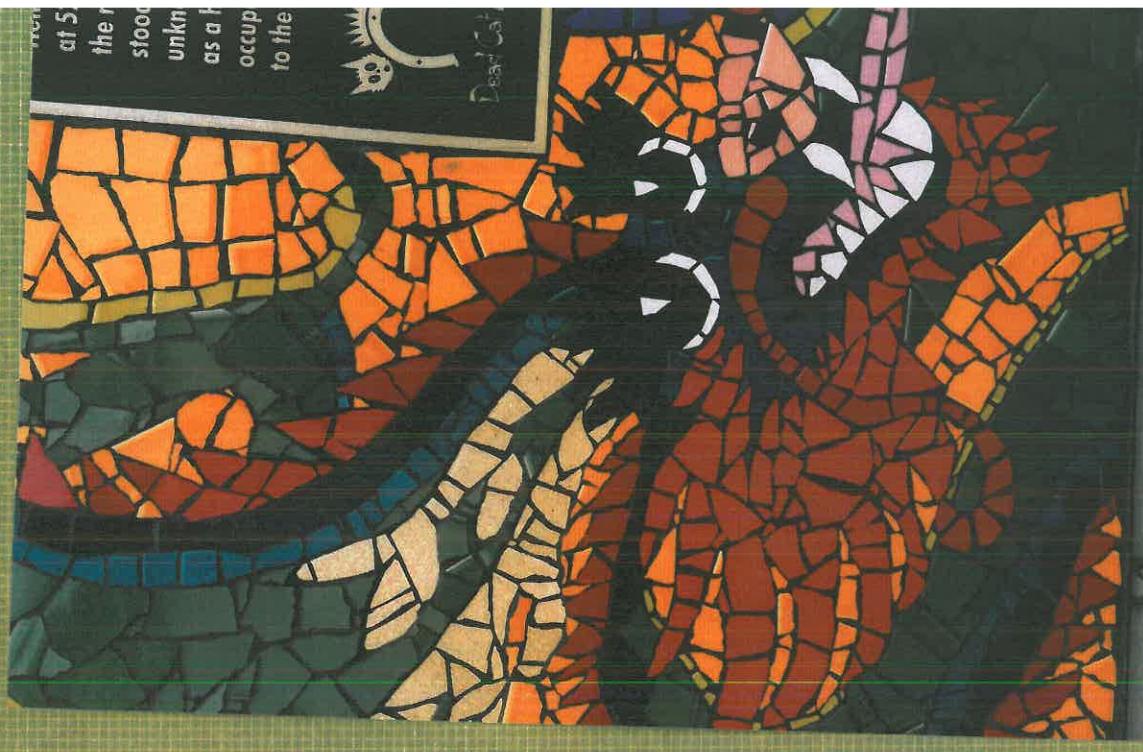
Metal framed
side table
2 tiers



714 College St.
• recessed with
down lighting



firing letters for "Rancho Avita" sign.

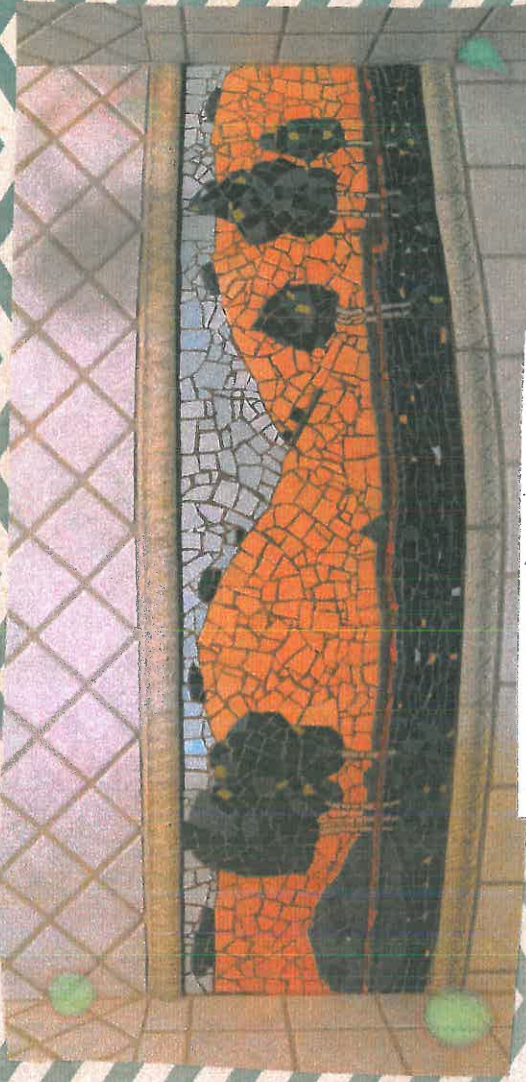


Dead Cat Alley, Woodlawn

- first public Art piece
- across from City Hall
- incorporates many Chinese symbols



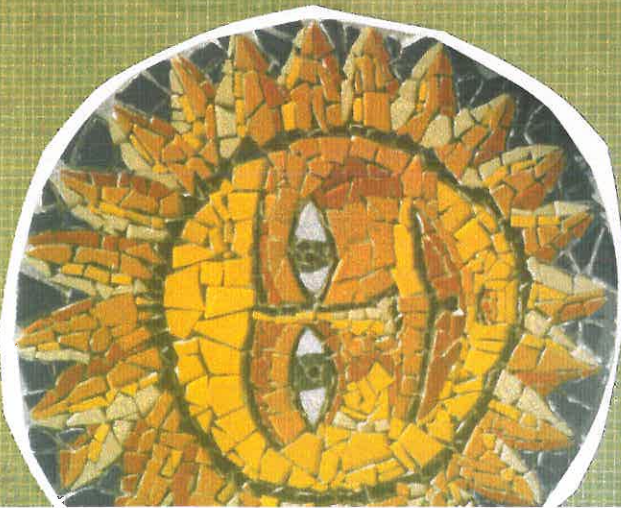
C.E. Dingle
Elementary
School.
All ceramics were
student made. 2015



714 College St.
River scene



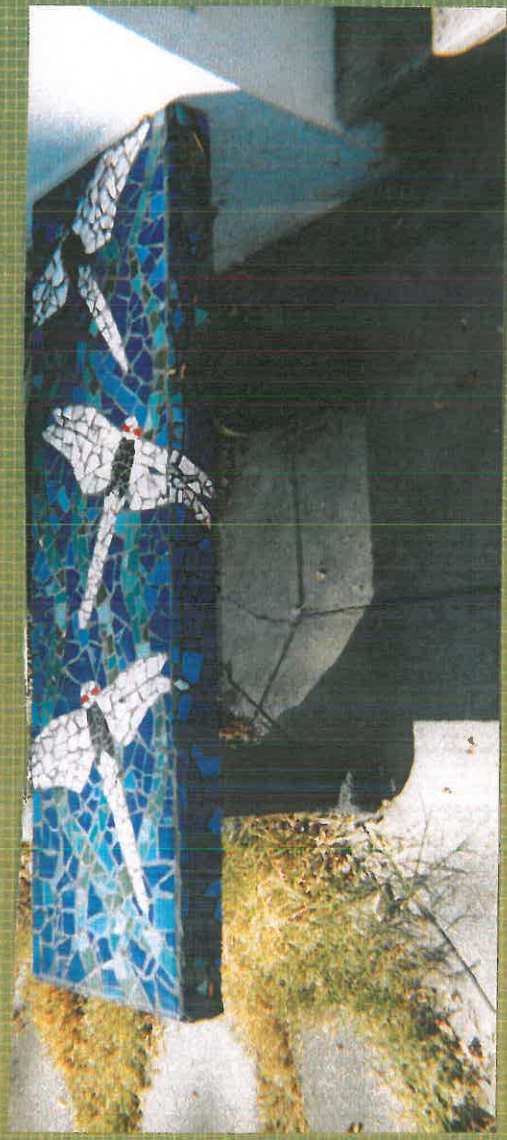
714 College St.
Thank you, Vincent Van Gogh



26 Arellano Ct., Wddl
 • private installation
 • sun in central to fountain
 • surrounded by cobalt blue tiles



claimed terra cotta
 inney pipe used as
 aculent planter



532 Elm Street, Wddl
 • 2 concrete benches in front
 of a California bungalow
 • hand-painted, iridescent
 tiles used for wings



Legislation Details (With Text)

File #: 16-260 Version: 1 Name:
Type: Staff Report Status: Agenda Ready
File created: 12/8/2015 In control: Planning Commission
On agenda: 1/21/2016 Final action:
Title: SUBJECT: Long Range Calendar and Application Information

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar and current project application information for informational purposes only.
. body
Staff Contact

Debbie Flemmer, Admin. Secretary - (530) 661-5818, debbie.flemmer@cityofwoodland.org

BACKGROUND:

This calendar is being provided for planning purposes only and is intended to keep the Commission apprised of upcoming agenda items and better plan for upcoming Planning Commission items. In addition, information concerning current development project submittals and applications is provided in Attachment B.

ATTACHMENTS:

Attachment A - Planning Commission Long Range Calendar January 13, 2016
Attachment B - Project Application Information January 12, 2016

Sponsors:

Indexes:

Code sections:

Attachments: [A - PC Long Range Calendar 1-13-16](#)
[B - Project Application Information 1-12-16](#)
[C - January 19, 2016 CC Report.pdf](#)

Date	Ver.	Action By	Action	Result
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MEMORANDUM

TO: Members of the Woodland Planning Commission

DATE: January 21, 2016

SUBJECT: Long Range Calendar and Application Information and General Plan Schedule

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar, table of Current Active Priority Project List, and a General Plan Report and Schedule update for informational purposes only.

Staff Contact

Debbie Flemmer, Admin. Secretary - (530) 661-5818, debbie.flemmer@cityofwoodland.org

BACKGROUND:

This calendar is being provided for planning purposes only and is intended to keep the Commission apprised of upcoming Planning Commission agenda items. In addition, information concerning current development project submittals and applications is provided in Attachment B as well as a copy of the General Plan Update report to City Council for January 19, 2016.

ATTACHMENTS:

Attachment A - Planning Commission Long Range Calendar January 13, 2016

Attachment B - Project Application Information January 12, 2016

Attachment C - General Plan Update Report to City Council for January 19, 2016

PLANNING COMMISSION LONG RANGE CALENDAR

Items subject to removal and/or rescheduling

January 13, 2016

January 7, 2016	Regular Meeting	Notice	Reports Due
Cal West DA Amendment		12/21	12/18
Public Art for Produce Market			

January 21, 2016	Regular Meeting	Notice	Reports Due
Cal West Design Review/Lennar(?)			
Bullseye Bail bond		1/6	1/8
Hotel CUP on Main St		1/6	1/8
Fairfield Public Art		n/a	1/8

February 4, 2016	Regular Meeting	Notice	Reports Due
Mercy Housing/Beamer GPA/ZOA/SP/DR/MND		1/4/16 (30 day)	1/22
Prudler FEIR/GPA/TM		1/20	1/22
Produce Market Public Art			

February 18, 2016	Regular Meeting	Notice	Reports Due
Auto Dismantler IS/MND and CUP		1/15 (30 day)	2/8
Spring Lake Central Large Lot Map (?)		2/2	2/8
Day Care Commerce Drive CUP		2/2	2/8
Marijuana Cultivation Ordinance Updates		2/2	2/8

March 3, 2016	Regular Meeting	Notice	Reports Due
Digital Signs CUP ?		2/12	2/18
Distributed Antenna System CUP – East Main		2/12	2/18

March 17, 2016	Regular Meeting	Notice	Reports Due
Affordable Housing Amendments?			

FUTURE AGENDA ITEMS – DATE TO BE DETERMINED:

General Plan Updates
Affordable Ordinance amendments (March?)
Cultivation (Feb?)
Oyang N GPA/SP/TM/DA (March/April?)
Oyang S GPA/SP/TM/DA (March/April)
Kamilos 150
Woodland Commerce Center Annexation and EIR?
Zoning updates, small code clean ups.

SUBCOMMITTEES

General Plan
Zoning Subcommittee
Public Art
Design Liaison

PLANNING COMMISSION LONG RANGE CALENDAR

Items subject to removal and/or rescheduling

CITY COUNCIL

GP Update – 1/19

Hotel DDA/CUP – 2/16

2nd Reading Cal West – 2/2 & 2/16

Mercy Housing - 3/1

HISTORIC PRESERVATION

Diggs Building Main Street – 2/20/16

Project Application Information Current Active Priority Project Listing

January 12, 2016

Current Projects (Applications) in Review

Project Name / Owner	Location/Description	Review Status	Fee or Funding Account	Staff
Prudler Tentative Map No 4856; Yolo Residential Investors, LLC 5301 Montserrat Lane Loomis, Ca 95650 George Phillips (916) 979-4800	GPA, Rezone, TM, DA, for 38 acres, located North of Sports Park Drive, East of East Street and south of the County Fair Mall. A proposed General Plan Amendment to amend the land use from General Commercial to Residential, proposed rezone from C-2 to R-1 and a revised subdivision map for a total of 183 lots of which 82 units will be at an R-5 density and 101 at an R-8 density for a total project density of 5.36	Submitted Jan 18, 2013; Raney Planning and Management Admin Draft EIR released Sept 8 comment period close Oct 23. Preparing Response to comments. Work on DA and COA. Assess traffic in conjunction with GP update PC anticipated 2/4	Funding Account	CN/Brent/Raney
Oyang South Bayless and Hicks 3500 Douglas Blvd, Suite 210, Roseville, CA 916-240-2752	GPA, SPA, TM & DA to amend R-3 and R-25 to R-4. 77.3 acres located at the southeast and southwest intersection of Pioneer and Marston, north of CR 25A and east of HLA. 250 SF units proposed. Application submitted July 16, 2015.	Project review PC	Funding Account	CN
Oyang North – Bayless and Hicks 3500 Douglas Blvd, Suite 210, Roseville, CA 916-240-2752	GPA, SPA, TM & DA to amend R-5 and R-15 to R-25 and R-8 and R-5. 28.1 acres located at the southeast intersection of Gibson Ave and HWY 113. 112 SF and 112 MF units proposed. Application submitted July 16, 2015.	Project review PC	Funding Account	CN
Spring Lake Central HCM Inc, Attn.: Les Hock 10630 Mather Blvd, Mather CA, 916-801-9500	Request to process a large lot tentative map/or DA amendment to allow lots for sale	Submittal 10/30/15 PC	Funding Account	CN
Downtown Mixed-Use Hotel Project Jivan B. Patel and Ramilaben J. Patel Living Trust 1021 Main Street Woodland, CA 530-908-7106	Request for a Conditional Use Permit, and Site Plan and Design Review approval, to construct a five-story, 81 room hotel, including 6,810 square feet of commercial space on the first floor of the building for retail/restaurant uses in the Central Business District, Downtown Specific Plan Area, District A4.	Project Review PC anticipated 1/21	Funding Account	EB/KH

Kamilos Industrial Proposal Kamilos Companies 11249 Gold Country Blvd., Gold River, CA 95670 Don Johnson 916-631-8440	Conceptual project evaluation for 150 acre development site north of Kentucky Avenue. Warehouse/distribution/logistics.	In "pre-application review" process. Formal application for Site Plan/Design Review anticipated in near term. Preliminary CEQA evaluation under way based on conceptual proposal. CEQA determination to be certified by PC. PC	Funding Account	EB
Bulls Eye Bail Bonds CUP and Zoning Amendment Michael Balasa 1037 Main Street Woodland, CA 530-661-6500	Zoning Amendment and CUP to allow a bail bonds business to location within District A4 (specifically 1037 Main Street) of the Downtown Specific Plan/Central Business District.	Received 12/14 PC May denial, CC June 2 – topic tabled; public meetings and back to PC. PC anticipated 1/21	Fee	EB
Digital Freeway Sign(s) Zoning Amendment and CUP(s) P.C. Dixon I, LLC and Pacific Horizon Group, LLC (Ron Caceres) 1207 Cleveland St Woodland, CA 916-417-7774 & Scott Vanderbeek 1640 East Main St Woodland, CA 530-662-3255	Amendments to Sections 25-24-15, 25-24-20 and 25-24-30 of Article 24 (Signs) of Chapter 25 (Zoning Ordinance) of the Woodland Municipal Code to add requirements and regulations regarding Digital Freeway Signs within the City of Woodland.	PC/CCapproved sign ordinance amendment in October/November. Project will return to PC and CC for specific sign applications. PC anticipated 2/18	Funding Accounts	EB
West Coast Auto Dismantlers. 1500 East Kentucky Ave. Terry Ramos 530-662-3171.	Application for expansion of a non-conforming use (because it had never received a Conditional Use Permit) into a building on an adjacent property. Applicant is currently operating in this building. Preparing Mitigated Negative Declaration for CEQA. Preparing Staff Report.	Submittal 11/12/14. In process, Initial Study and MND preparation PC 3/3	Fee	JB/CN
120 Main Street Design Review ES Development 5420 Douglas Blvd Granite Bay, Ca 916-772-4936 Stu Chang	Design Review application for exterior façade upgrade at 120 Main Street.	In process Staff approval	Fee	EB
180 W. Beamer	GPA, rezone, lot line adjustment, site plan	Submittal 10/20/15. In	Funding	JB

Street Apartments Mercy Housing, 2512 River Plaza Drive, Ste. 200, Sacramento, CA. Rick Ciraulo, 916-414-4441.	and design review for affordable housing project of 80 units at 170 – 178 W. Beamer Street. A proposed General Plan Amendment to amend the land use from Public Service to Medium Density Residential and a proposed rezone from R-1 to R-M.	process. IS/MND Public Review Period 1/4 to 2/3. PC 2/4 CC 3/1	Account	
Cal West Subdivision Design Review. Lennar Homes, 1420 Rocky Ridge, #320 Roseville, CA Monique Reynolds 916-746-8535	Design Review application for Phase I (74 of the total 225 lots) for single family homes in the R-8 Spring Lake Specific Plan zone for Cal West Tentative Subdivision Map No. 5075. This subdivision will be bounded by Farmer's Central Road, Harry Lorenzo Avenue, Highway 113, and Patriot Way.	Submittal 10/6/15. In process. PC 2/18	Fee	JB
6th and Main Street Petrovich Development Co. 825 K Street Sacramento, CA 916-442-4600	Site Plan/Design Review for retail shopping center at 6th and Main Streets.	In process (Review by PC Design Liaison) Staff approval	Fee	EB/CN/KH
College and Bush St Investors, LLC; Sarah Ellis, 4132 C Street, Sacramento Ca 95819 (916) 440- 6765	Meier Auto Building Remodel and Renovation; 427-433 College Street	Review by Historic Preservation Commission and Staff level Design Review approval	Fee	CN
T & P Property Group, LLC 1119 Westminster Ave, Alhambra, Ca 91803 (626)255-0242	County Fair Fashion Mall remodel of east entry area. (submittal 12.22.15)	Staff level Design Review	Fee	CN
Cell Tower CUP, Pioneer High School. Complete Wireless Consulting, 2009 V Street, Sacramento, CA 95818. 916-217-7503	Conditional Use Permit and Design Review application for the colocation of a cellular tower on top of a baseball stadium light pole at Pioneer High School for Verizon Wireless.	Submittal 12/17/15. In process. PC	Fee	JB
324 N. Walnut Street, New	Zoning Administrator Permit application for a single-family house in a Service Commercial	Submittal 1/5/16. In process.	Fee	JB

Single-Family House. Filemon Jaime 916-730-7239	(C-3) Zoning District.	Zoning Administrator		
Alphabet Soup Child Day Care 1210 Commerce Ave, Suite 4 Kari Powell 530-330-2712	CUP application to locate a child day care facility in the Industrial Zone	Submittal 1/5/16. In process. PC anticipated 2/18	Funding Account	EB
Fairfield Inn and Suites Public Art 2100 Freeway Drive Vinod Patel	Design Review application for proposed Public Art Installation at Fairfield Inn and Suites as a requirement of the project CUP	Project review. PC anticipated 1/21	Fee	EB
LONG RANGE:				
General Plan Update	Received direction from CC on November 17, 2013 regarding growth rates and schedule. Next step will be to re-evaluate budget and scopes. Preparation of Development Scenarios Report and Test Models. Community Workshop April 27, 2015, GPSC May 12 and June 9. Next steps will be to move a recommendation forward to Planning Commission in July 16 & 23. PC special meeting Oct 26. Authorization to proceed by City Council on November 3, 2015 Next Steps - Develop Schedule Nov-May, 16 – Prepare draft documents June-Aug, 16 – Public Review Sept – Nov - Hearings	Previous meetings: Oct 15, CC Oct 17, PC Nov 17, CC July 16 & 23 Oct 26 Nov 3, 2015 Public meetings on the draft continuing in March and April, then a public draft release in May 2016.	CIP and General Fund	CN / KH/ Heidi Tschudin/ Sophie Martin Dyett and Bhatia
Beeman – Design Workshop Inc PO Box 5666, Stateline, NV 89449 775-588-5929	Pre-Annexation, GPA, SP - A pre-application was filed on July 17, 2015 for possible pre-annexation and future specific plan for approximately 350 acres in the area located east of Highway 113, south of Farmers Central Roadway, west of Harry Lorenzo Avenue and n and s of CA 25A.	In discussion with applicant to determine review process and key studies and application. A design charrette was held to help determined possible land use development options. PC	Funding Account	CN/KH/BM
Kamilos Annexation Proposal Kamilos Companies 11249 Gold Country Blvd., Gold River, CA 95670 Don Johnson 916-631-8440	GP Amendment, DA, EIR for Annexation of approximately 480 acres of Industrial land adjacent to County Road 102, north of East Beamer Street.	Exclusive negotiation agreement in process, to be presented to City Council for consideration, date to be determined. PC	Funding Account	EB/WR

Woodland Commerce Center Jan-Erik D Paino Rubicon Partners Inc. 1107 9th Street Sacramento, CA 95814 916-930-0960	EIR, DA - North West corner of East Main Street and CR 102. A proposed annexation for 146 acres of land with a GP designation of Industrial and pre-zoned Industrial. Final EIR (draft) completed. RBF Cost/Scope received to create update memo. Awaiting review by applicant to move forward with CEQA and DA negotiations.	Final EIR (draft) completed. RBF Cost/Scope received to create update memo. Awaiting review by applicant to move forward with CEQA and DA negotiations. PC	Funding Account	EB
Zoning Amendment regarding medical cultivation	Attorney review and update based on State Law	PC		KU
Medical Clinics Ordinance Review	Determine if a specific use category or review can be required for this use.	On-going	General Fund	JB/CN
General Zoning Ordinance Revisions	Address code updates as possible to help create more efficient review process: Use table Accessory Structure/Back yard coverage Second Units Fences Design Review Non-conforming Section Public Art	On-going as possible	General Fund	JB/EB/CN
MINOR DESIGN REVIEW/SIGNS:				
Orchard Supply Hardware	1350 E. Main Street, adding "Nursery" sign		Fee	JB
Aaron's Furniture	441 Pioneer Ave. new business signage		Fee	JB
Wingstop	9 Main Street, new business signage		Fee	JB
Central Valley Builders	Replacing signage		Fee	JB
Psychic Reader	139 Court Street, new business signage		Fee	JB
Historic Train Depot	1110 Lincoln Ave, parking lot, landscaping, fencing, restroom improvements/additions		Fee	EB
Woodland Motors	530 Quality Cir, new business signage		Fee	EB
Hoblitt Truck Lot	1990 Hays Ln, new business signage		Fee	EB
CONSTRUCTION OR PLAN CHECK REVIEW				
State Theater – Dave Corkill Woodland State Theater, Inc P.O. Box 750595 Petaluma, CA 94975	12 screen theater complex– Rehab existing State theater and new 10 screen theater building. Design Review approved and building permit issued.	Design Review approved	Under construction.	KH/CN
814 Fifth Street – Iwa Huang – 2519	Design and Site Plan review to allow replacement of 7 multi-family units in the NP	Design Review approved	Owner working on	CN

Rockwell Dr, Davis CA 95618 916-224-6757	District. Numerous neighborhood meetings.		construction plans.	
Hutchison Valley (TKR Homes)	Design Review approved, building department review in process	Design Review Completed	Plan check/ under construction	JB/EB
Fairfield Inn & Suites	Plans approved. Public art must be approved.	Design Review approved	In construction	EB
Produce Market	1490 East Main Street	Design Review approved	In construction	CN
Cannery Road/Extra Self Storage	Phase 1 improvements approved by Building Dept.	Design Review approved		EB
Woodland Motors/Chevrolet	Plan check comments provided.	Design Review approved	Under Construction	EB

TO: THE HONORABLE MAYOR AND CITY COUNCIL

DATE: January 19, 2016

SUBJECT: General Plan Update Progress Report

Recommendation for Action: Staff recommends that the City Council receive progress report #2 regarding the General Plan Update Project

Staff Contact

Cindy A. Norris, Principal Planner – cindy.norris@cityofwoodland.org; (530) 661-5911

Fiscal Impact

The General Plan Update Project (CIP #07-06) has a total approved budget authorization of \$1,580,000 in support of the Project.

Background

The purpose of a monthly update will be to keep the City Council informed as to the progress of the General Plan Update Project, to alert the Council to any concerns or issue that may arise and to keep the Council apprised ahead with regard to potential upcoming workshops or meetings.

Discussion

Accomplishments/Activities for the Reporting Period

The General Plan document will contain ten chapters or elements as follows:

- Chapter 1: Land Use and Development Strategy
- Chapter 2: Housing Element (last update October 2013)
- Chapter 3: Transportation and Circulation
- Chapter 4: Community Design and Historic Preservation
- Chapter 5: Economic Development
- Chapter 6: Conservation and Sustainability
- Chapter 7: Health and Safety
- Chapter 8: Public Facilities and Services
- Chapter 9: Recreation and Healthy Life Styles
- Chapter 10: Administration and Implementation

The General Plan Team held a number of intensive staff level meetings to discuss concepts and provide input prior to the initial drafting of the General Plan Chapters. When needed for guidance on specific policy issues a focused workshop will be scheduled, similar to the workshop on transportation and level of service held on December 15, 2015.

Input from these meetings, together with previously prepared background reports, public discussion and community input has provided the base from which the technical consultant, Dyett and Bhatia Urban Planners, will prepare the first preliminary draft of the General Plan Chapters. These preliminary chapters will be circulated to staff for review and comment. The review period for each of the chapters will be relatively short and intensive, two to three weeks each, and will primarily occur during the month of January and early February. It will be essential to hold to the review time periods in order to stay on schedule, as shown in Attachment A.

Release of the preliminary administrative draft chapters is anticipated as follows:

December 21, 2015	Recreation and Healthy Lifestyles
January 18, 2016	Transportation and Circulation, Land Use and Development Strategy
January 25, 2016	Community Design and Historic Preservation; Economic Development, and Conservation and Sustainability
February 1, 2016	Health and Safety, Public Facilities and Services, and Administration and Implementation

After input is received on these first preliminary draft chapters, edits will be made and a second round of review will occur in March 2016 as shown in the master schedule provided in Attachment “A”. This will be a second administrative draft review and not yet available for public release.

It is anticipated that an early discussion with the General Plan Steering Committee will occur after completion of the second administrative draft in March 2016. Input and comments from the Committee will be addressed/incorporated into a public review draft scheduled for release in May of 2016. Following release of the public review draft a series of public meetings will be scheduled to receive comments on the draft plan.

Senate Bill (SB) 5 (2007) – General Plan Safety Element Updates

The City’s General Plan Consultant, Heidi Tschudin, is in the process of preparing the mandated amendments to the General Plan and associated Municipal Code regulations to comply with State requirements outlined in SB 5. The amendments will address flood protection, planning for reduction of flood risk, and approval of development projects within a floodplain. This action is being considered in advance of the conclusion of the City’s current ongoing comprehensive update of the General Plan because of the statutory deadline for adoption of the flood protection provisions. Additional extensive modifications of the Safety Element required by AB 162 will be addressed as part of the 2035 General Plan update. This action is related to but distinct from the City’s ongoing investigation of flood protection improvements which will continue. The amendments are anticipated to come before the Planning Commission in late February/early March and then to City Council for adoption.

Draft General Plan EIR

Along with the update to the General Plan document an associated Environmental Impact Report (EIR) is being prepared. This document is being developed primarily by the sub-consultant AECOM with assistance from Dyett and Bhatia and Fehr and Peers. This document will come

before the decision makers in conjunction with the draft General Plan. Work on the Draft EIR has commenced, and the Administrative Draft is anticipated to be completed by mid-April with the public review draft targeted for the beginning of June.

Climate Action Plan (CAP) Update

Climate Action Plans are comprehensive roadmaps that outline the specific activities that an agency will undertake to reduce greenhouse gas emissions. The City of Woodland has an adopted preliminary Climate Action Plan document. However, an environmental review of the draft CAP was not prepared. AB 32 and SB 375 provide that a CAP which has an adopted CEQA document can provide tiering benefits. CEQA Section 15183.5(b) (1) identifies what is required to be addressed in the CAP in order to qualify for CEQA tiering. The City's current CAP will be updated in conjunction with the 2035 General Plan and CEQA clearance provided as part of the General Plan environmental document. Work on the updated CAP will begin in February, with an Administrative Draft anticipated by the beginning of March. The subconsultant AECOM is leading this effort.

SP1-A Application

A design charrette was held with the applicant's design team to develop a preliminary land use plan that will help in drafting of General Plan policy language and environmental analysis for this area. This was a productive meeting and a range of possible alternative land use options was discussed. The design team will utilize input from the charrette to prepare a preliminary land use plan for further review.

General Plan Update Schedule

Short Term:

Dec 21 2015–Jan 25, 2016	Release of Preliminary General Plan (GP) Chapters
Jan-Feb 2016	Staff review and comment on preliminary chapters
March 2016	Second administrative draft release and preliminary review with the General Plan Steering Committee, Administrative Draft of the CAP
April 2016	Administrative Draft of the Draft EIR
May 2016	Public release draft of the General Plan, Climate Action Plan (CAP) and public input meetings, public open house on the proposed GP

Long Term:

June 15 – Aug 15, 2016	Public release and review of the Draft EIR. Public meetings
Aug 16 – Sep 15, 2016	Edits to the GP, CAP and EIR Response to Comments
October 2016	Planning Commission Hearings
November 2016	City Council Hearings

Recommendation

Staff recommends that the City Council receive a progress report regarding the General Plan Update Project

Prepared by: Cindy A. Norris, Principal Planner

Reviewed by: Ken Hiatt, Community Development Director

Paul Navazio, City Manager

ATTACHMENTS:

Attachment A - Long Term Conceptual Schedule