



City of Woodland

Meeting Agenda - Final

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695

530-661-5820

Thursday, March 3, 2016

6:30 PM

Council Chambers

Please Note: The numerical order of items on this agenda is for convenience of reference; items may be taken out of order. No new items shall begin after 10:30 pm unless unanimous consent exists to continue.

A. Call to Order

B. Roll Call

C. Pledge of Allegiance

D. Staff and Commissioner Comments

This is an opportunity for the Planning Commission members and staff to make comments and announcements to express concerns, or to request Commission's consideration of any items a Commission member would like to have discussed at a future Commission meeting..

E. Subcommittee Reports

F. Communications from the Public

This is an opportunity for the public to speak to the Commission on any item other than those listed for public hearing on the agenda. Speakers are requested to use the microphone in front of the Commission and to begin by stating their name, whether they reside in Woodland and the name of the organization they represent if any. The Commission may impose a time limit on any speaker depending on the number of people wanting to speak and time available for the rest of the agenda. In the event comments are related to an item scheduled on the agenda, speakers may be required to wait to make their comments until that item is considered.

G. Approval of Minutes

H. Public Hearing

I. Business Items

Items for Planning Commission discussion and/or action that do not require public hearing.

[16-377](#)

RECOMMENDATION: Staff recommends that the Planning Commission:

1. Review and approve the proposed conceptual residential designs for

Lennar; The Crossing at Spring Lake

Attachments: [1 - General Application](#)
[2 - Residential Design Booklet](#)
[3 - Subdivision Map 5075.pdf](#)

[16-373](#)

SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar for informational purposes only.

Attachments: [A - PC Long Range Calendar Prepared February 19, 2016](#)

J. Staff or Commissioner Comments

Continued as needed.

K. Adjournment

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



Legislation Details (With Text)

File #:	16-377	Version:	1	Name:	
Type:	Consent Item(s)	Status:		Agenda Ready	
File created:	2/19/2016	In control:		Planning Commission	
On agenda:	3/3/2016	Final action:			
Title:	RECOMMENDATION: Staff recommends that the Planning Commission:				
	1. Review and approve the proposed conceptual residential designs for Lennar; The Crossing at Spring Lake				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	1 - General Application 2 - Residential Design Booklet 3 - Subdivision Map 5075.pdf				

Date	Ver.	Action By	Action	Result
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MEMORANDUM

TO: Members of the Woodland Planning Commission

FROM: Jeff Ballantine, Associate Planner

SUBJECT: Design Review for Lennar; The Crossing at Spring Lake for Phase I of the Cal West Subdivision

DATE: March 3, 2016

RECOMMENDATION: Staff recommends that the Planning Commission:

1. Review and approve the proposed conceptual residential designs for *Lennar; The Crossing at Spring Lake* subject to the conditions of approval.

PROJECT PROPOSAL:

An application has been filed for Site Plan and Design Review for a residential project (*Lennar; The Crossing at Spring Lake*) on 12.2 gross acres (74 residential lots) within the R-8 zone of the Spring Lake Planning Area (see **Attachment 2 - Residential Design Booklet**). The project consists of 74 single-family detached homes, 59 two-story elevations and 15 single-story elevations with five (5) floor plans and four (4) architectural styles for a total of twenty (20) elevations. The homes range in size from 1,682 to 2,713 square feet. A lot layout plan, typical front yard landscape plan, and a residential design booklet are included in the plan submittal.

BACKGROUND:

The entire Cal West Subdivision consists of 44 acres with 225 residential lots and is located northwest of Farmers Central Road and Harry Lorenzo Avenue. The subdivision was created by Cal West Subdivision Map No. 5075 approved by the City Council on May 5, 2015. Lennar is seeking design review approval for Phase I of the Cal West Subdivision, which consists of 12.2 acres of the subdivision. Design review applications will be submitted for subsequent phases of the project sometime in the future.

PROJECT ANALYSIS:

The project design review was performed using the Spring Lake Specific Plan (adopted December 18, 2001 and subsequently amended) and the Spring Lake Specific Plan (SLSP) Design Standards as approved May 20, 2003.

Compliance With SLSP Design Standards

To achieve architectural diversity within residential neighborhoods, the Spring Lake Design Standards requires five (5) distinct floor plans and twenty (20) elevations (4 per plan) for a subdivision with more than 120 units. This project is required to comply with this standard because the 74 units are Phase I of a larger subdivision that consists of 225 units. Staff finds that the resulting unit and elevation mix meets the intent of the Spring Lake Specific Plan for architectural diversity. The following table indicates the plan mix:

Plan	Square Footage	Number of Lots	No. of Stories
1	1682	15	1
2	1827	10	2
3	2119	20	2
4	2461	15	2
5	2713	14	2

The exterior materials being proposed include:

<u>Features</u>	<u>Style or Material</u>
Roofs	Flat Shake, "S" Profile, and flat "slate"; Concrete
Masonry	Brick and stone wainscot
Stucco	Sand finish on walls and trim
Trim	1x Stucco Finish
Shutters	Faux Wood
Wood post & beam	Wood
Siding	Board and Batten Siding, Lap Siding, and Shingle Siding

A desired intent of the Spring Lake Specific Plan is to create variety and interest along a street and provide opportunity for neighborhood social interaction. Toward this end, the applicant has worked to develop color pallets with a mix of architectural materials and roof styles and that are diverse yet appropriate to each architectural style. Front porches are included on all of the 74 homes to enhance the street front appearance. Further, courtyards are provided on two of the five floorplans, Plans 1682 and 2119, on 35 of the lots. Staff was concerned that two of the floor plans with front porches, Plans 2461 and 2713, do not provide an adequate depth to be fully usable, at five feet deep. A usable front porch is defined as having minimum dimension of 6 feet by 8 feet to allow for a table and chairs. The concept submitted by the applicant to address this concern included adding a low railing to the outside of the porch area. Staff was not in agreement with this design proposal as shown. The applicant has indicated that they are willing to work with staff further to evaluate how

increased porch areas can be achieved while respecting other requirements such as setbacks and lot coverages. A condition of approval (COA #3) has been added to address this matter. The plan submittal includes a variety of garage door designs, driveway patterns, as well as varying roof pitches. Roof pitches range from 3:12 to 6:12.

The applicant has worked to develop architectural styles that provide for significant differentiation between plans. The plan submittal includes four different architectural styles: Spanish, Prairie, Traditional, and French. The Spanish style utilizes stucco walls, S roof tiles, and recessed windows. For the French style, stucco walls, trimmed arched soffits, arch angled plank type shutters, and stone wainscot are incorporated into the design. Forward facing gables, board and batten siding, and louver type shutters are provided for the Prairie style. The applicant provided the following definition of the Traditional style in response to Staff's request:

“Traditional: While the Traditional style is not indicative of any specific regional style or time period, it is meant as an overarching theme made up of traditional details and materials: lap siding, shingle siding, board and batten siding, double post porch columns with stone base, round gable end vents, multi-paned windows, wide corner boards and header trim turned down on the sides along with louver type shutters and 6-panel front doors all of which are reinforced with ‘Traditional’ color schemes. Together they are intended to evoke traditional images in the mind of the new home buyer who may not be formally educated in any one specific region or time period of Traditional architecture.”

In response to Staff's concern about the potentially large magnitude of the roof for Plan 2119, the applicant provided a rendering showing what the Prairie design of this Plan would look like (see Sheet A-18 of Attachment 2). Plan 2119 includes a loft area as well as an area where the ceiling on the second floor is open to the first floor area.

To address energy and sustainability issues the applicant is providing water conserving landscaping without turf for all front yard landscaping as shown on the landscape plans (Sheets L-1.1 and L-1.2 in the package) and there will be solar panels installed on all of the proposed homes.

Staff's review of the conceptual residential elevations and plans, finds the residential designs, as conditioned, substantially comply with the Spring Lake Specific Plan and the Spring Lake Design Standards. The proposed residential designs incorporate a variety of elevation styles, varied roof lines, and a mix of siding and accent materials. Staff received comments from the Planning Commission Design Liaison whose main concern was that the facades of the proposed houses were minimal and stripped down. The applicant's response to this comment is that the following were provided: wrought iron fencing element to the Spanish style; additional knee braces to the Prairie style; board and batten siding to the Traditional style; and closed shutters to the French style.

The project does not comply with Spring Lake Design Standard 2.2.1(c) which requires one floor plan in each subdivision to have a recessed garage located in the back half of the lot with either side-by drive or alley access. The applicant provided a justification statement explaining that this requirement is not suitable for the proposed small lot sizes as a rear garage would significantly reduce the rear yard as well as significantly reduce the width of the residence to make room for the driveway. In evaluating design proposals, the Spring Lake Design Standards provide that the Planning Commission may allow minor deviations as long as projects are substantially consistent with the intent of the standards.

The applicant shall comply with the following Conditions of Approval specific to the design review application, but shall also be subject to applicable conditions provided in the originally approved Development Agreement for the Cal West Subdivision Map #5075 (Attachment 3).

RECOMMENDED CONDITIONS OF APPROVAL

- COA #1:** *Lennar; Crossings at Spring Lake* shall comply with Spring Lake Specific Plan and Spring Lake Design Standards for any changes proposed after the initial design review approval of March 3, 2016. Proposed changes shall be submitted to staff for review. Minor design or material changes and/or setback modifications consistent with the intent of the Spring Lake Specific Plan and Design Standards can be approved by staff and major changes will be reviewed by the Planning Commission.
- COA #2:** Prior to issuing any building permit, a final site and design review of final plans shall be conducted by staff. This final review may require further site and design changes to ensure compliance with the Spring Lake Specific Plan and Spring Lake Design Standards and conditions contained herein.
- COA #3** Prior to issuance of building permits the applicant shall work with Staff and the Design Liaison in the design of the front porches for Plans 2461 and 2713 to substantially meet minimum size requirements.
- COA #4:** All residential units shall include a separated, enhanced pedestrian pathway from back of walk to the courtyard, porch, or front door.
- COA #5:** Compliance with the following standards is required prior to issuance of a building permit:
- All proposed circle vents shall be changed to triangle vents on the front exterior of the “Traditional” architectural style buildings.
 - Setbacks shall comply with the Spring Lake Design Standards including but not limited to a maximum front setback of 20 feet for the house and minimum front setback of 20 feet for the garage.
- COA #6:** Coordination of Plans. The applicant shall be responsible for coordinating all plans to ensure consistency with and including site plan, landscaping, and improvement plans, prior to submittal for review.
- COA #7:** Corner Lot Accent Treatment. Homes located on corner lots, and/or side and rear elevations that are visible to public view shall have enhanced treatment provided on sides and rear in addition to the home front. Color, material and/or accent treatment shall be carried back to the fenceline.
- COA #8:** Lot Coverage. The project shall comply with lot coverage requirements as specified in the City’s Zoning Ordinance. Lot coverage shall be clearly specified for each lot on the final lot layout and site plan prior to issuance of building permits. The applicant shall provide disclosure to property owners of the maximum lot coverage allowed on the lot they have purchased. At no time shall the housing footprint exceed the maximum lot coverage requirement of 50 percent.
- COA #9:** Landscape Plan Submittal. Detailed Landscape and Irrigation plans shall be submitted and approved by the Community Development, and Parks and Recreation Departments concurrent with

public improvement plans and prior to issuance of building permits. Landscape plans shall specify the following:

- Locations, size, and quantity of all plant materials.
- A plant legend specifying species type (botanical and common names), container size, maximum growth habit, and quantity of all plant materials.
- Location of all pavements, fencing, buildings, accessory structures, parking lot light poles, property lines, and other pertinent site plan features.
- Planting and installation details; and notes including soil amendments.
- Details of all irrigation (drip, sprinkler, and bubbler) as well as equipment such as backflow controller and water meter devices identified.

COA #10: Street Tree Master Plan. Street Tree Master Planting Plan shall be approved prior to the issuance of the first building permit. The plan shall be reviewed for conformance with the Spring Lake Design Standards and the City's Tree Planting Requirements and approved by the Community Development Department and the City's Public Works Department - Tree Division. A soils test shall be submitted that will assist in appropriate species selection.

COA #11: Public Landscaping. Final landscaping plans for all areas to be maintained by the SLSP Lighting and Landscape District shall be submitted for review and approval by Community Development and the Department of Parks and Recreation. Due to poor soil conditions in the project area, soil sample analysis shall be provided for publicly maintained landscaping areas.

COA #12: Tree Replacement. Prior to issuance of a building or grading permit, and **prior to removal of any trees on site**, applicant shall provide a tree plan consistent with Section 20A-1-090 of the Municipal Code, which shall contain the following information:

- a. Map showing the location, size, species and condition of all existing trees which are located upon the property proposed for development;
- b. Identification of those trees which the applicant proposes to preserve and those which are proposed to be removed, and the reason for such removal;
- c. A program for the preservation of street trees, heritage, specimen, landmark trees and trees with aesthetic value (trees with a nine-inch diameter or larger, measured fifty-four inches above the ground, in healthy condition) during and after completion of the development project, as required in the city standard specifications, engineering design standards, Section 8, grading and erosion control;
- d. A program for the replacement of any trees proposed to be removed, as required by [Municipal Code Section 20A-1-100](#); and
- e. Any change in the trees to be saved and/or removed as designated on the approved development plan shall only be permitted upon the written approval of the director.

COA #13: Timing of Public Landscaping. Landscaping of public areas is a public improvement. Design and construction of public landscaping areas shall proceed concurrent with adjacent development.

COA #14: Water Conservation. Applicant shall comply with both the City and the State of California's new Water Efficient Landscape Ordinance AB 1881. The landscape architect shall document and attest to the compliance with the new State ordinance on the final front yard landscape plans.

- COA #15:** Ground nesting Raptor Survey. Pursuant to Mitigation Measure 4.5-3, thirty (30) days prior to commencement of grading or any site work, the applicant shall have prepared and submitted a survey for ground nesting raptors (e.g. northern harrier and burrowing owl). This survey shall be prepared by a qualified raptor biologist using appropriate protocol acceptable to responsible agencies. If survey nesting raptor species are found, then Mitigation Measures 4.5-3 (b-d) of the Spring Lake Specific Plan Mitigation Monitoring plan shall be followed. Survey results shall be valid only for the season when construction activity occurs.
- COA #16:** Residential Fencing. All wood fence footings and foundations shall be constructed of galvanized steel, reinforced concrete, or masonry. No treated wood materials in contact with the ground will be permitted. All wood fencing shall be stained with a water sealant to prevent water damage and staining. All required notes/details shall be provided on plans prior to the issuance of permits. Fencing shall comply with Section 2.9 of the Spring Lake Design Standards including but not limited to a 2" x 8" cap and 1" x 6" (or 1" x 8") panels and galvanized steel posts at least 3" minimum in diameter.
- COA #17:** Greenbelt Adjacent Fencing. All fencing adjacent to the greenbelt shall be enhanced materially and aesthetically. All wood fencing shall be stained with a water sealant. Fence design shall be submitted for review and approval prior to the issuance of building permits.
- COA #18:** Interconnecting Walks and Pathways. Interconnecting walks and pathways shall be a minimum of 25 feet wide and landscaped consistent with Section 6.9 of the SL Design Standards. Details of the path design shall be provided on landscape plans prior to the issuance of building permits.
- COA #19:** Construction Management Plan. Prior to issuance of any permit or inception of any construction activity on the site, the developer shall submit a construction impact management plan including a project development schedule and "good neighbor" information for review and approval by the Community Development Department. The plan shall include but is not limited to public notice requirements for periods of significant impacts (noise/vibration/street closures, tree removal, etc.), special street posting, construction vehicle parking plan, phone listing for community concerns, names of persons who can be contacted to correct problems, hours of construction activity, noise limits, dust control measures, and security fencing and temporary walkways.
- COA #20:** Trash and Recycling Container Storage. All future development shall meet the requirements for trash and recycling container storage as provided in Design Standard 2.8. Information shall be provided on plans prior to issuance of building permits.
- COA #21:** Construction Recycling. Prior to the commencement of construction on any project, the applicant shall ensure that the construction contractor has established construction recycling measures pursuant to the requirements of the Mitigation Monitoring Plan and all other City requirements. (MM 4.13-18)
- COA #22:** Energy Efficiency. All future development shall meet the requirements for energy efficiency consistent with Section 2.11 of the Spring Lake Design Standards including the requirement that five (5) percent of all units shall have roof photovoltaic energy systems or other alternate energy systems.
- COA #23:** Mechanical Equipment. Mechanical equipment such as heating, ventilation, and air

conditioning units shall not be viewable from any street.

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Review and approve the proposed conceptual residential designs for *Lennar; Cal West Subdivision at Spring Lake* subject to the conditions of approval.

RECOMMENDED ACTION: Staff recommends approval of the residential designs by making an affirmative motion as follows:

MOTION NO. 1: Move to APPROVE the residential design for *Lennar; Cal West Subdivision at Spring Lake*, as shown in the Plan Booklet, overall site exhibit (lot layout), and color/materials boards, subject to the conditions of approval provided.

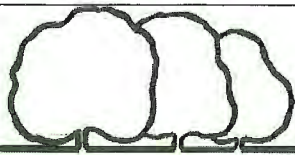
- Determine that the project as conditioned is consistent with the Spring Lake Specific Plan.
- Determine that the project as conditioned is consistent with the Spring Lake Specific Plan Design Standards.
- Approve the conceptual residential designs for *Lennar; Cal West Subdivision at Spring Lake*.

ATTACHMENTS:

Attachment 1 - General Application

Attachment 2 - Residential Design Booklet (Pre-Plot Exhibit, Landscape Plans, Elevations, Floor Plans, Color samples)

Attachment 3 - Cal West Subdivision Map #5075 and Conditions of Approval



City of Woodland

Community Development Department

300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER:

Lennar Homes of California, Inc.

MAILING ADDRESS:

1420 Rocky Ridge, #320

CITY STATE ZIP CODE:

Roseville, CA 95661

PHONE NUMBER:

916-746-8500

E-MAIL ADDRESS:

larry.gualco@lennar.com

PROJECT APPLICANT

Monique Reynolds

MAILING ADDRESS:

1420 Rocky Ridge, #320

CITY STATE ZIP CODE:

Roseville

PHONE NUMBER:

916-746-8535

E-MAIL ADDRESS:

monique.reynolds@lennar.com

2. Application Requested

☐

General Plan Petition

☐

Zoning Amendment

☐

General Plan Amendment

☐

Tentative Subdivision Map

☐

Tentative Parcel Map

☐

Lot Line Adjustment

☐

Site Plan Review

☒

Design Review

☐

Sign Design Review

☐

Conditional Use Permit (CUP)

☐

Zoning Administrator Permit

☐

Variance

☐

Public Convenience or Necessity

☐

Other

Is this request part of another application? ☐ Yes

☒ No

If so, what?

3. Project Description

Project Name:

The Crossing at Spring Lake

Total Acres or Square Feet

44

Site address or location:

Cal West Property - Subdivision 5075

Assessor's Parcel Number:

Is Your Project Located in a Flood Zone?

☐

Yes

☒

No

Does this request include signage?

☐

Yes

☒

No

4. Justification for Request



On a separate sheet, explain in detail your request and why you believe your request is justified.

5. General Plan Amendment

Existing General Plan Designation

Gross Acres

Proposed General Plan Designation

Gross Acres

6. Zoning Amendment

Existing Land Use Zone

Gross Acres

Proposed Land Use Zone

Gross Acres

7. Residential Development

No. of residential units are being requested? 225

Single Family 225

Half-plex _____

Duplex _____

Apartments _____

Condominiums _____

Other _____

Townhomes _____

Total Units 225

No. of lots will be created by this project? 225

Do you intend to market the units for sale?

☒ YES ☐ No

Do you intend to market the units for rent?

☐ YES ☒ No

8. Commercial/Industrial Development

Indicate the type of commercial/industrial development proposed:

Indicate the gross and leasable square footage for each type of development:

9. Authority to File Application

Check one:



Property Ownership



Power of Attorney*



Contract to Purchase*



Other

Specify _____

* Attach Evidence of Authority

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

APPLICATION WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Applicant: Moneque Reynolds

Date

Legal Owner: Larry Gualco

Date 9/23/15

Legal Owner: _____

Date _____

Date Received Stamp Here

DEPARTMENT USE ONLY

Amount Paid: _____

Project No: _____

Amount Due: _____

Logged by: _____ Date: _____

GP / Zoning Designation: _____

Planner: _____ Date: _____

THE CROSSING AT SPRING LAKE
Design Review Submittal

Lennar Homes is pleased to continue the collaboration with the City of Woodland toward the successful realization of the Spring Lake Specific Plan. The Crossing at Spring Lake is the development of the Cal West Tentative Subdivision Map No. 5075 which at build out proposes a total of 225 single family homes. The property will be developed in three (3) phases, the first of which consists of 74 homesites, and the second and third phases still under discussion.

This new community of homes has been designed to complement the mission of the Spring Lake Specific Plan. Along with Kevin Crook Architecture, we present home plans which feature a variety of architectural styles, color palettes and building materials which when combined will create attractive, cohesive neighborhoods while allowing for diversity in individual style.

DIVERSITY

The neighborhoods will feature five (5) home plans ranging in size from 1,682 sq. ft. to 2,713 sq. ft. Each plan has a different front orientation to provide a mixture of facades, massing and rooflines. Plans are offered in three (3) historic architectural elevation styles including:

Traditional – which incorporates forward facing gables with board and batten siding, traditional multi-paned windows, and shake tile roofs.

Spanish – which incorporates recessed windows and doors with arched soffits, plank style shutters, and a gable/hip roof with “S” tiles.

Prairie – which incorporates a variety of material finishes, horizontal banding to emphasis the liner-plane in the architectural style, and a flat slate tile hip roofs.

Additionally, there are nine (9) complementary color palettes, three (3) garage styles, and three (3) decorative concrete driveway and walkway patterns.

STREET VIEW

To increase curb appeal, homes are designed to bring emphasis to living spaces instead of garages, by including either front porches or courtyards. This feature also provides homeowners with another option for outdoor living area in which to interact with neighbors.

PLAN MATRIX

PLAN #	SQUARE FOOTAGE	1 STORY/ 2 STORY	DESCRIPTION
1	1682	1-story	3-bed, 2-bath, courtyard, 2-car garage
2	1827	2-story	3-bed, 2 ½ bath, bonus rm, porch, 2-car garage
3	2119	2-story	3-bed, 3-bath, bonus/opt 4-bed,

			courtyard, 2-car garage
4	2461	2-story	3-bed, 3-bath, office/opt 4-bed, porch, 2-car garage
5	2713	2-story	3-bed, 3-bath, office/opt 4-bed, porch, 2-car garage

Lennar is completing it's building program in Camillia at Spring Lake which proved to be very successful, and is currently kicking off our new community Brookstone at Spring Lake. It is our sincere desire to continue our partnership with the City of Woodland in establishing the City as a desirable destination for homeownership.

Thank you for your consideration of our Design Review Submittal for The Crossing at Spring Lake.

The Crossing at Spring Lake

WOODLAND, CA

DESIGN REVIEW



LENNAR®

KEVIN L. CROOK
ARCHITECT
INC. klcarch.com



Developer
Contact: Monique Reynolds
www.lennar.com

Architect
Contact: Barry Pattison
Business: (949) 660-1587
www.klcarch.com

Civil Engineer
Business: (530) 758-2026
www.cecwest.com

Landscape
Contact: Jim Luttrell
Business: (916) 420-7864
www.earthlinedesign.com

Solar
www.namastesolar.com

Lennar
1420 Rocky Ridge, Suite # 320
Roseville, CA 95661

Kevin L. Crook Architect
1360 Reynolds Ave., Suite #100
Irvine, CA 92614

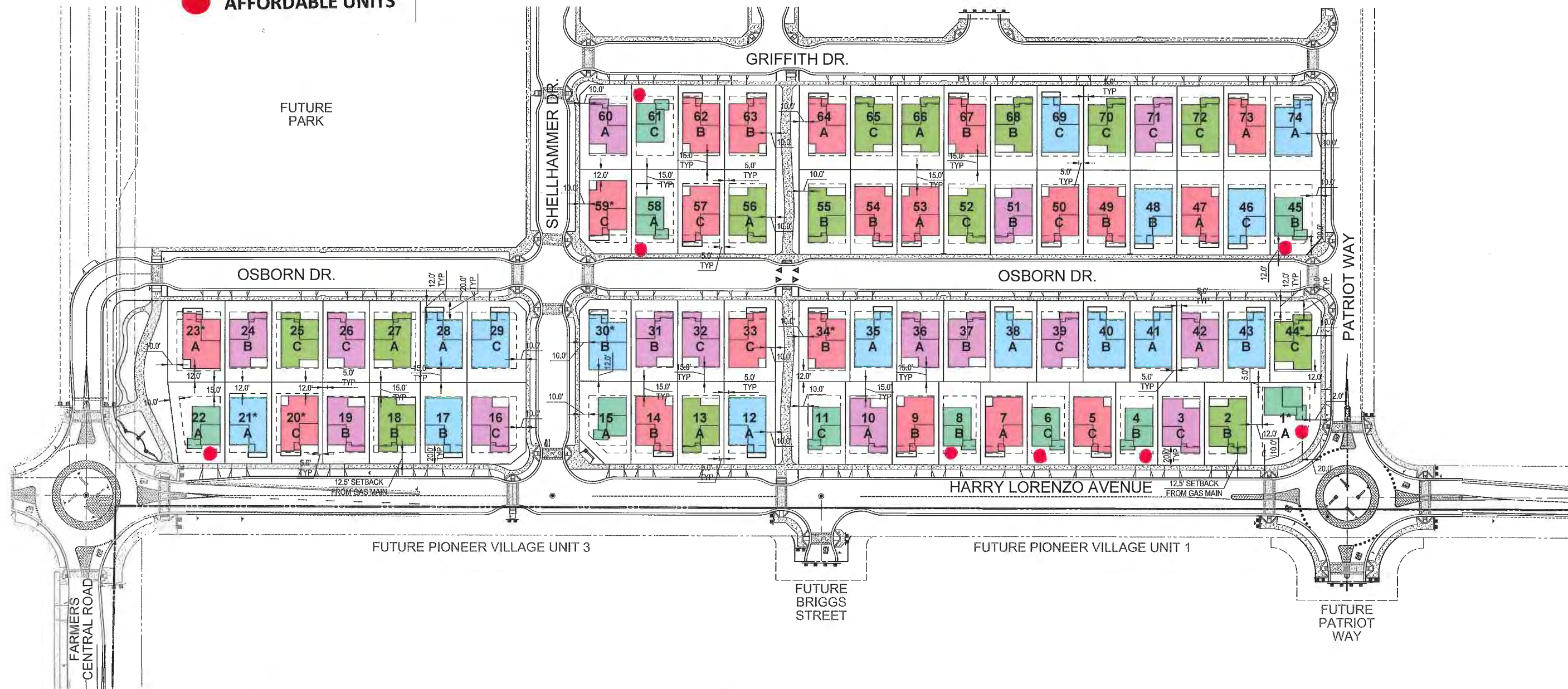
Cunningham Engineering
2940 Spafford Street, Suite 200,
Davis, CA 95618

Earthline Design Group

Namaste Solar
4571 Broadway, Boulder, CO 80304

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AFFORDABLE UNITS

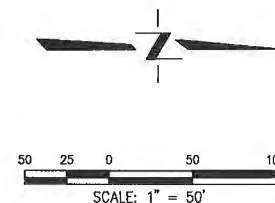
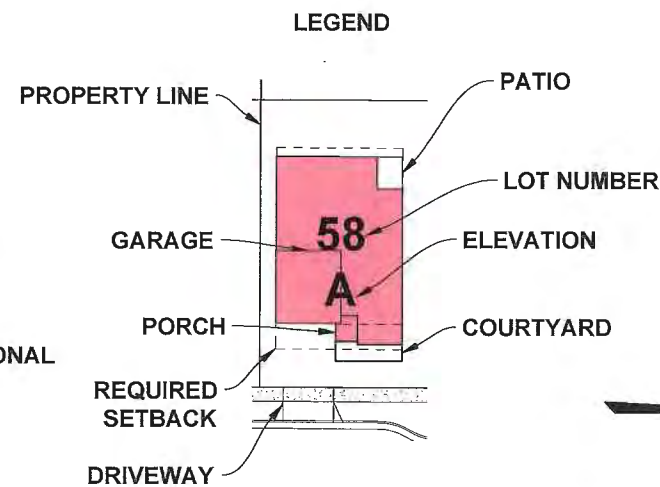


TYPICAL SET BACK ENVELOPE DIMENSIONS
 FRONT HOUSE/GARAGE: 12'/20'
 SIDES INTERIOR/STREET: 5'/10'
 REAR: 15' (50% ALLOWED 12')

* DENOTES LOT ADHERING TO 12' MIN. REAR
 SETBACK (8 OF 74)



ELEVATIONS
 A: SPANISH
 B: PRAIRIE
 C: TRADITIONAL



PRE-PLOT PLAN FOR CAL-WEST

WOODLAND, CALIFORNIA

PREPARED FOR:
 LENNAR HOMES

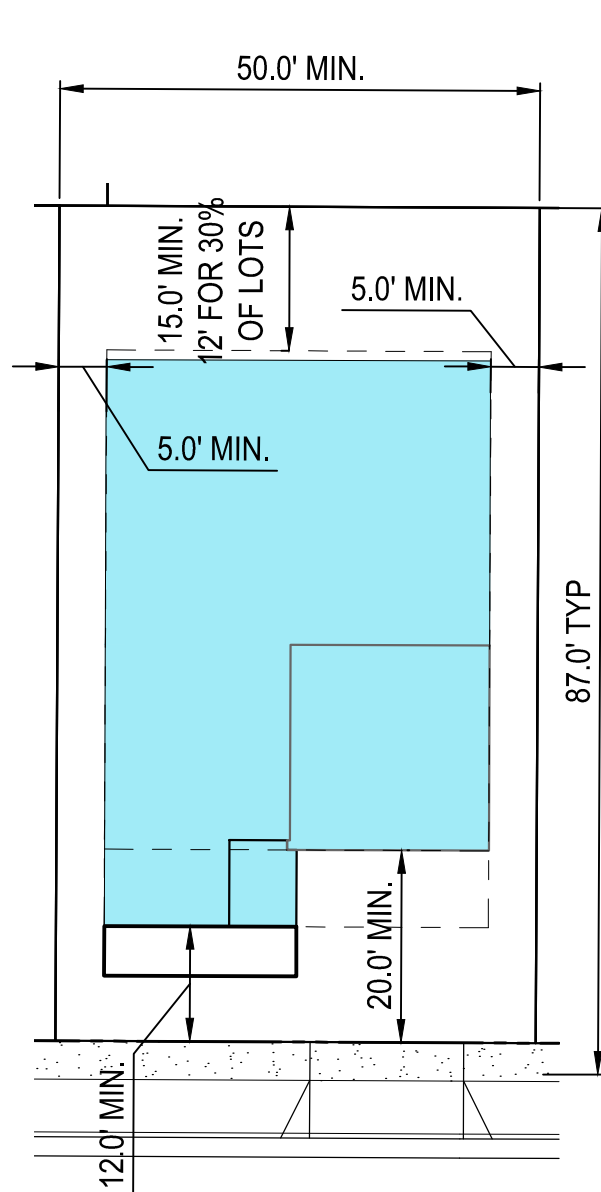
PREPARED BY:



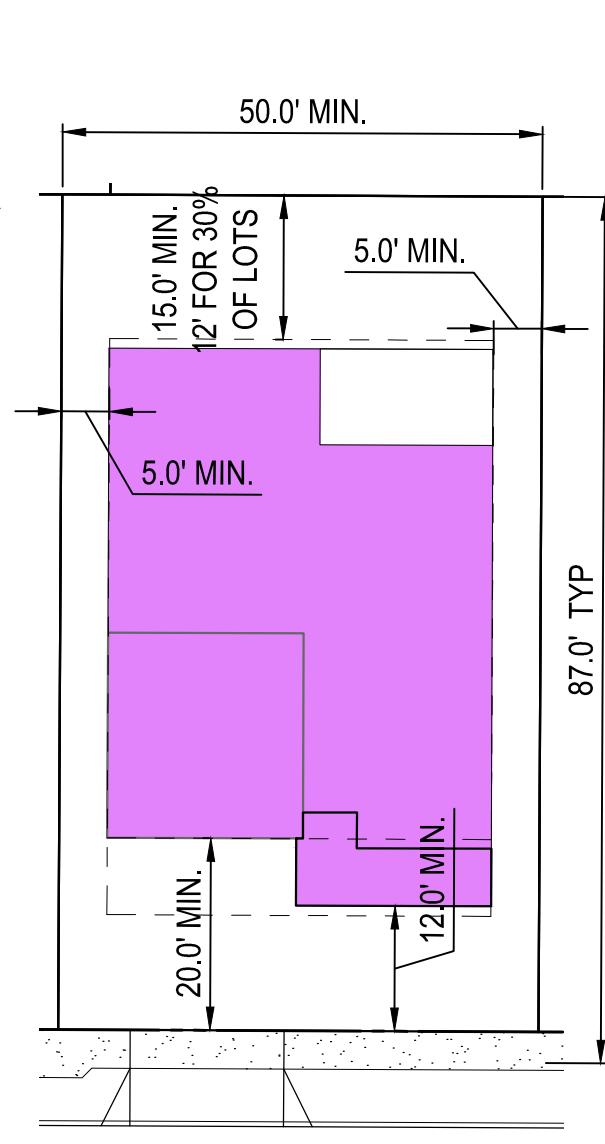
CECWEST.COM
 Project Planning • Civil Engineering • Landscape Architecture
 Sacramento Office 2120 20th Street, Suite Three Sacramento, CA 95818 (916) 455-2026
 Davis Office 2940 Spafford Street, Suite 200 Davis, CA 95618 (530) 758-2026

CEC CONTACT:
 BRIAN FOSTER

DECEMBER 2016
 1472.03



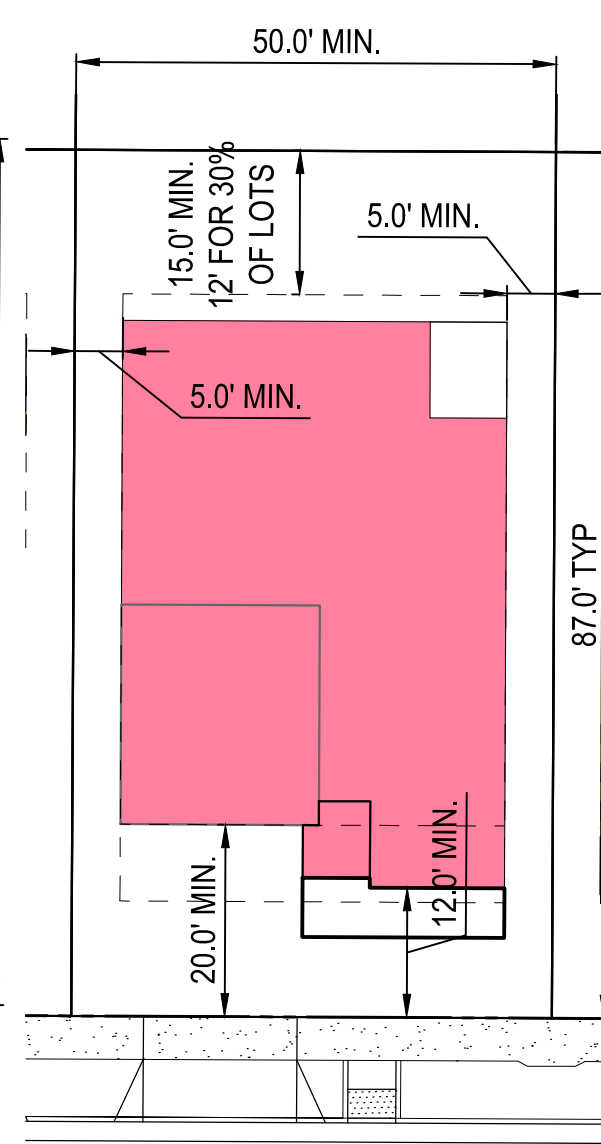
PLAN 1682



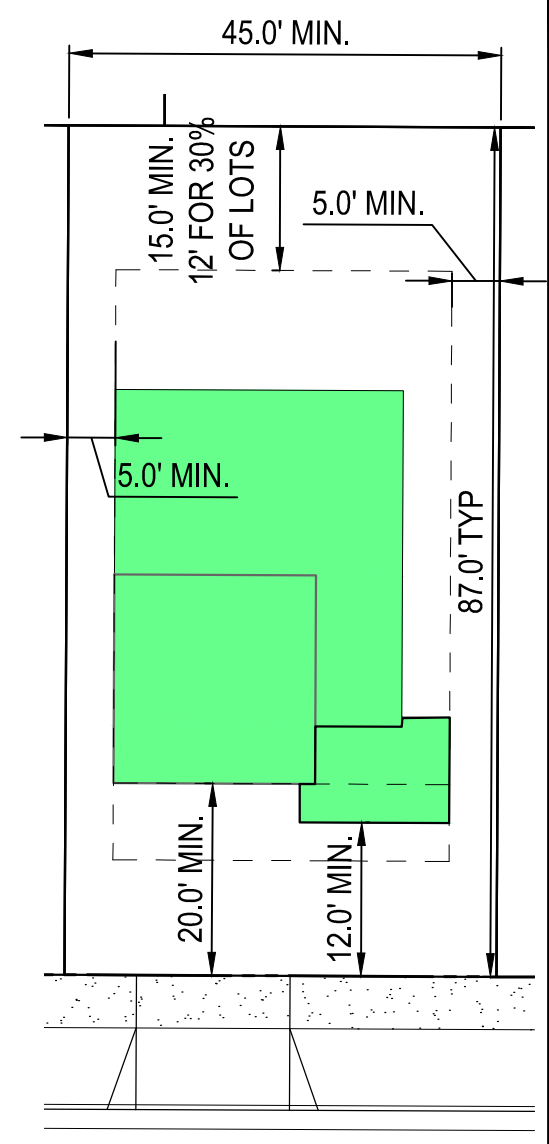
PLAN 2461



PLAN 2713



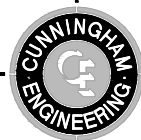
PLAN 2119



PLAN 1827

DESIGNED BY: BF
 DRAWN BY: BF
 CHECKED BY: BF

SCALE
 1" = 20'

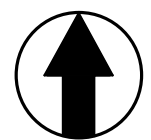


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WOODLAND

EXHIBIT **THE CROSSING AT SPRING LAKE - SETBACK EXHIBIT**

CALIFORNIA



SHEET
1
 OF
1
 DATE: 10/02/15
 JOB NO: 1472.03



A-Spanish

Incorporates recessed windows and doors in a stucco wall plane with arched soffits, plank type shutters, with “clay” pipe detailing in the gables and “S” tile roof in a combinations of gable and hip roofs.



B-Prairie

Incorporates forward facing gables with board and batten siding and round gable end vents, traditional multi-pane window and door trim along with louver type shutters and flat “shake” tile roofs.



C-Traditional

While the Traditional style is not indicative of any specific regional style or time period, it is meant as an overarching theme made up of traditional details and materials: lap siding, shingle siding, board and batten siding, double post porch columns with stone base, round gable end vents, multi-paned windows, wide corner boards and header trim turned down on the sides along with louver type shutters and 6-panel front doors all of which are reinforced with “Traditional” color schemes. Together they are intended to evoke traditional images in the mind of the new home buyer who may not be formally educated in any one specific region or time period of Traditional architecture.



D-French

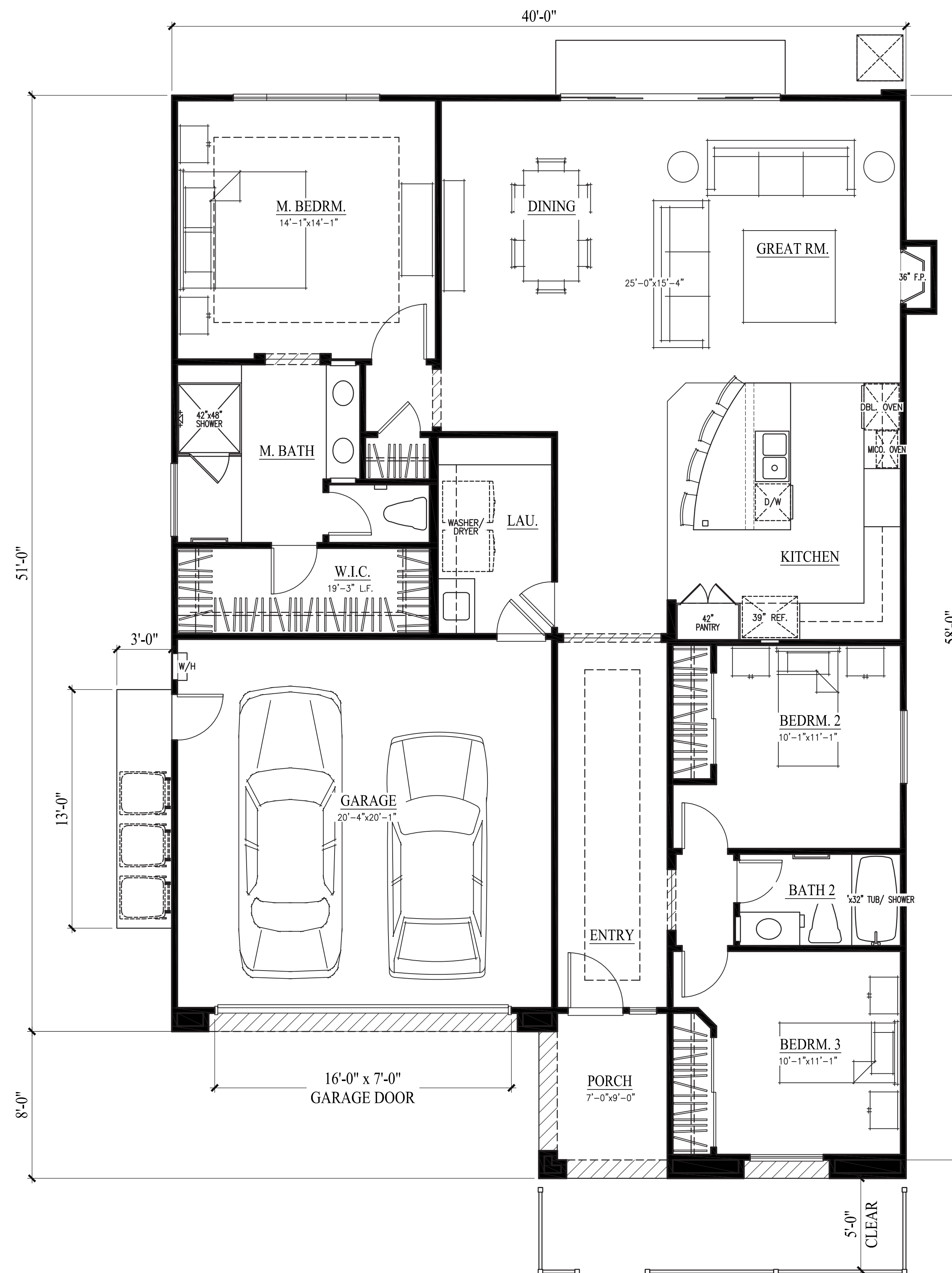
Incorporates recessed windows and doors in a stucco wall plane with trimmed arched soffits, arch angled plank type shutters, vertical mullions, curved corbels at gable ends along with a stone wainscot.

THE CROSSING AT SPRING LAKE - ARCHITECTURAL STYLES

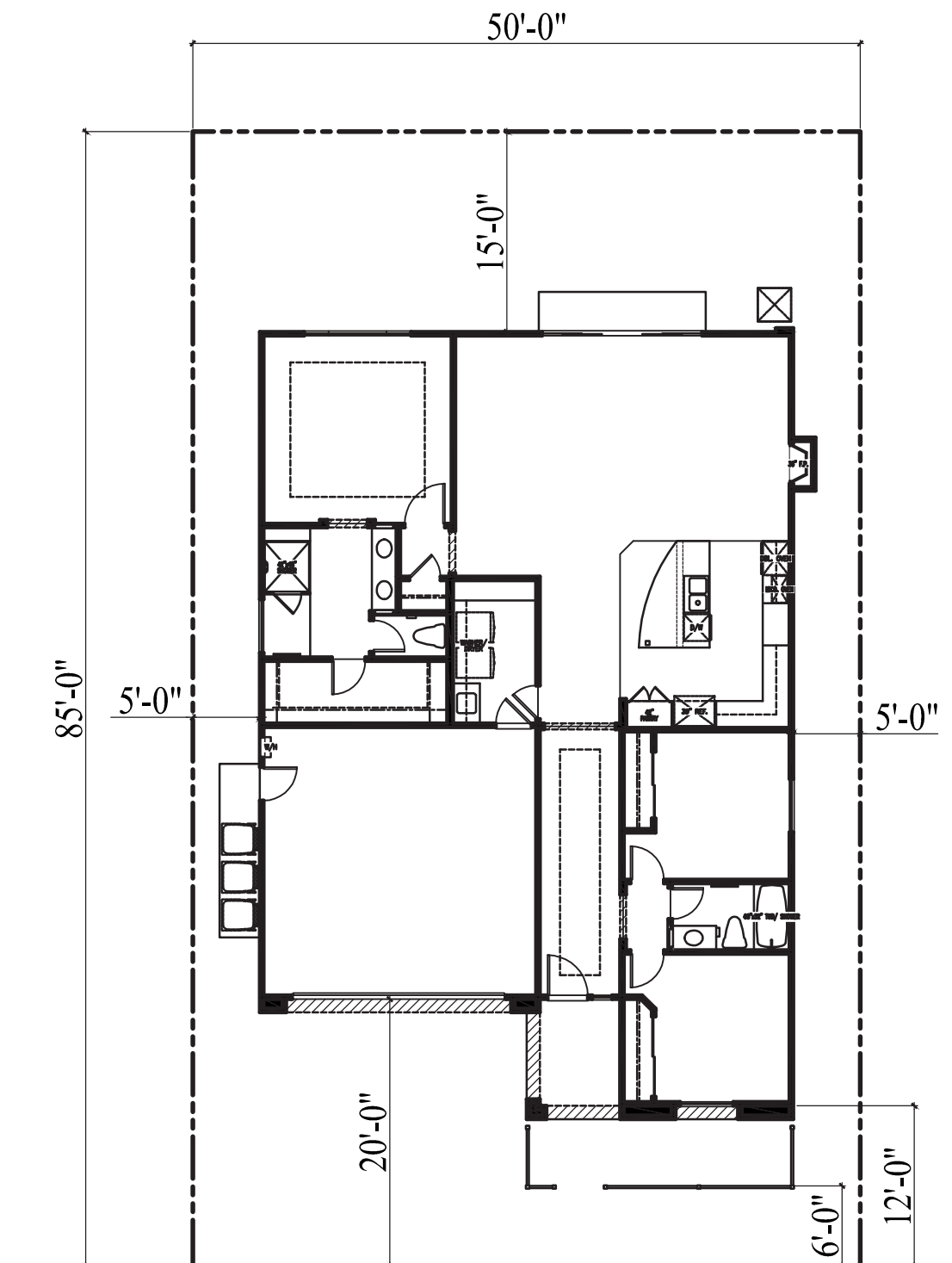
An offering of both single and two story plans along with a variety of plan widths, massing and roof configurations all contribute to the architectural diversity as outlined in the Spring Lake Specific Plan Design Standards and Guidelines. The plans offer a variety of front massing configurations including porch forward and courtyard forward.

In all instances the garage has been setback from the forward elements mitigating its impact.

Three elevation styles have been selected for their diversity in materials, detailing, color palettes and roof designs.



FIRST FLOOR PLAN
PLAN 1682



AREA TABULATION	
CONDITIONED SPACE	
FLOOR AREA	1,682 SQ. FT.
TOTAL DWELLING	1,682 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	421 SQ. FT.
PORCH	55 SQ. FT.



"A" - SPANISH
COLOR SCHEME #1



"B" - PRAIRIE
COLOR SCHEME #4

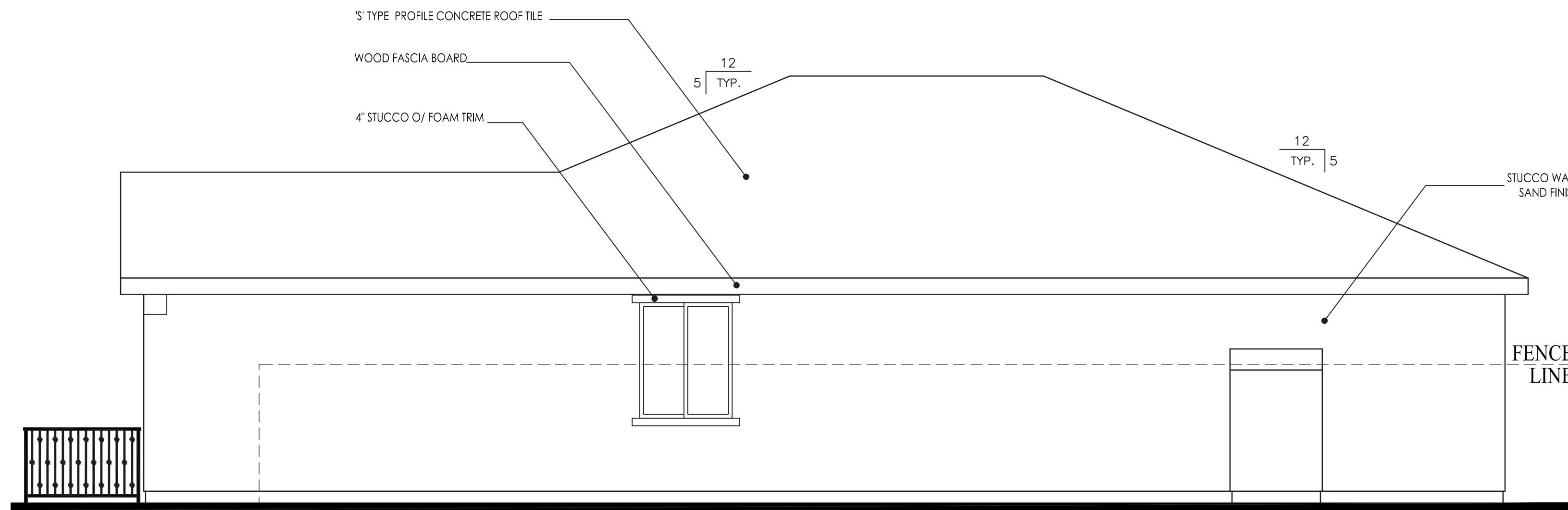


"C" - TRADITIONAL
COLOR SCHEME #7

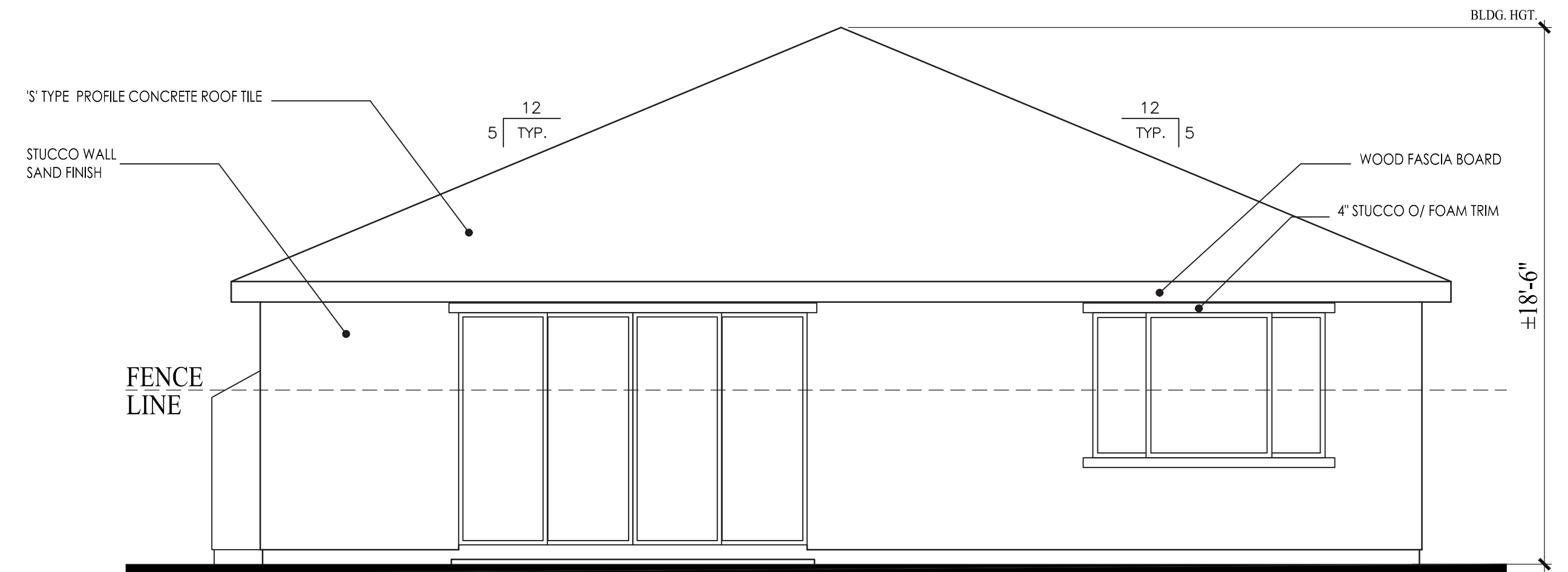


"D" - FRENCH
COLOR SCHEME #10

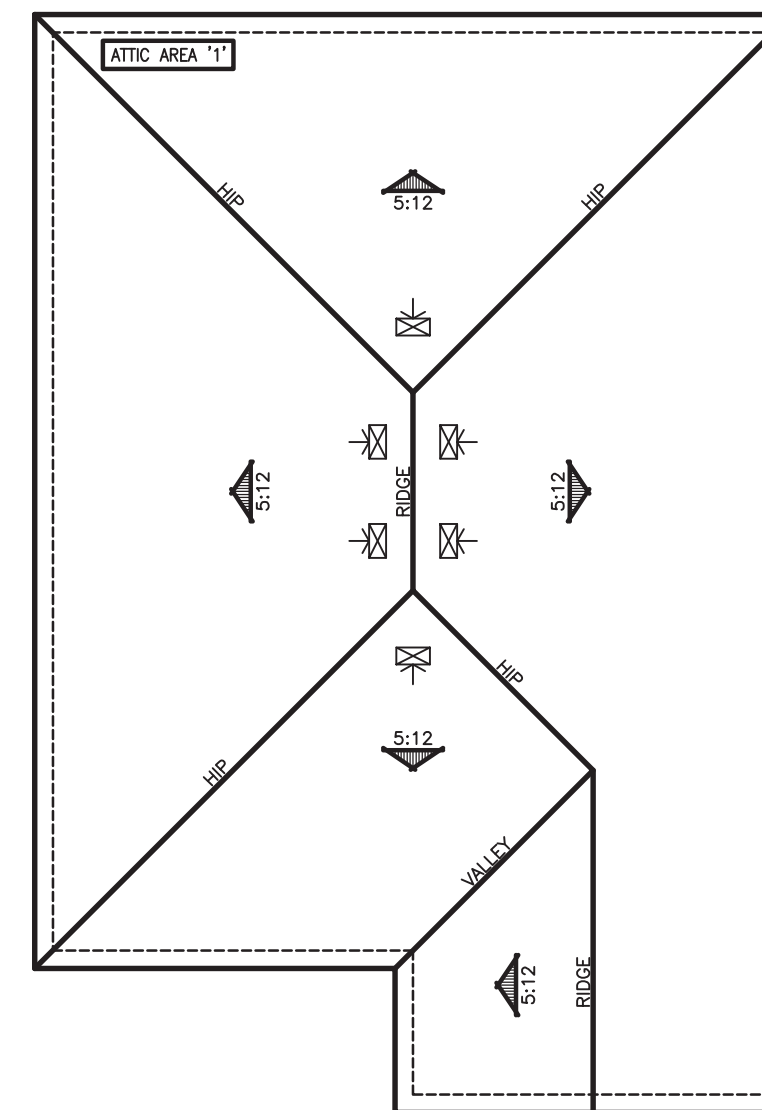
PLAN 1682 - FRONT ELEVATIONS



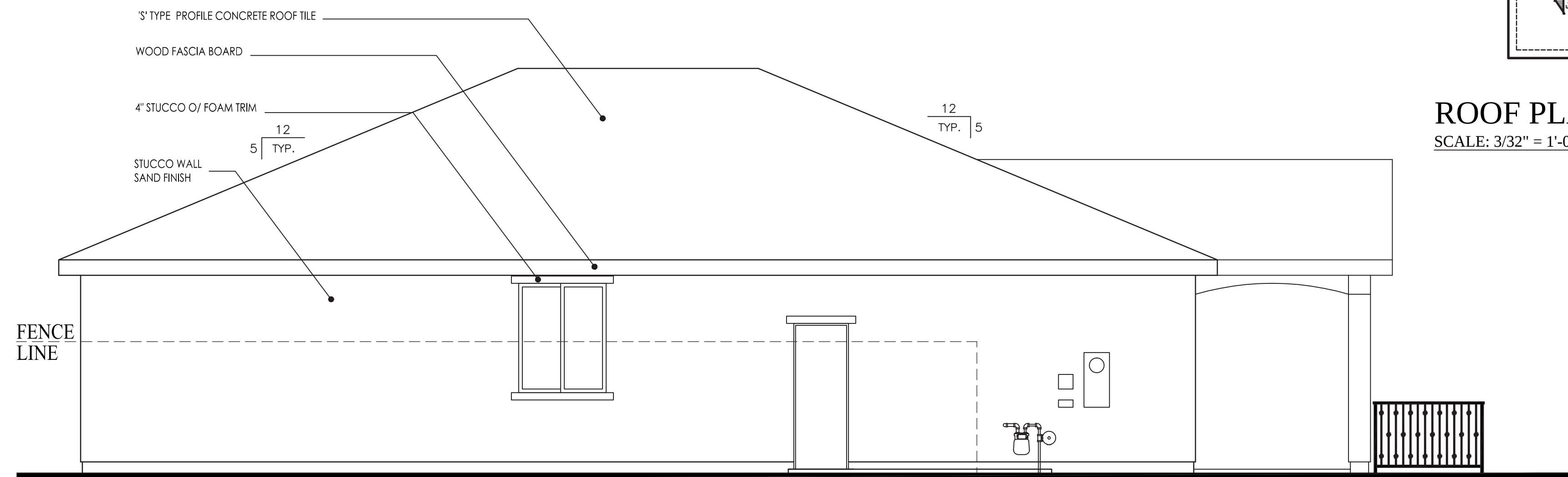
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



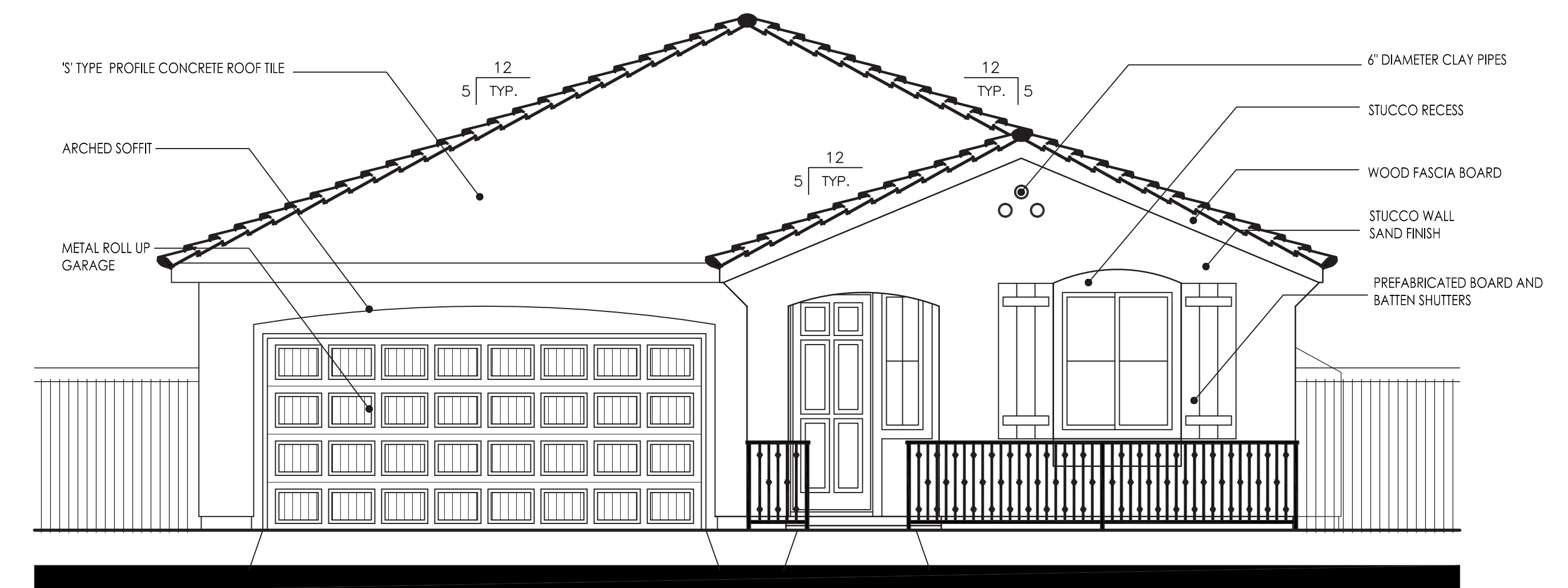
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

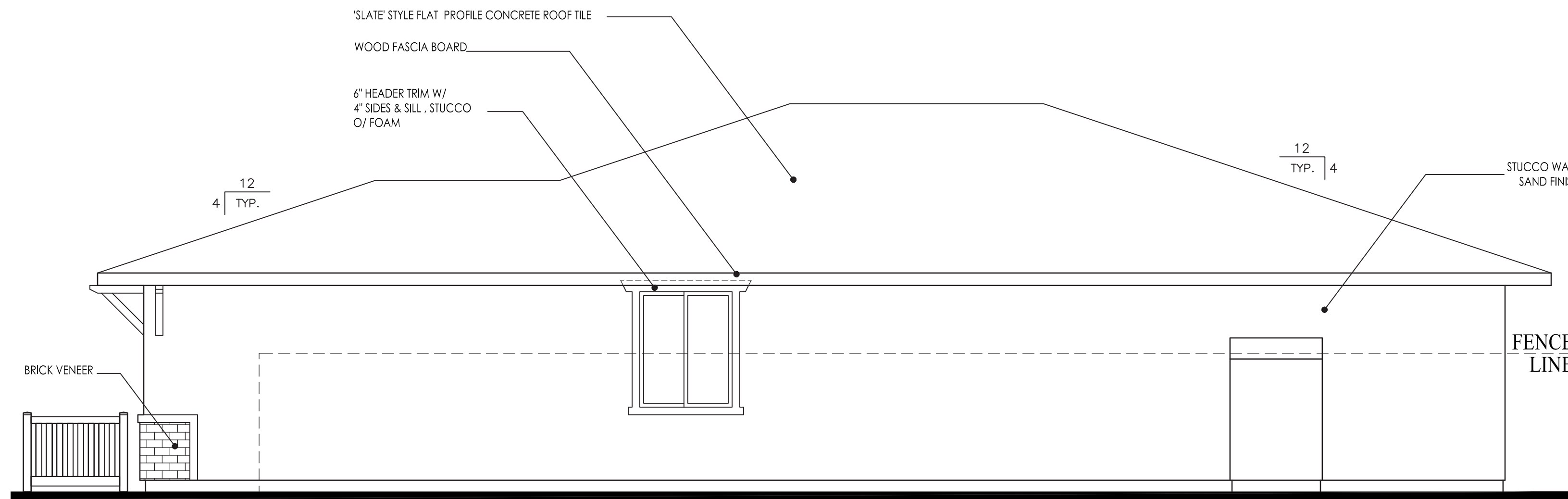


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

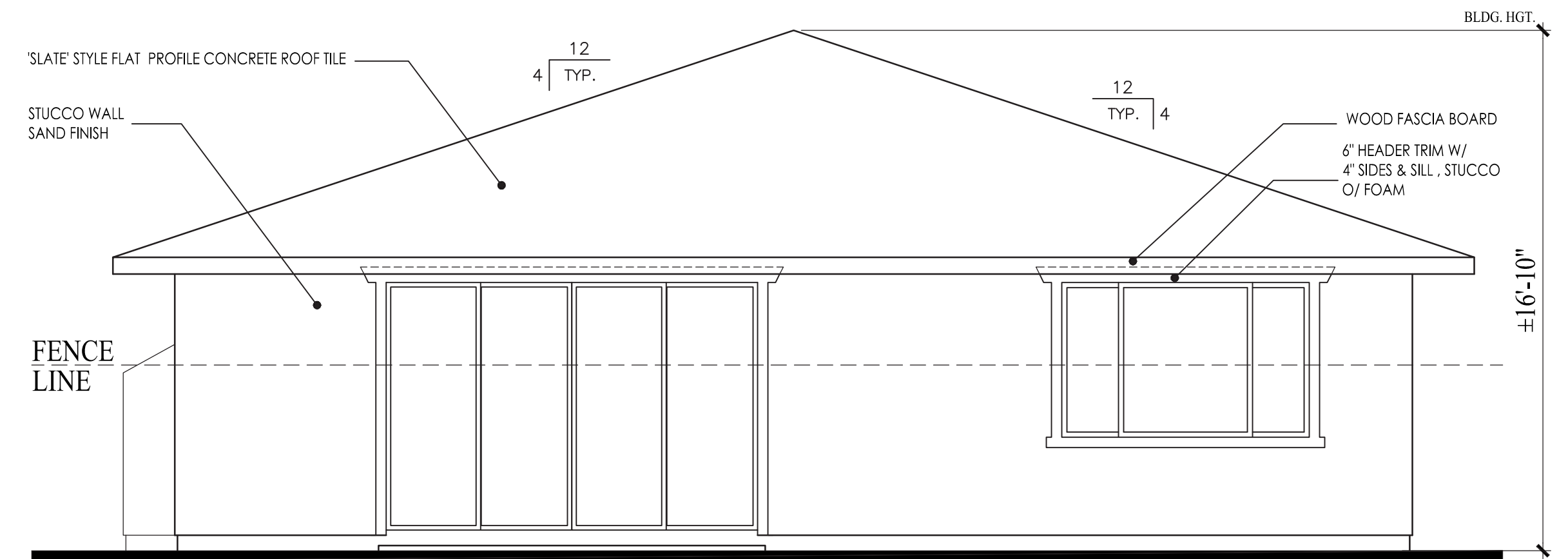


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

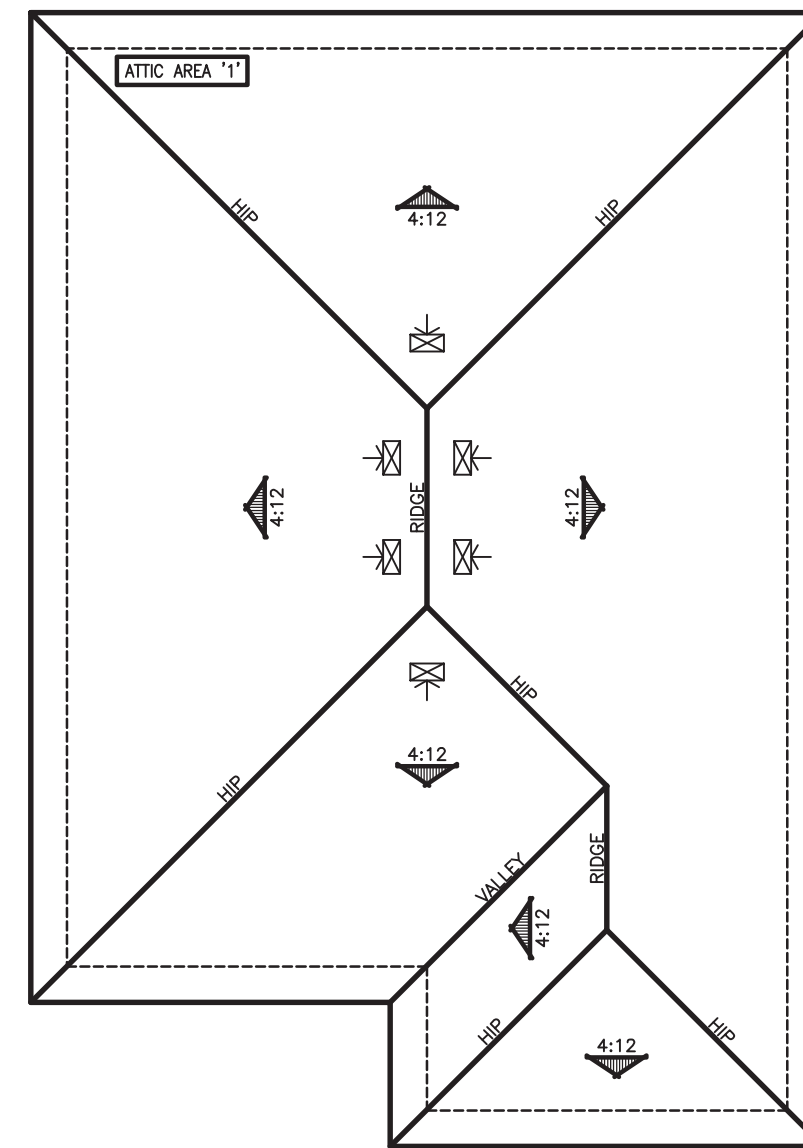
PLAN 1682 - SPANISH



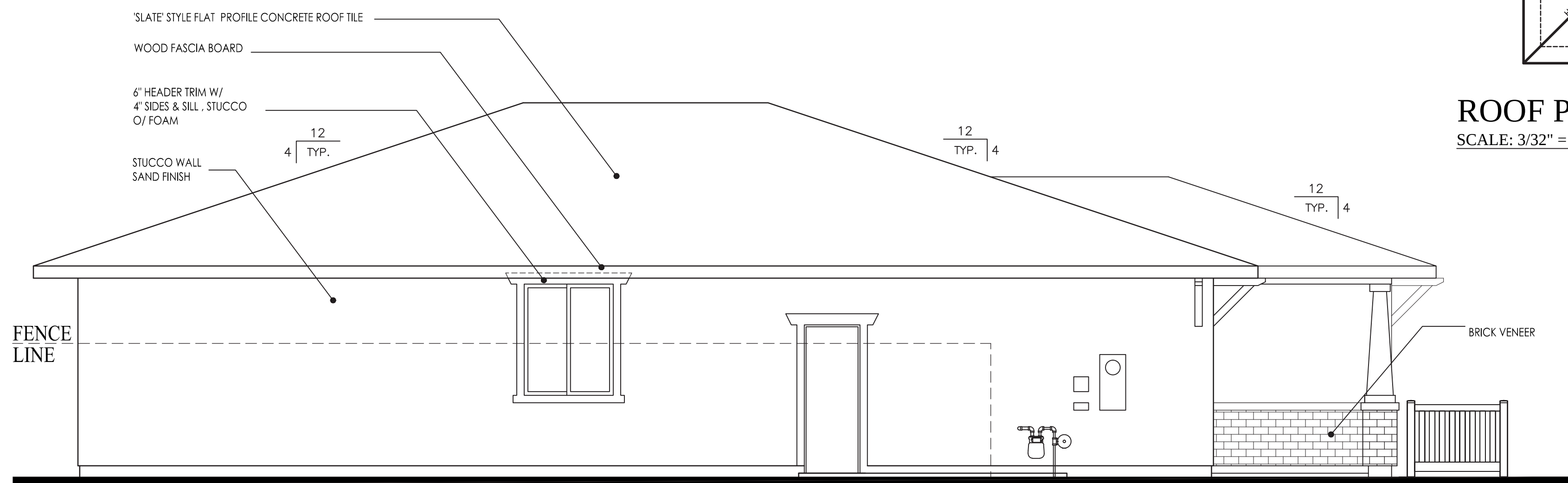
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

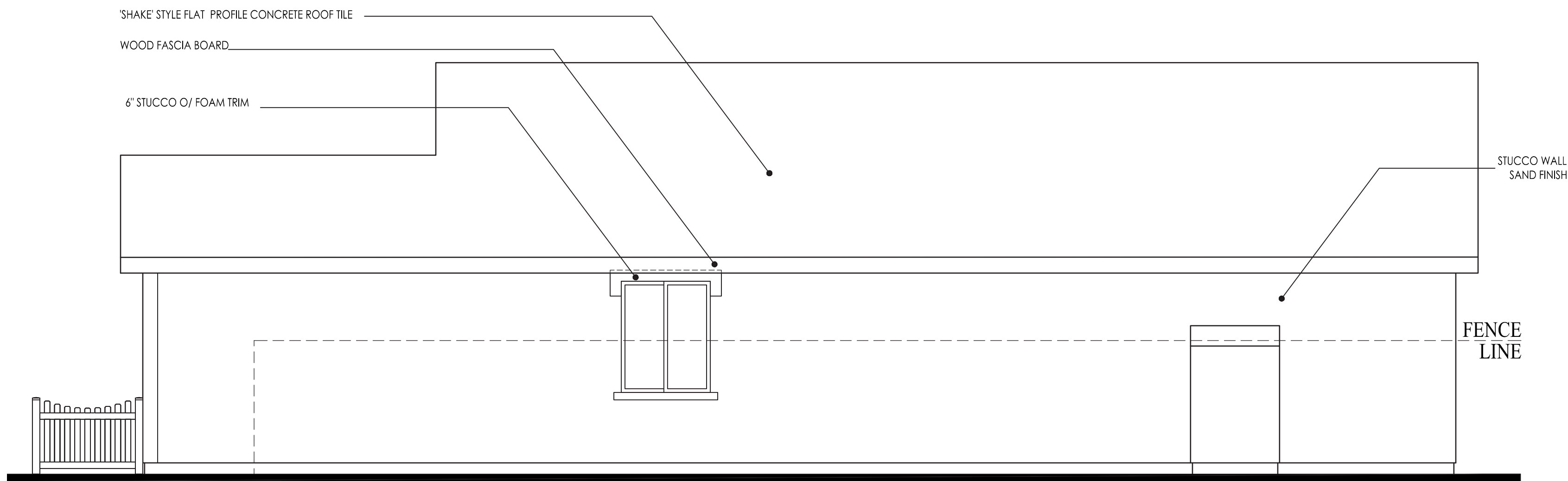


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

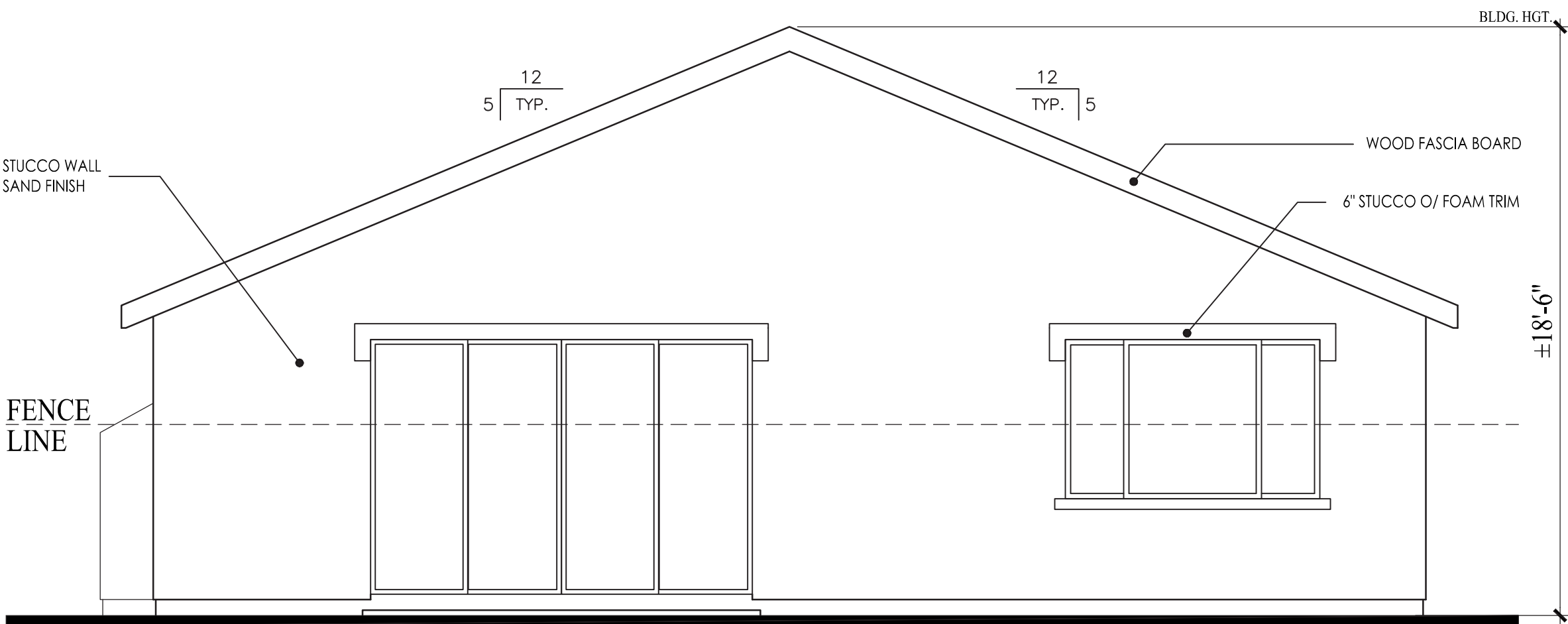


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

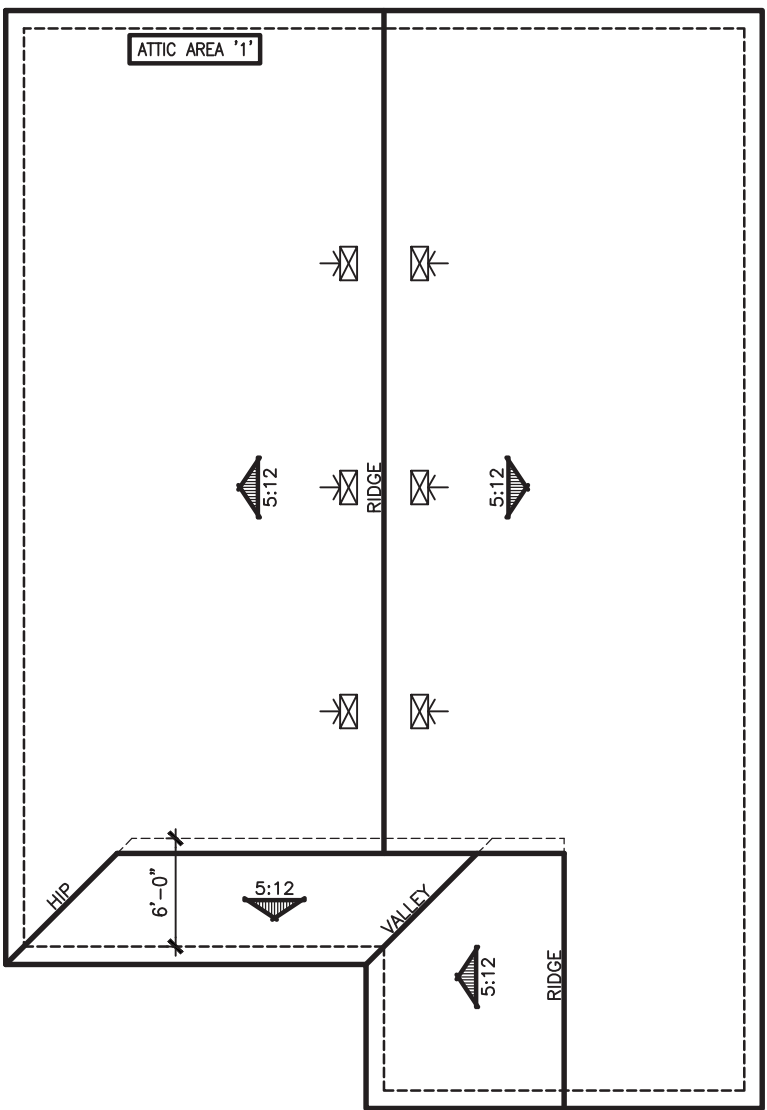
PLAN 1682 - PRAIRIE



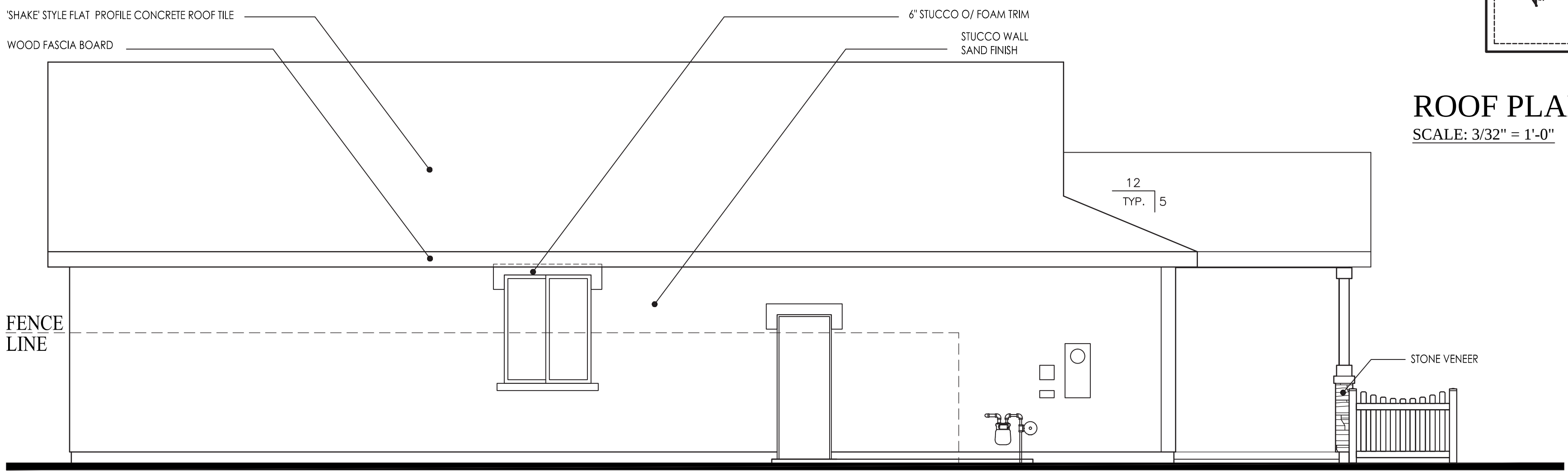
RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



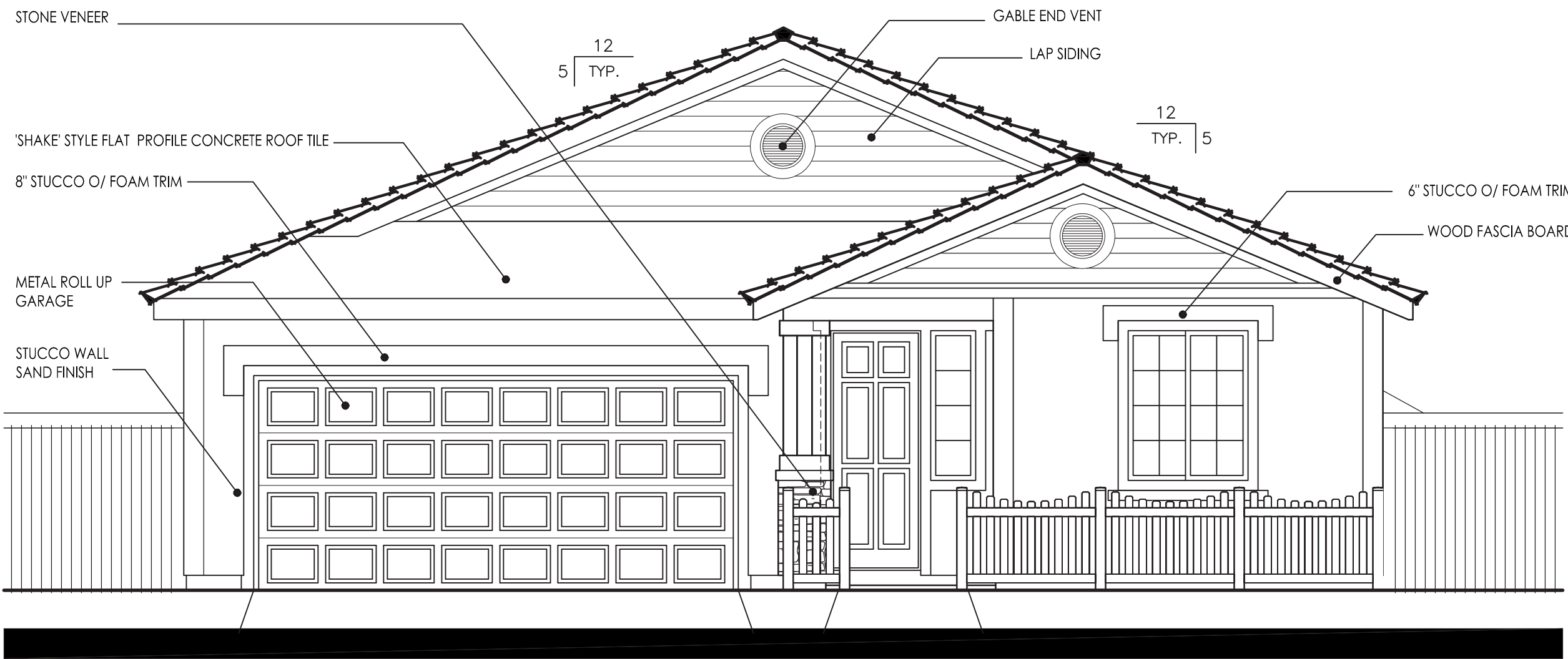
REAR ELEVATION
 SCALE: 1/4" = 1'-0"



ROOF PLAN
 SCALE: 3/32" = 1'-0"

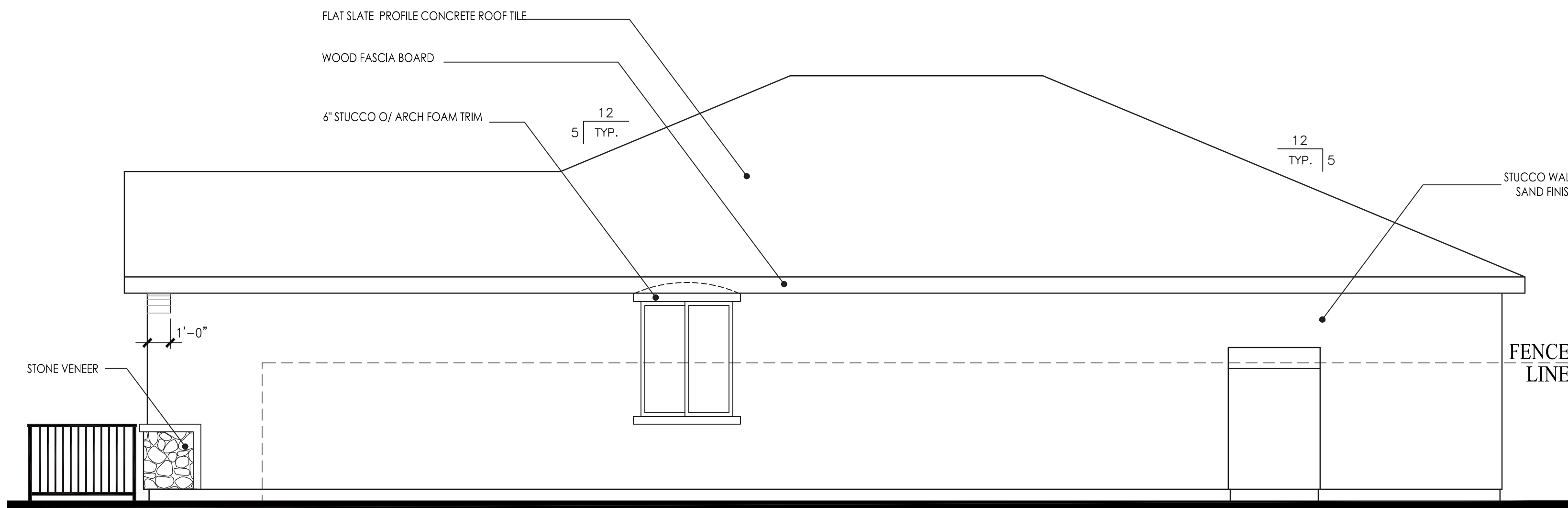


LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

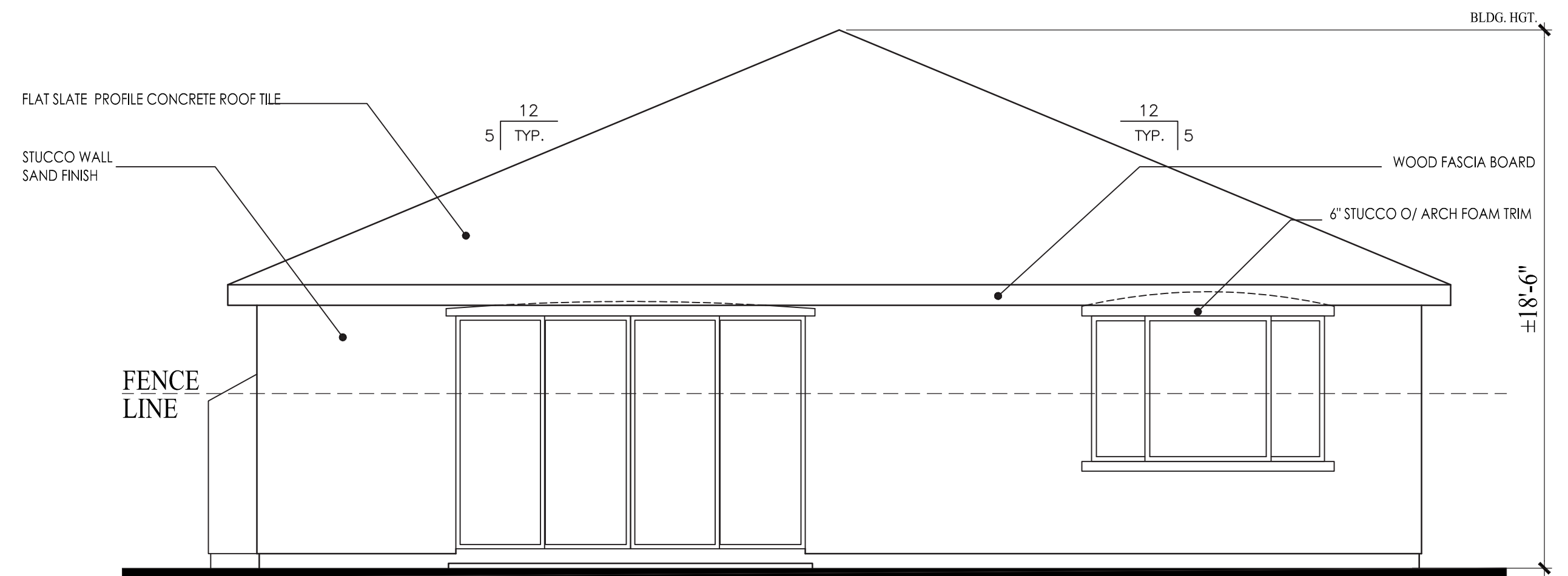


FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

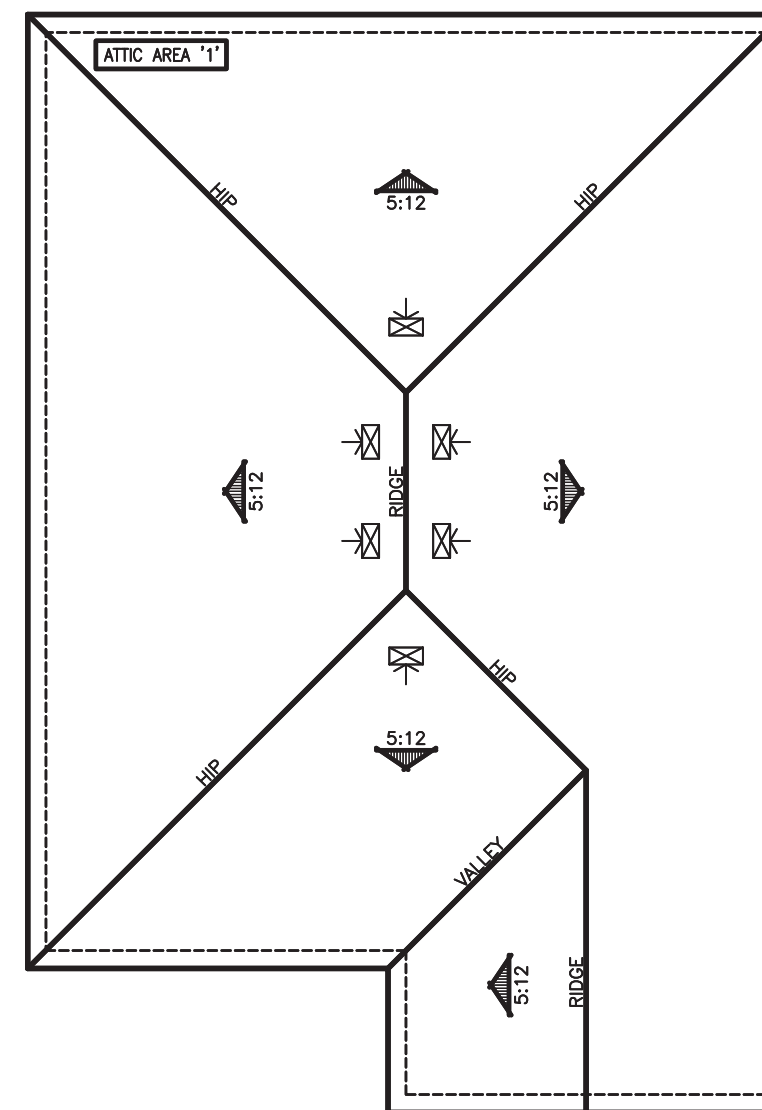
PLAN 1682 - TRADITIONAL



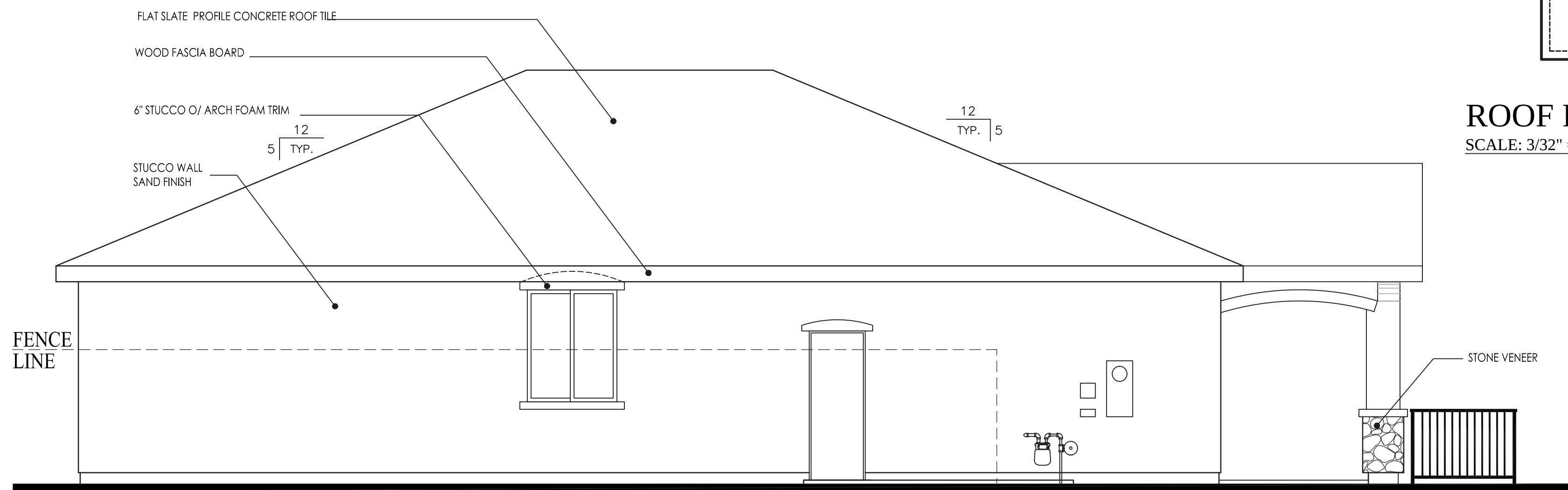
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



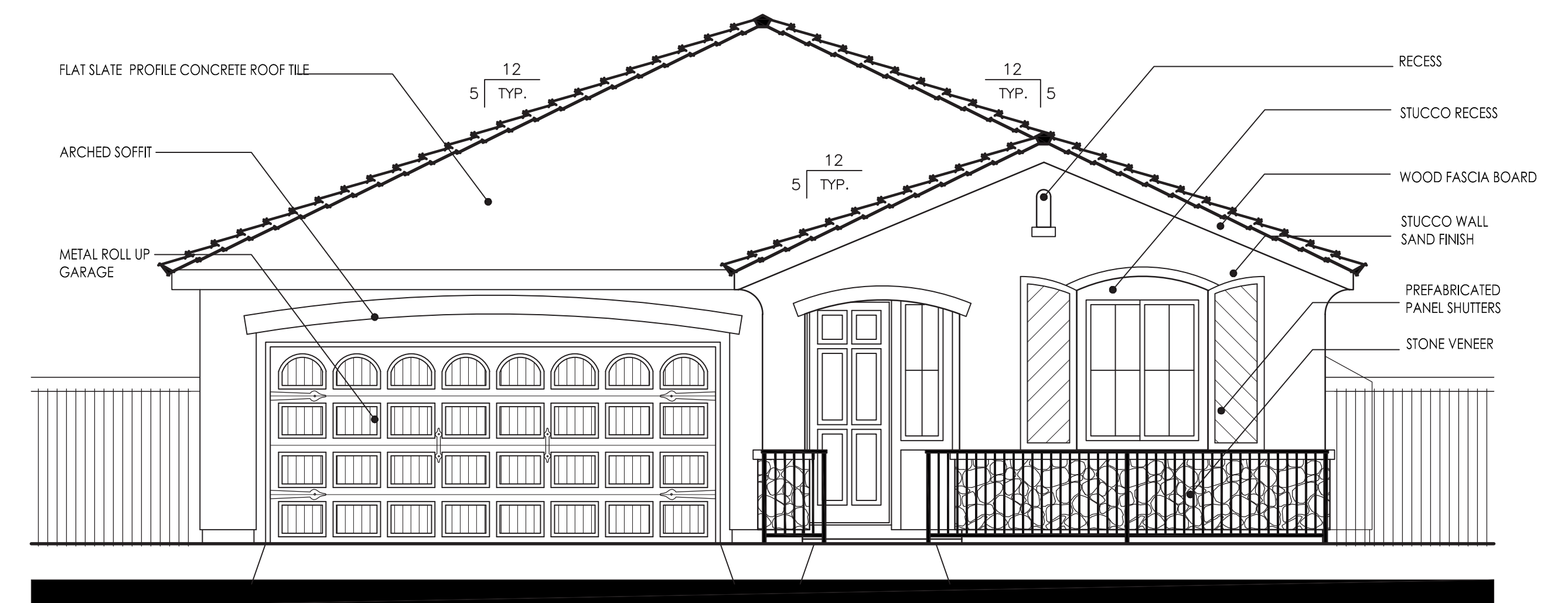
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

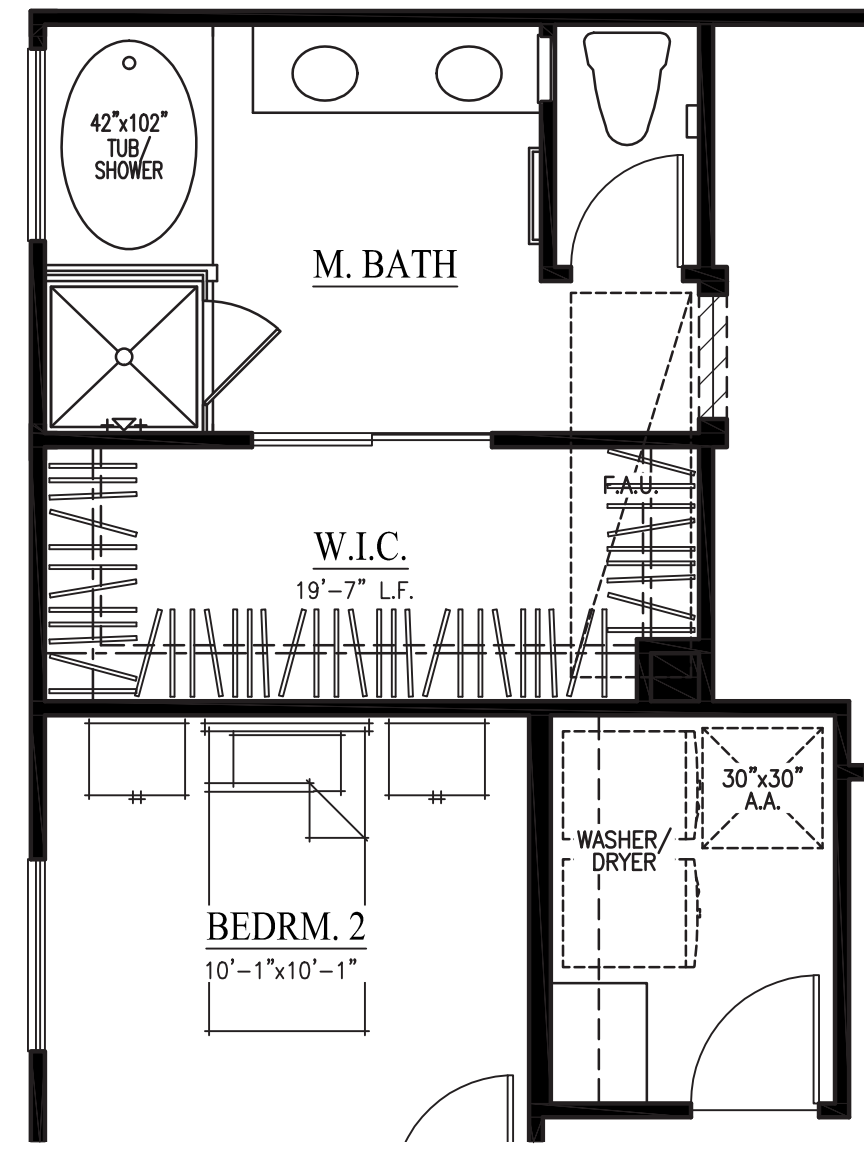


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

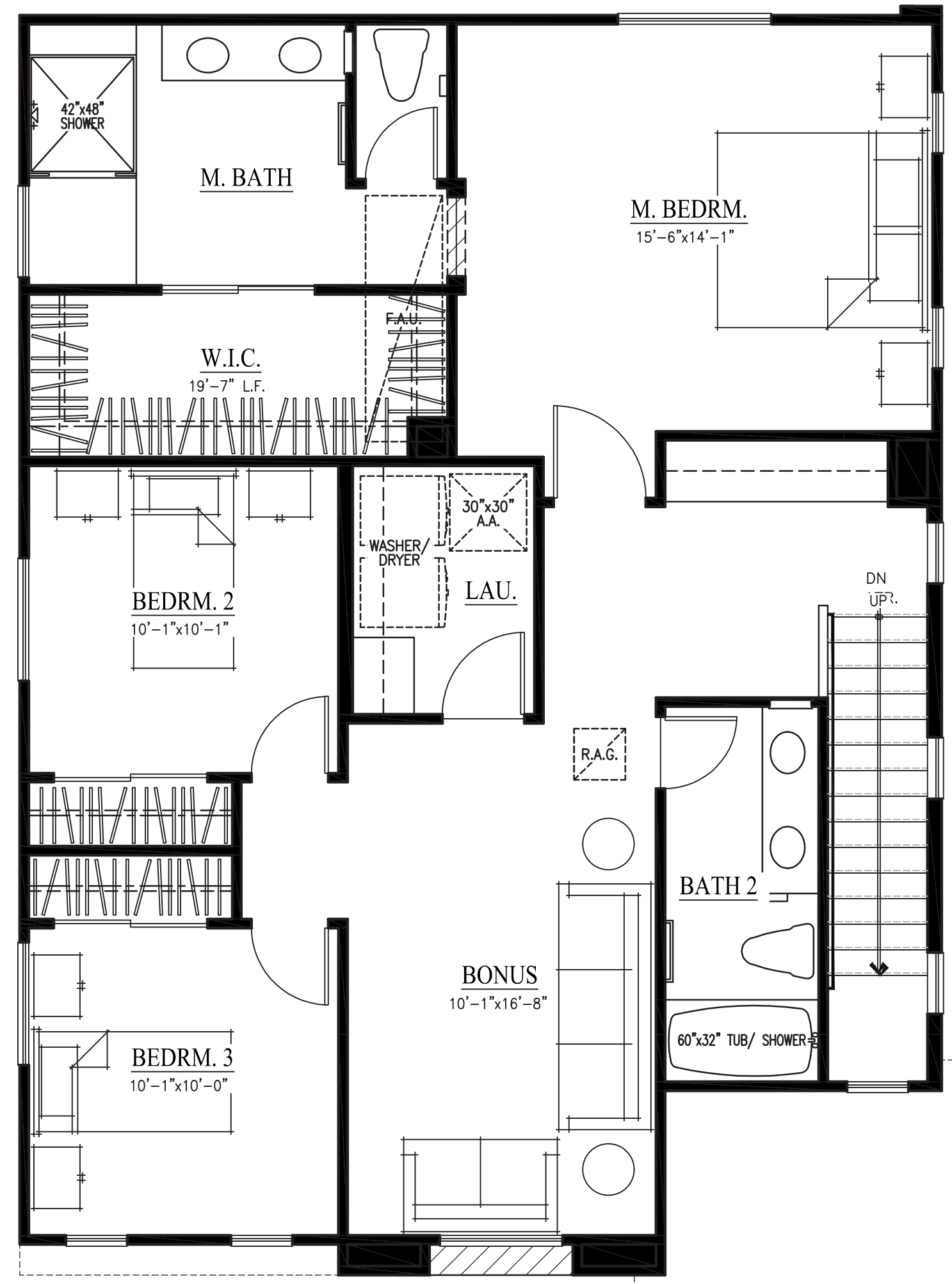


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

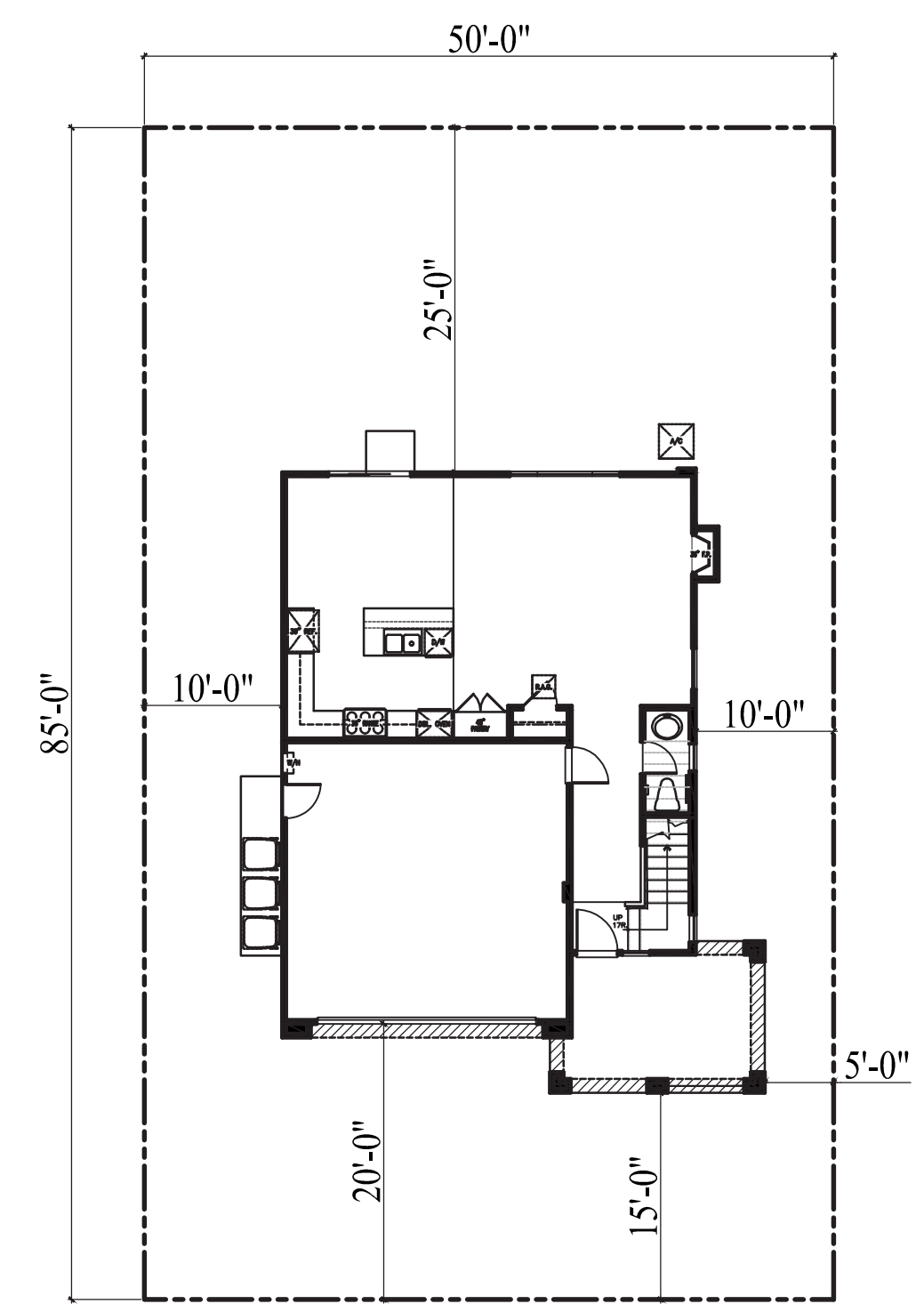
PLAN 1682 - FRENCH



AFFORDABLE M. BATH



SECOND FLOOR PLAN

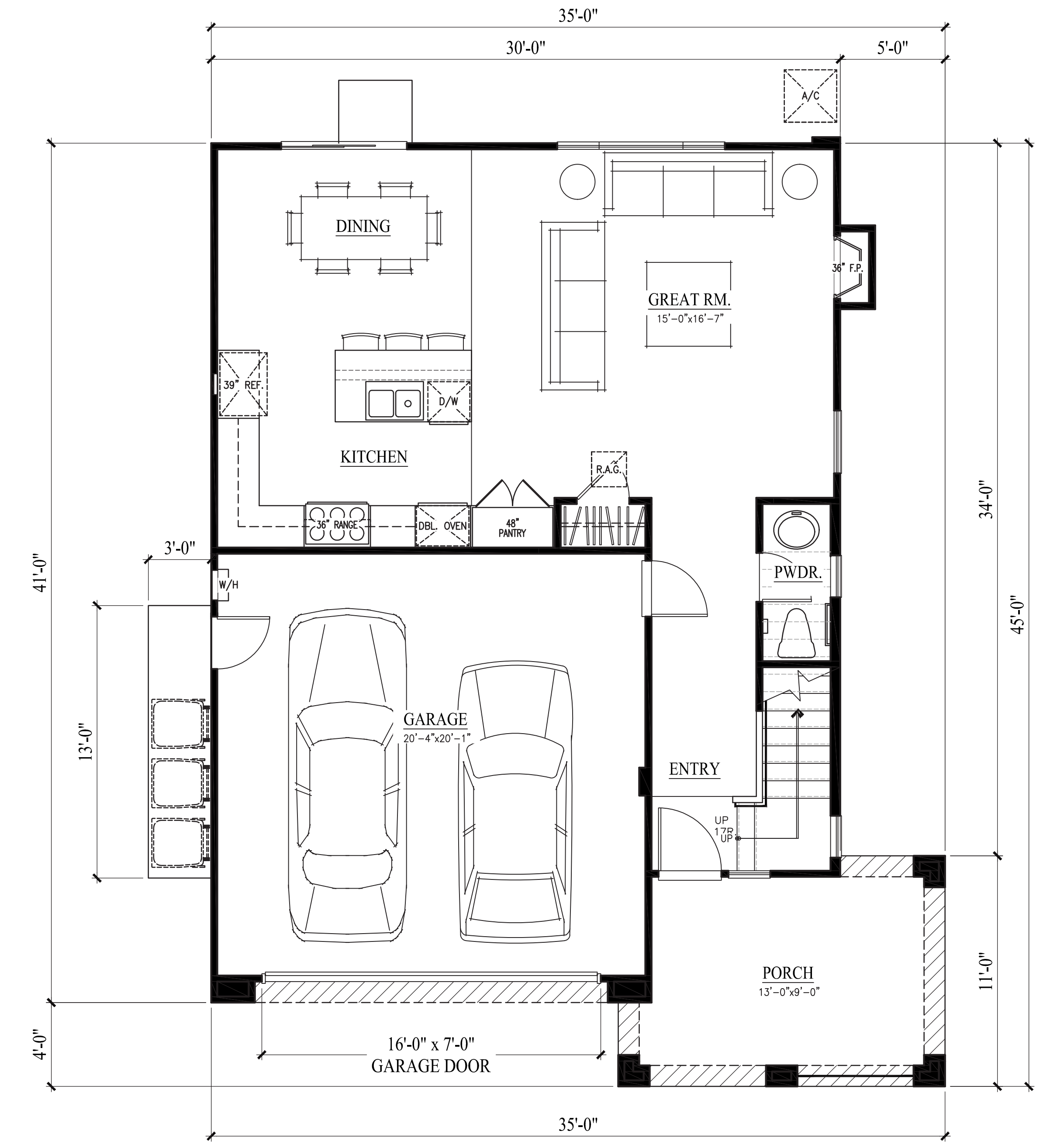


AFFORDABLE KITCHEN

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	730 SQ. FT.
SECOND FLOOR AREA	1097 SQ. FT.
TOTAL DWELLING	1,827 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	424 SQ. FT.
PORCH	149 SQ. FT.

PLAN 1827 - MARKET RATE



FIRST FLOOR PLAN



"A" - SPANISH
COLOR SCHEME #2



"B" - PRAIRIE
COLOR SCHEME #5

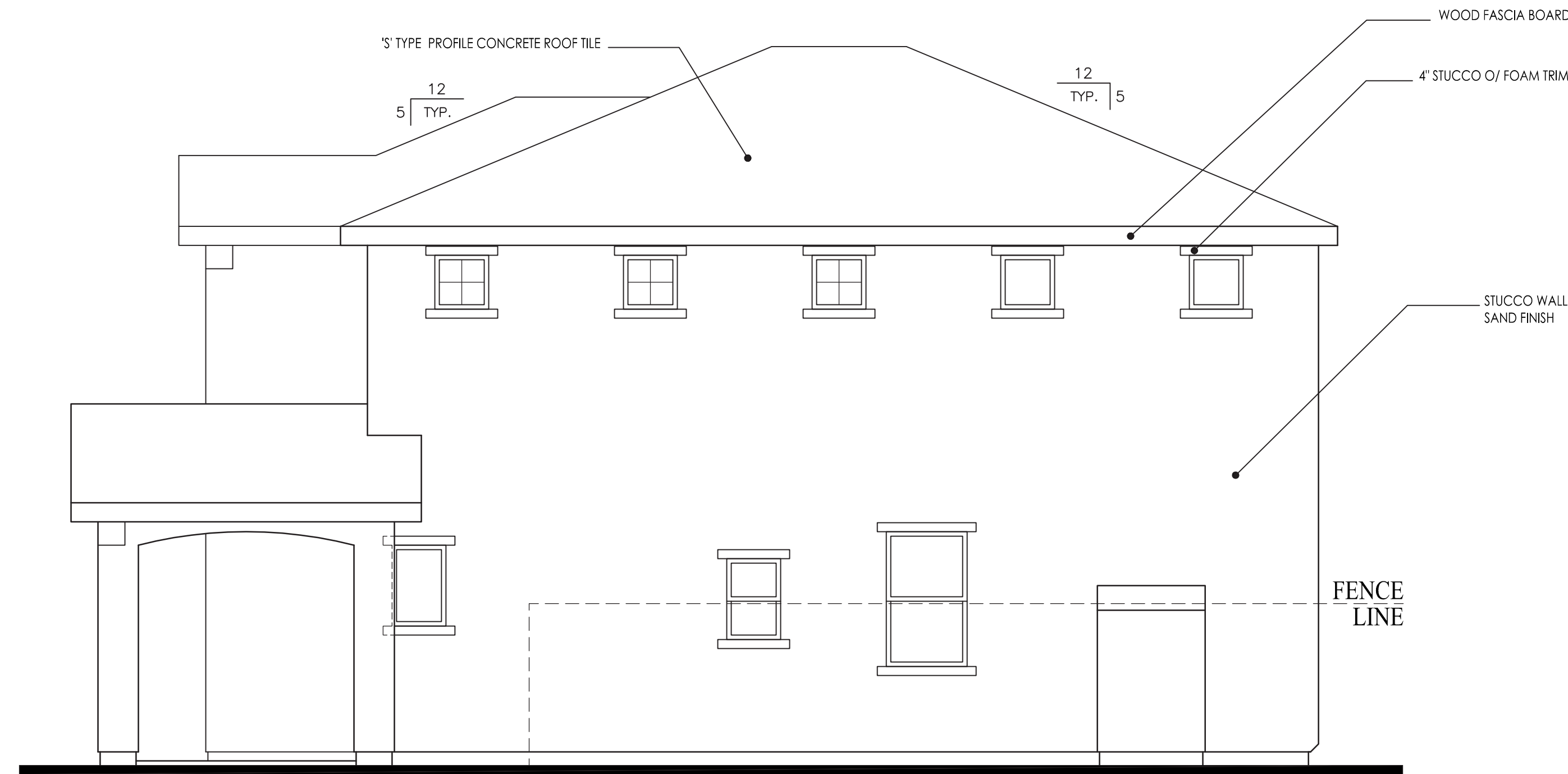


"C" - TRADITIONAL
COLOR SCHEME #8

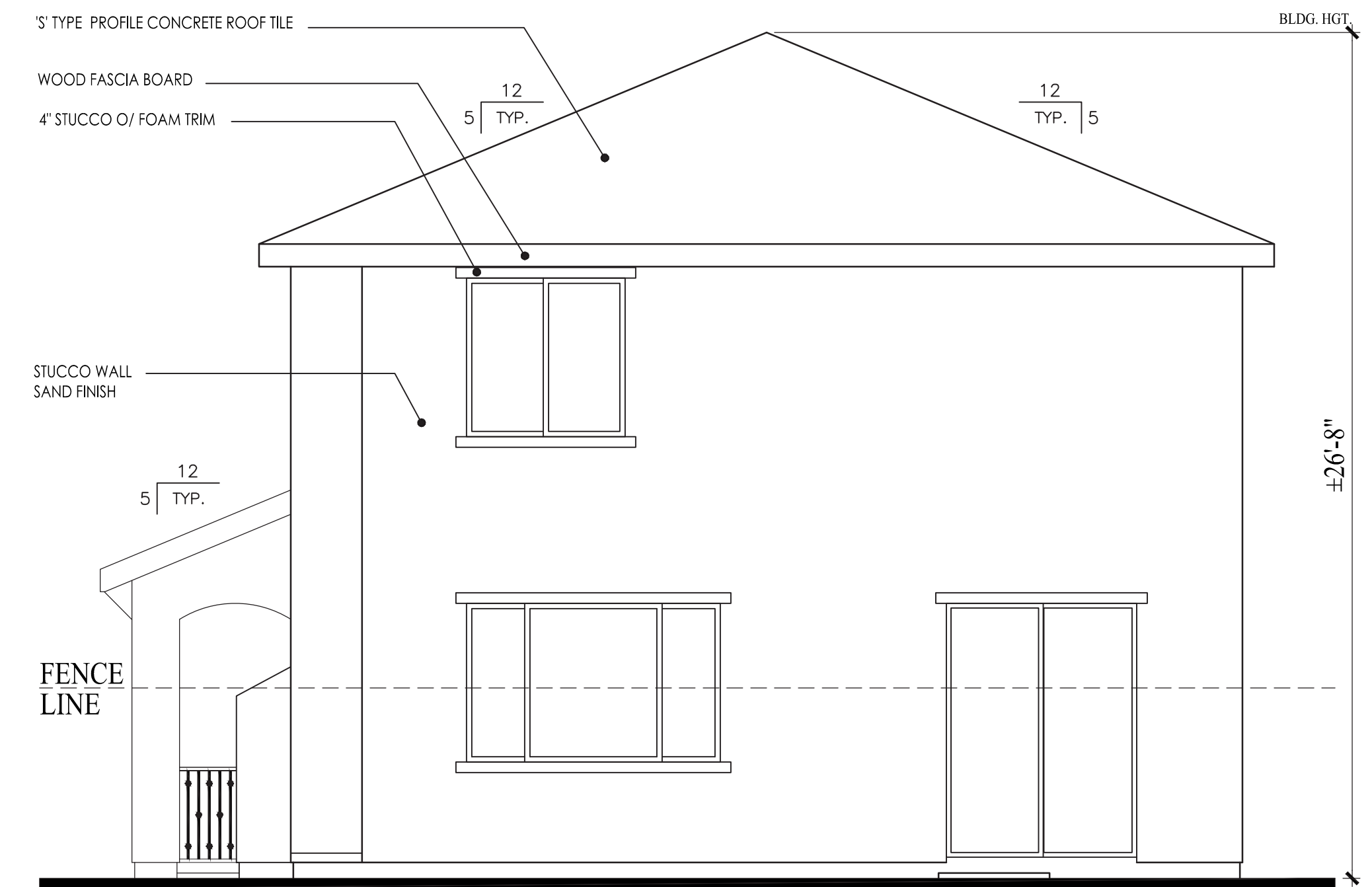


"D" - FRENCH
COLOR SCHEME #11

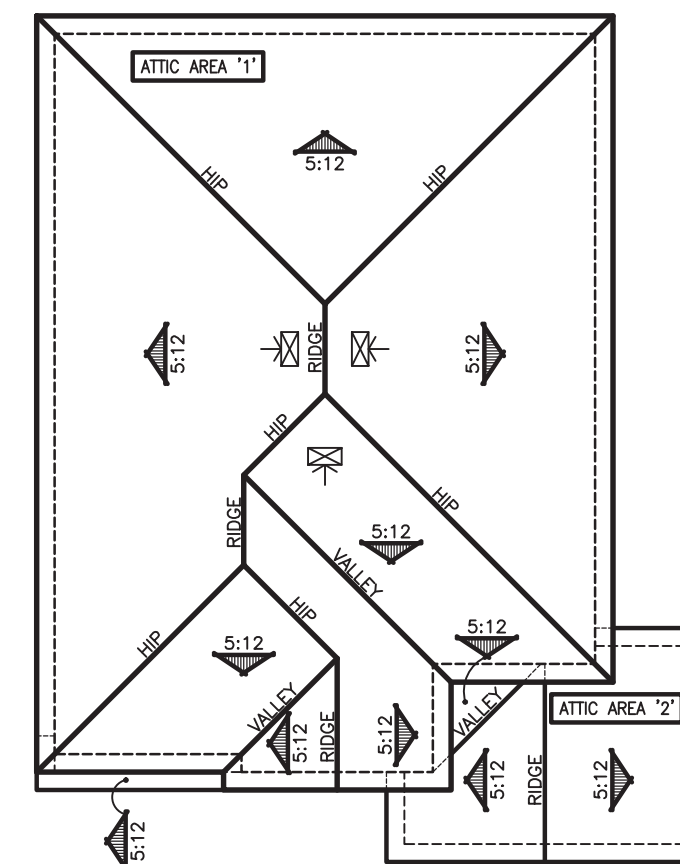
PLAN 1827 - FRONT ELEVATIONS



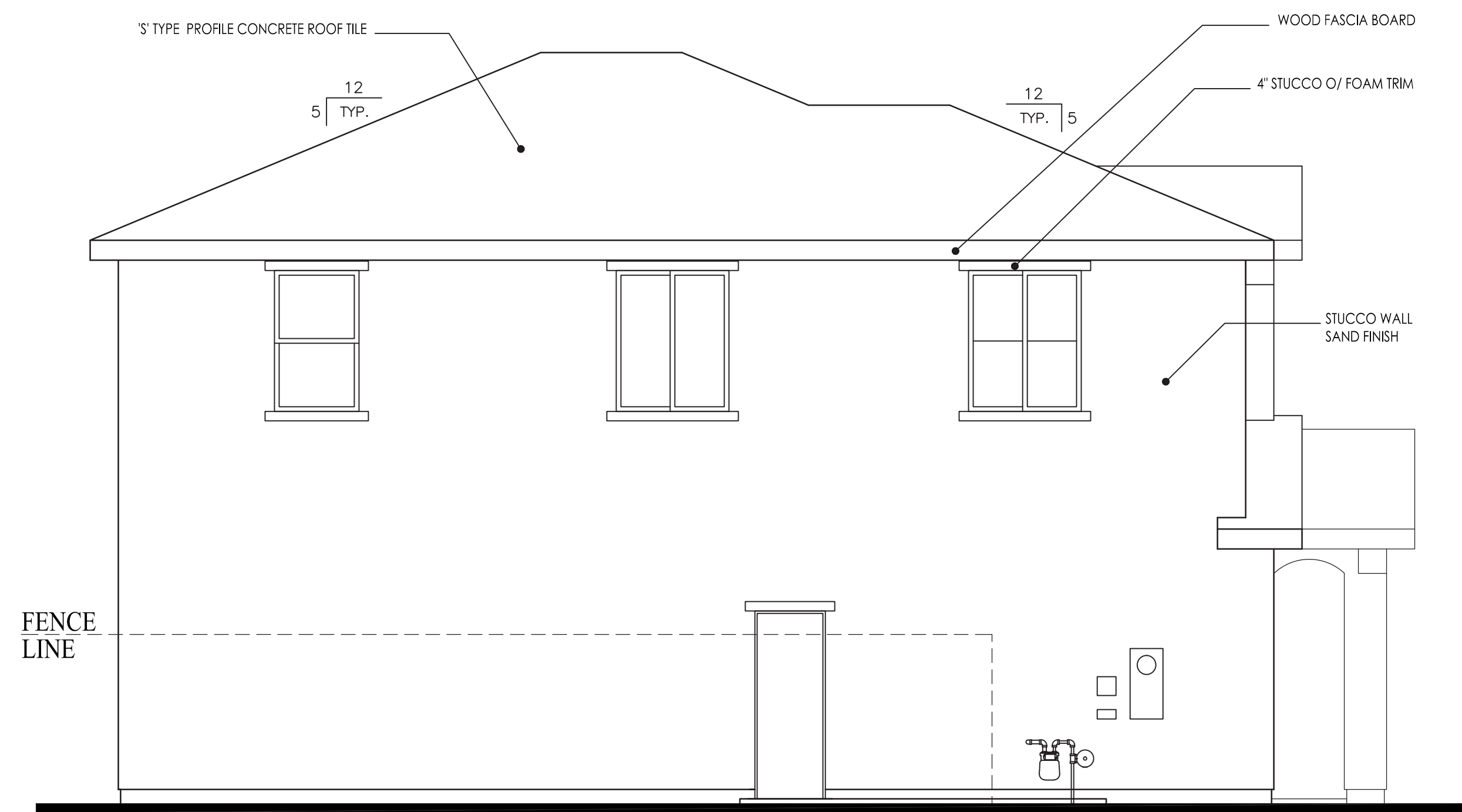
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



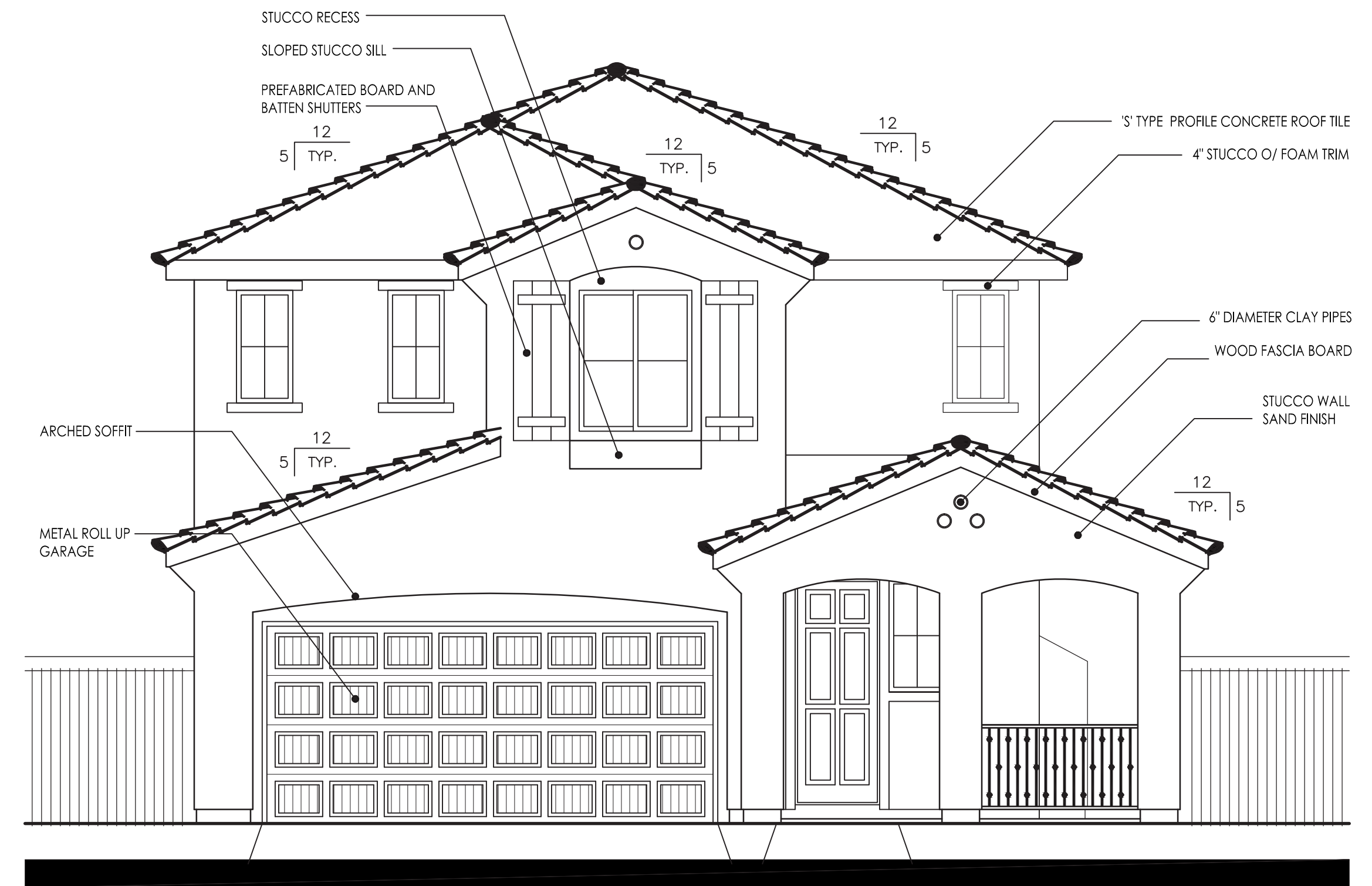
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

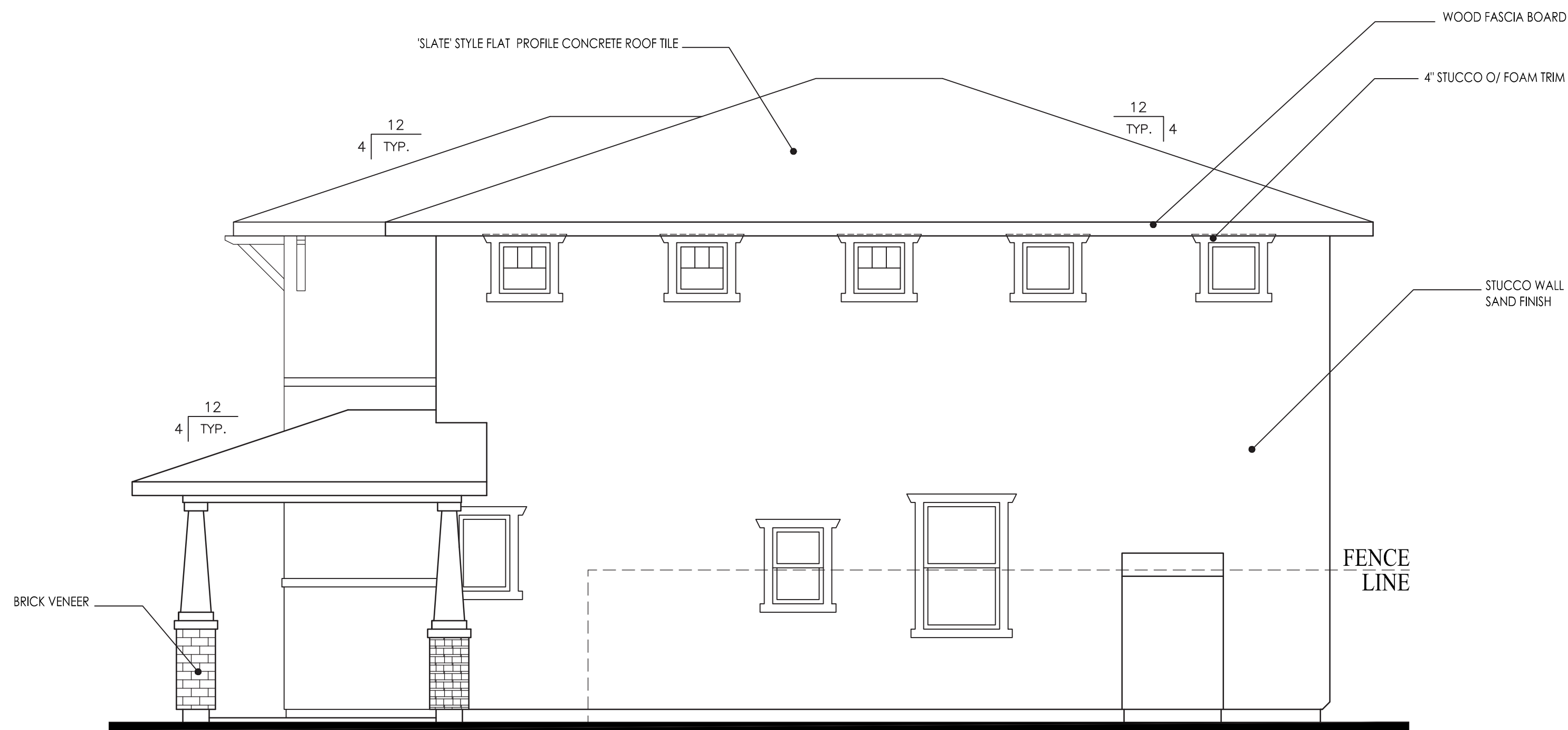


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

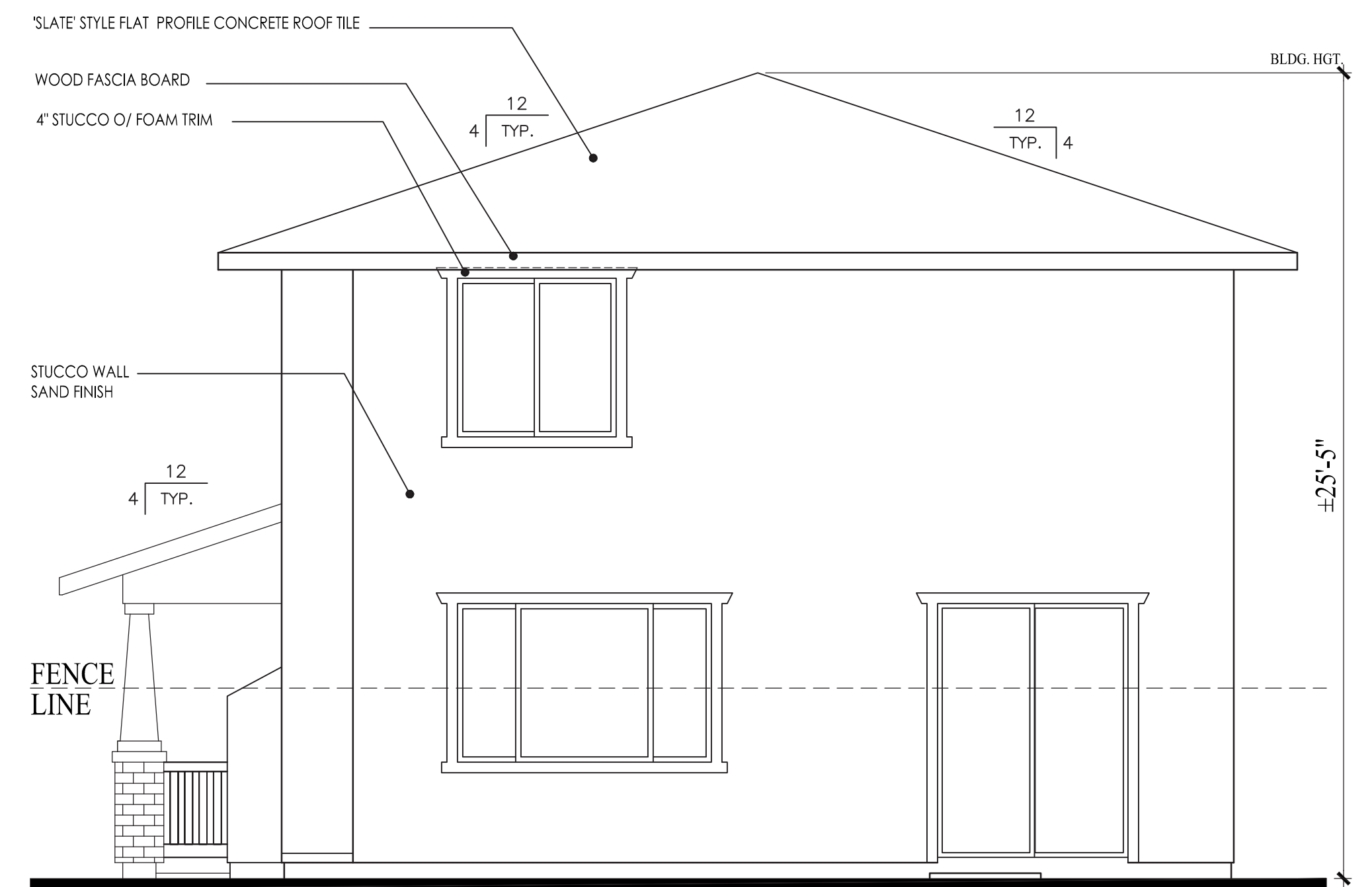


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

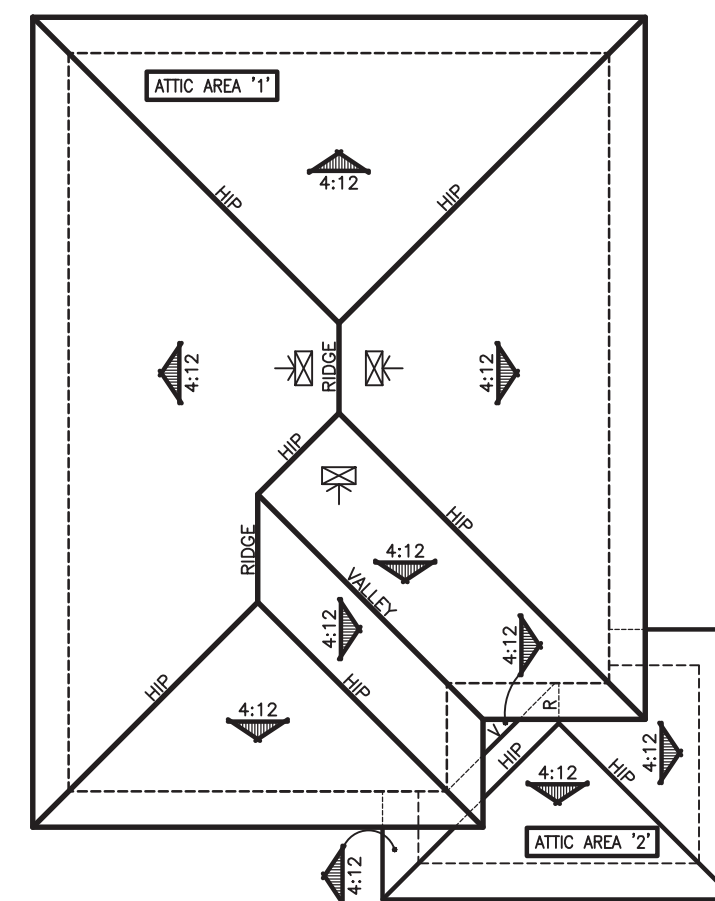
PLAN 1827 - SPANISH



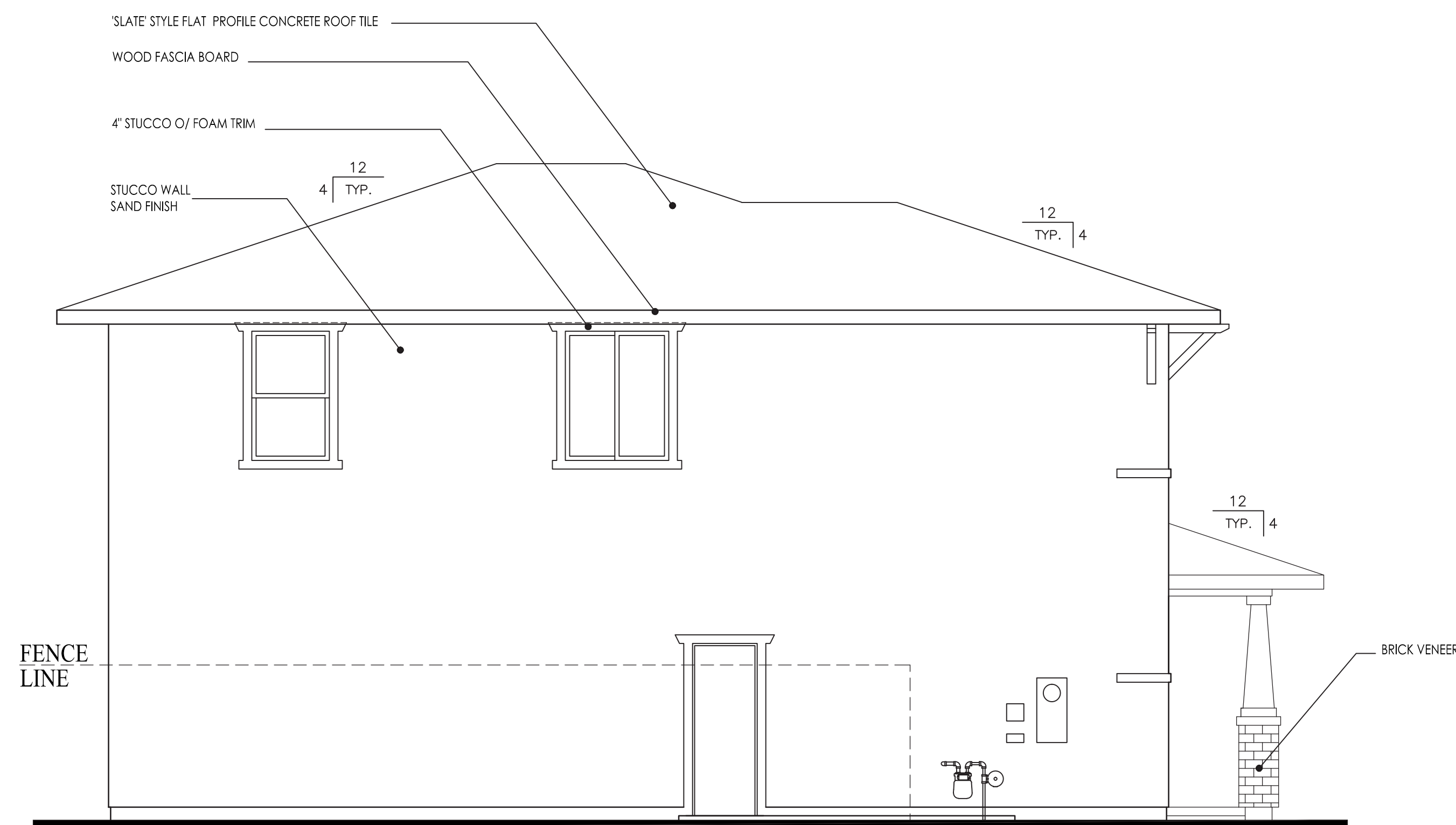
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



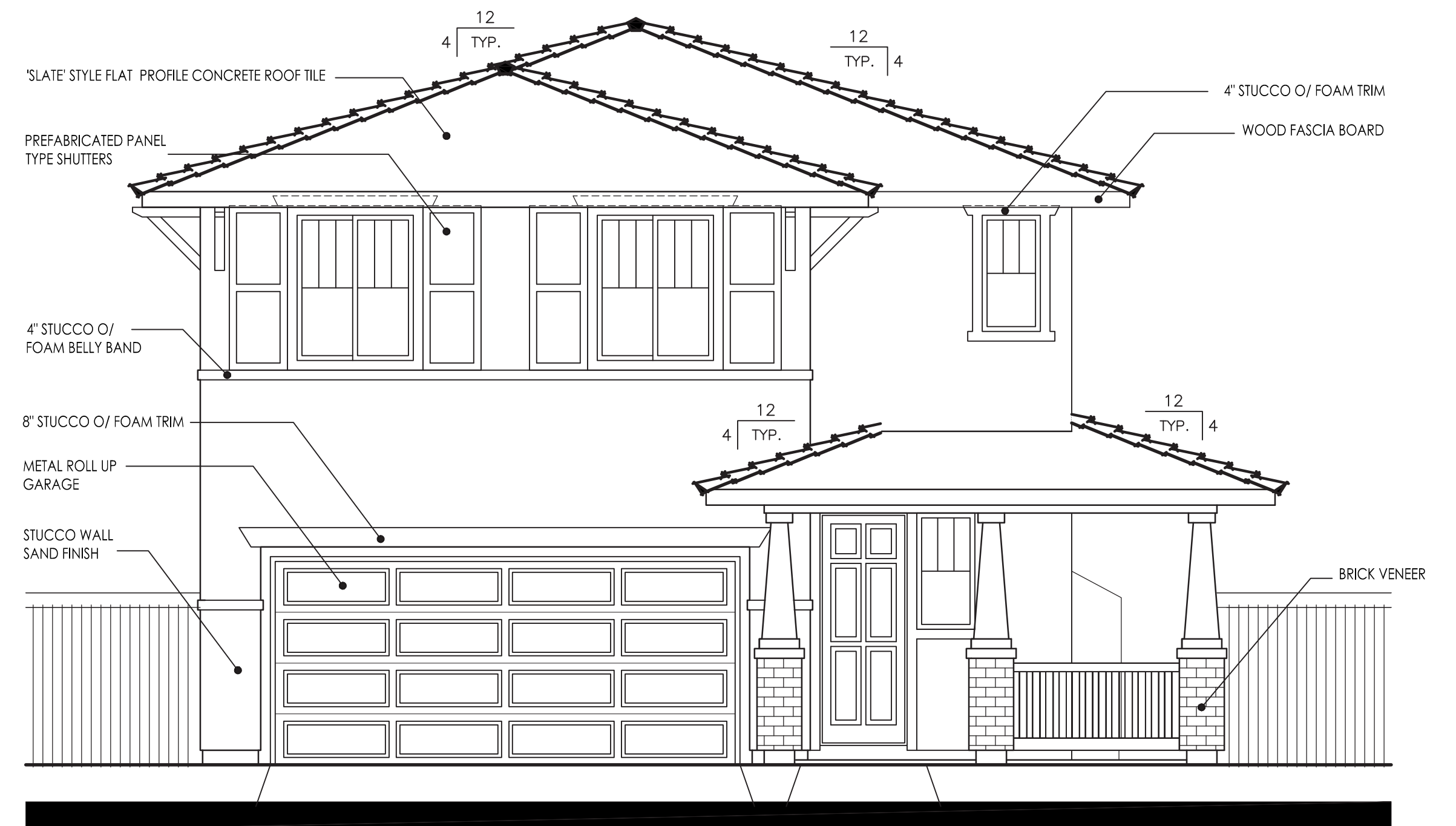
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

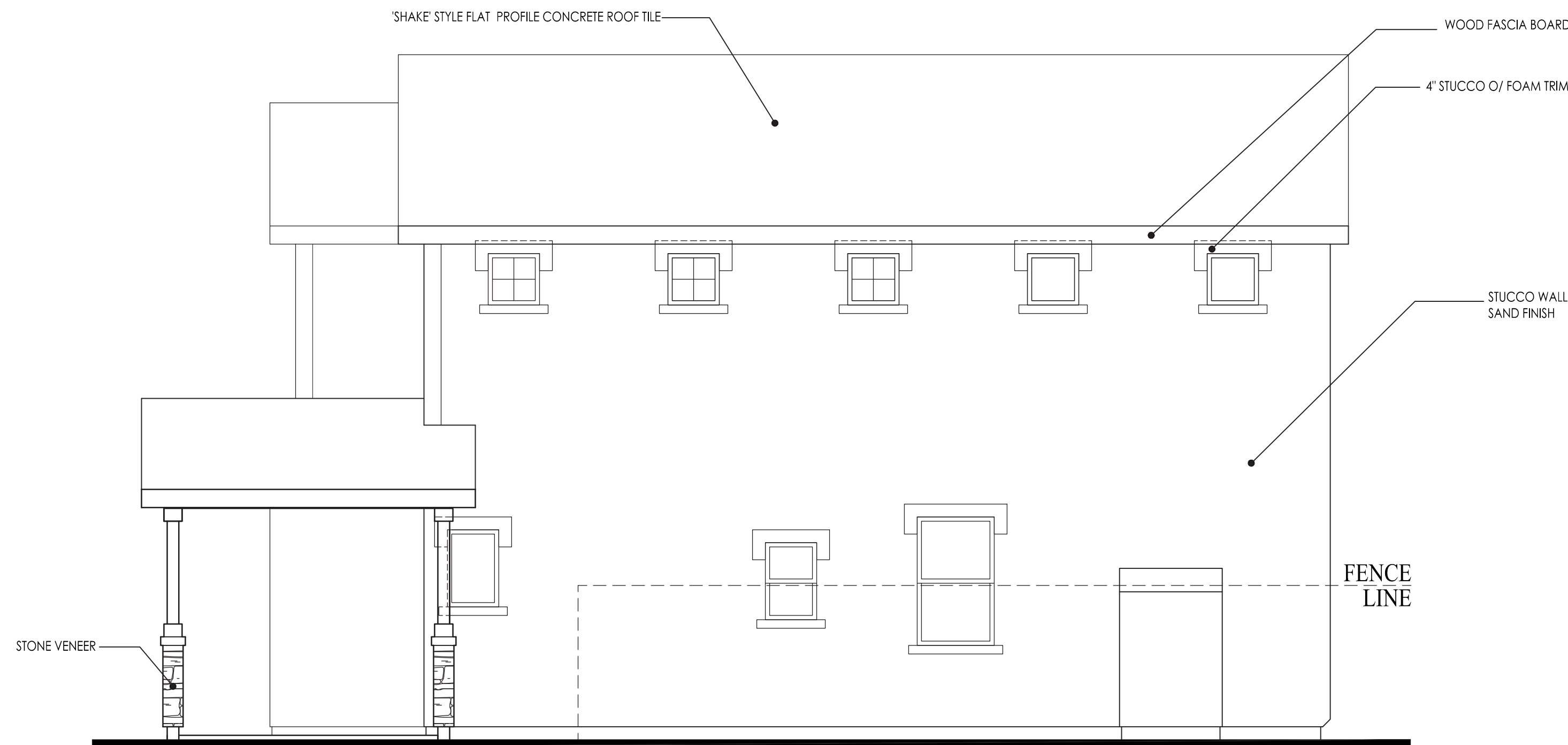


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

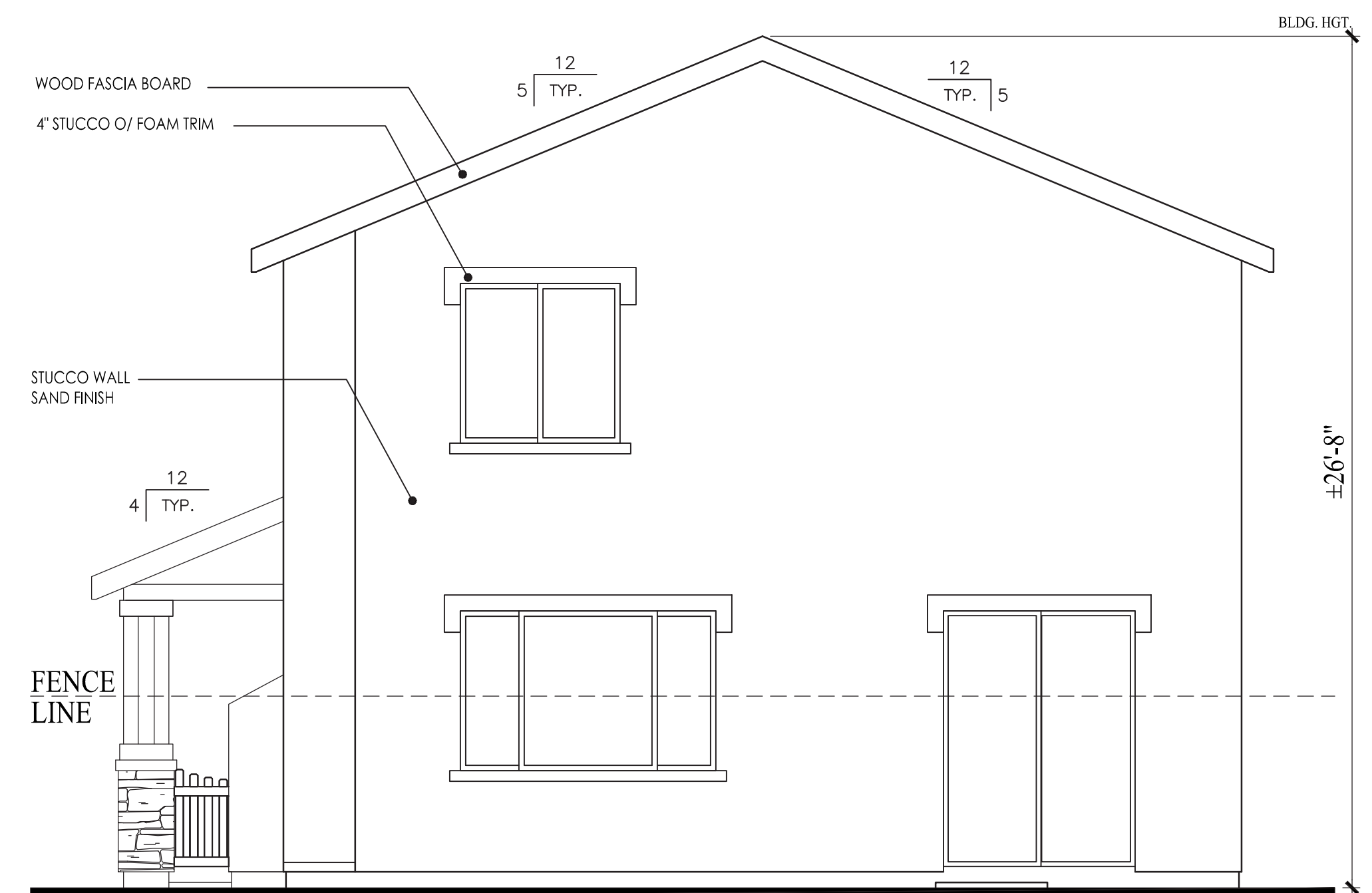


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

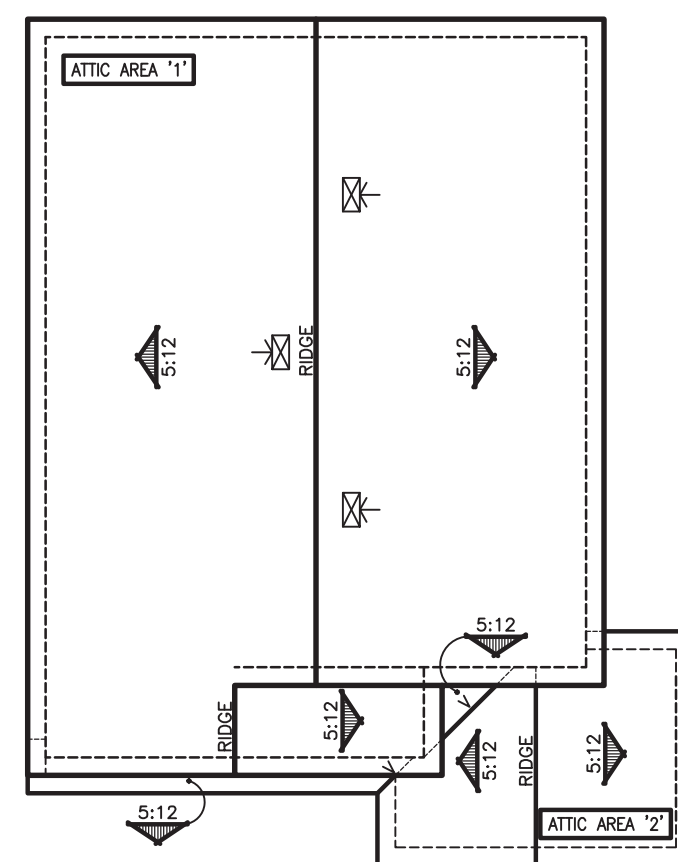
PLAN 1827 - PRAIRIE



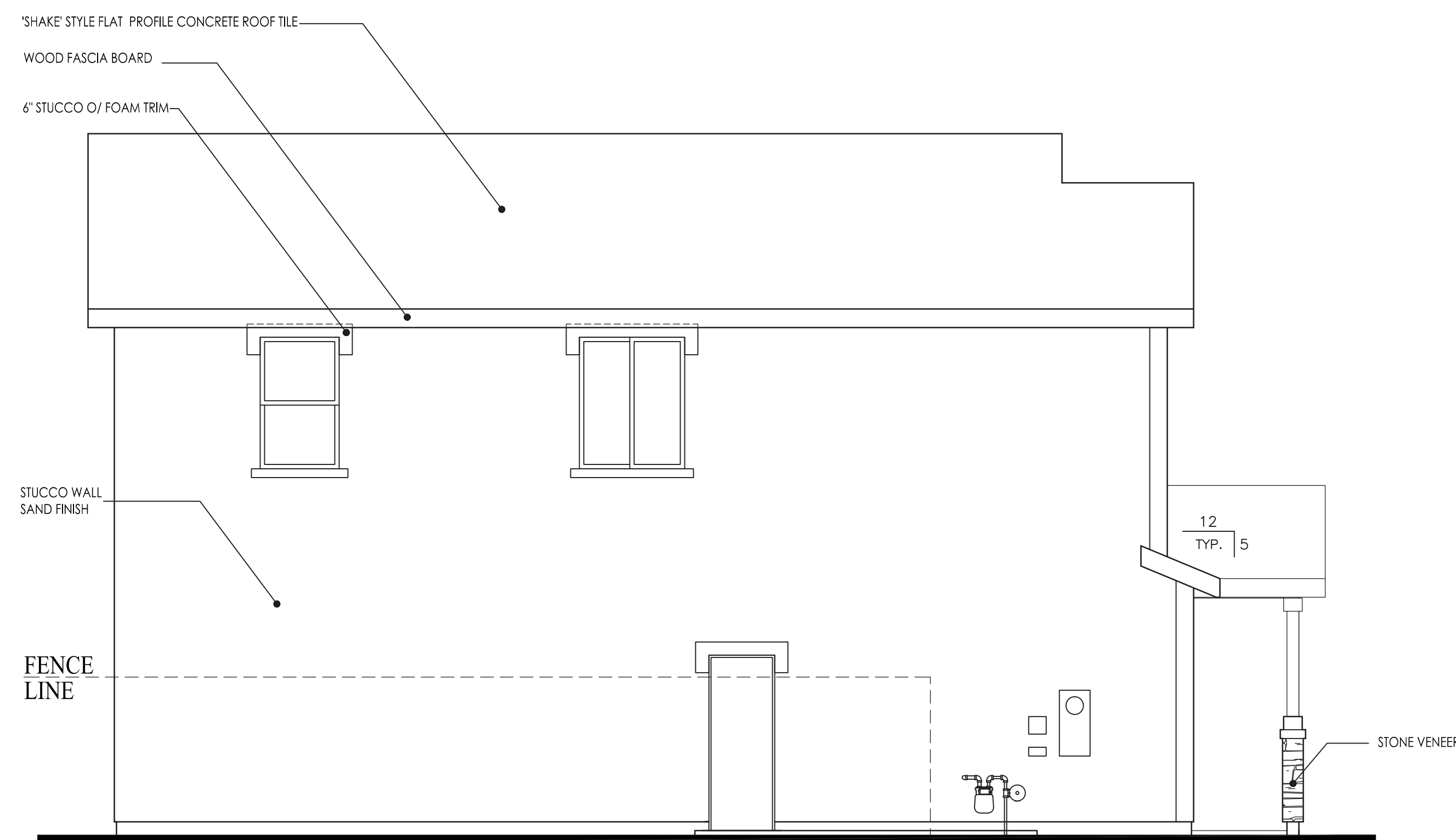
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



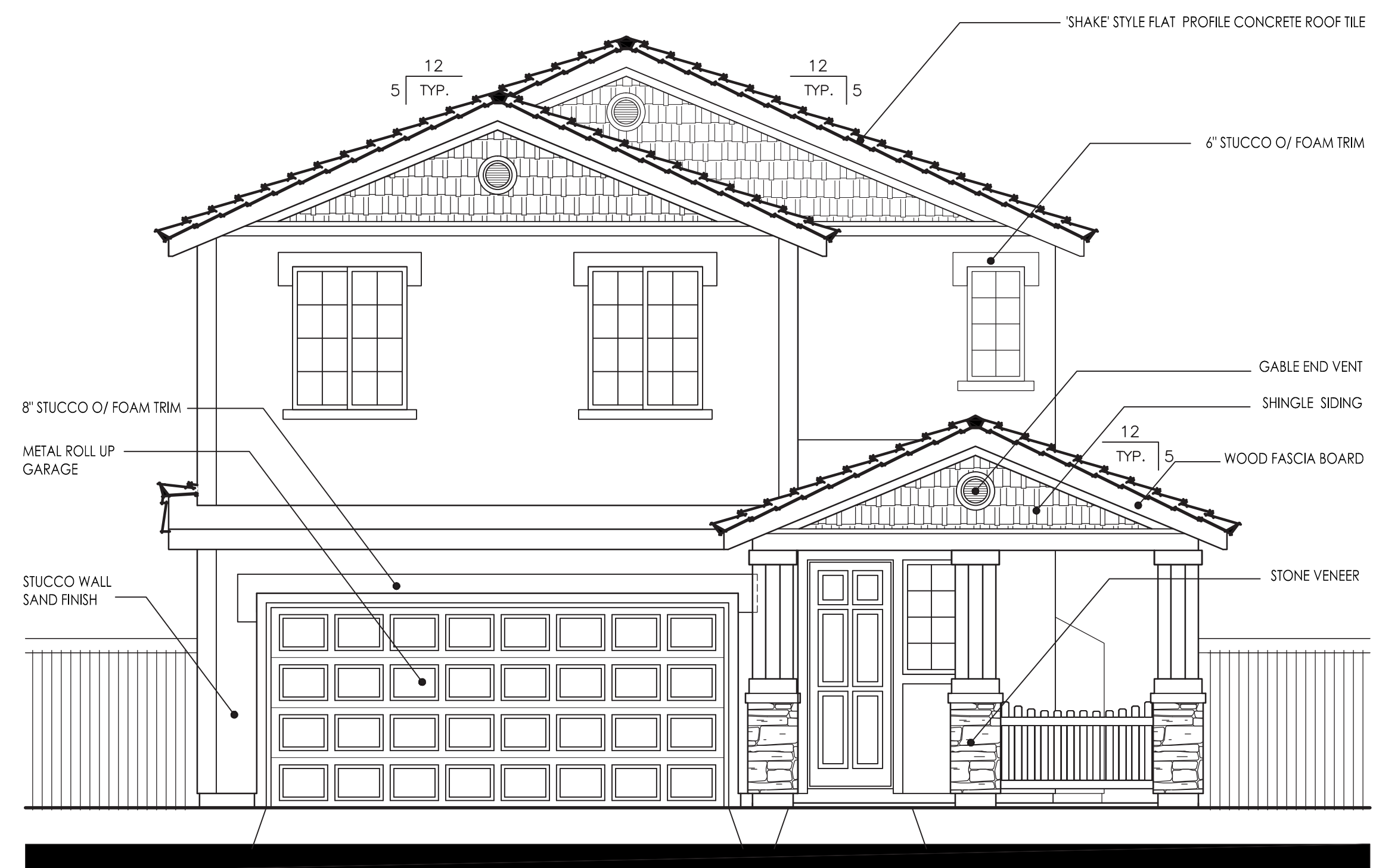
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

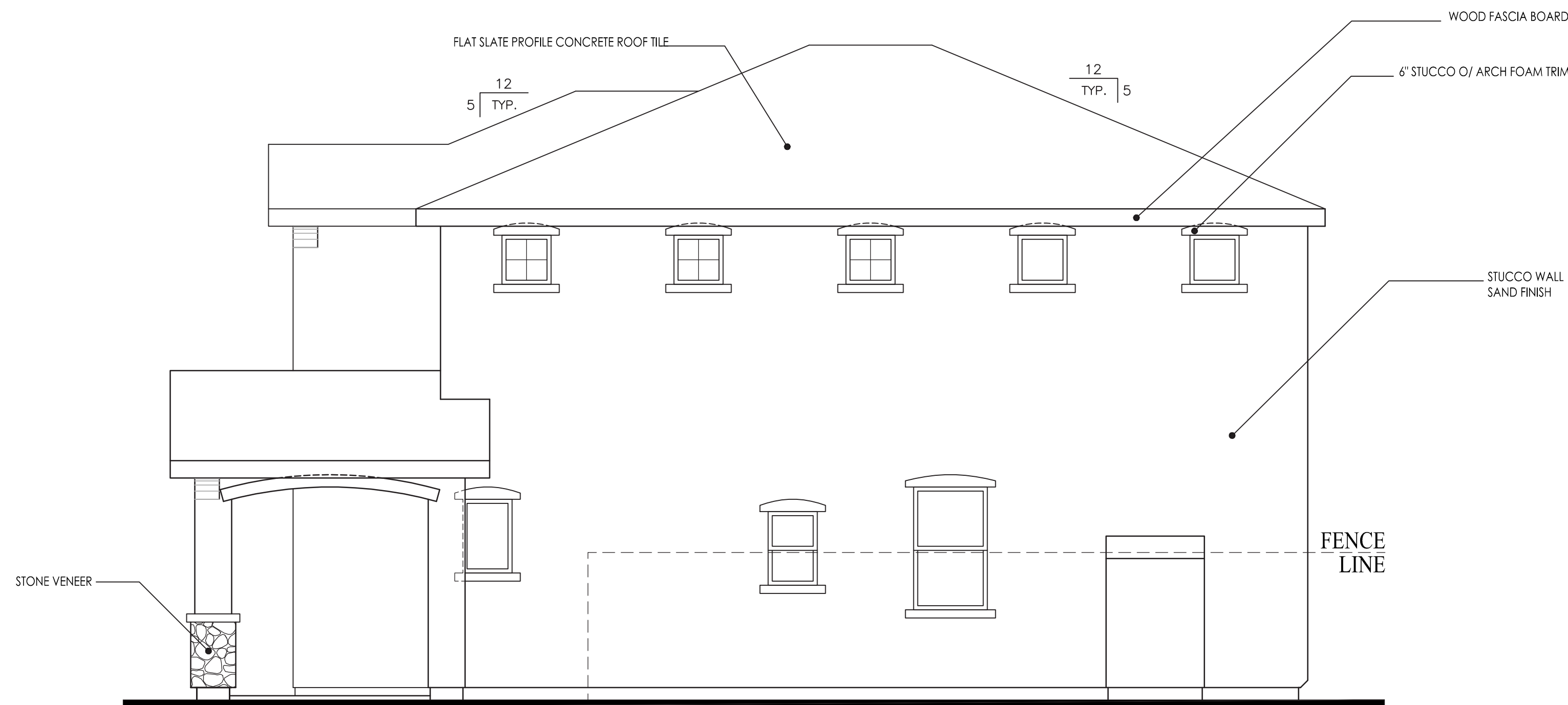


LEFT ELEVATION
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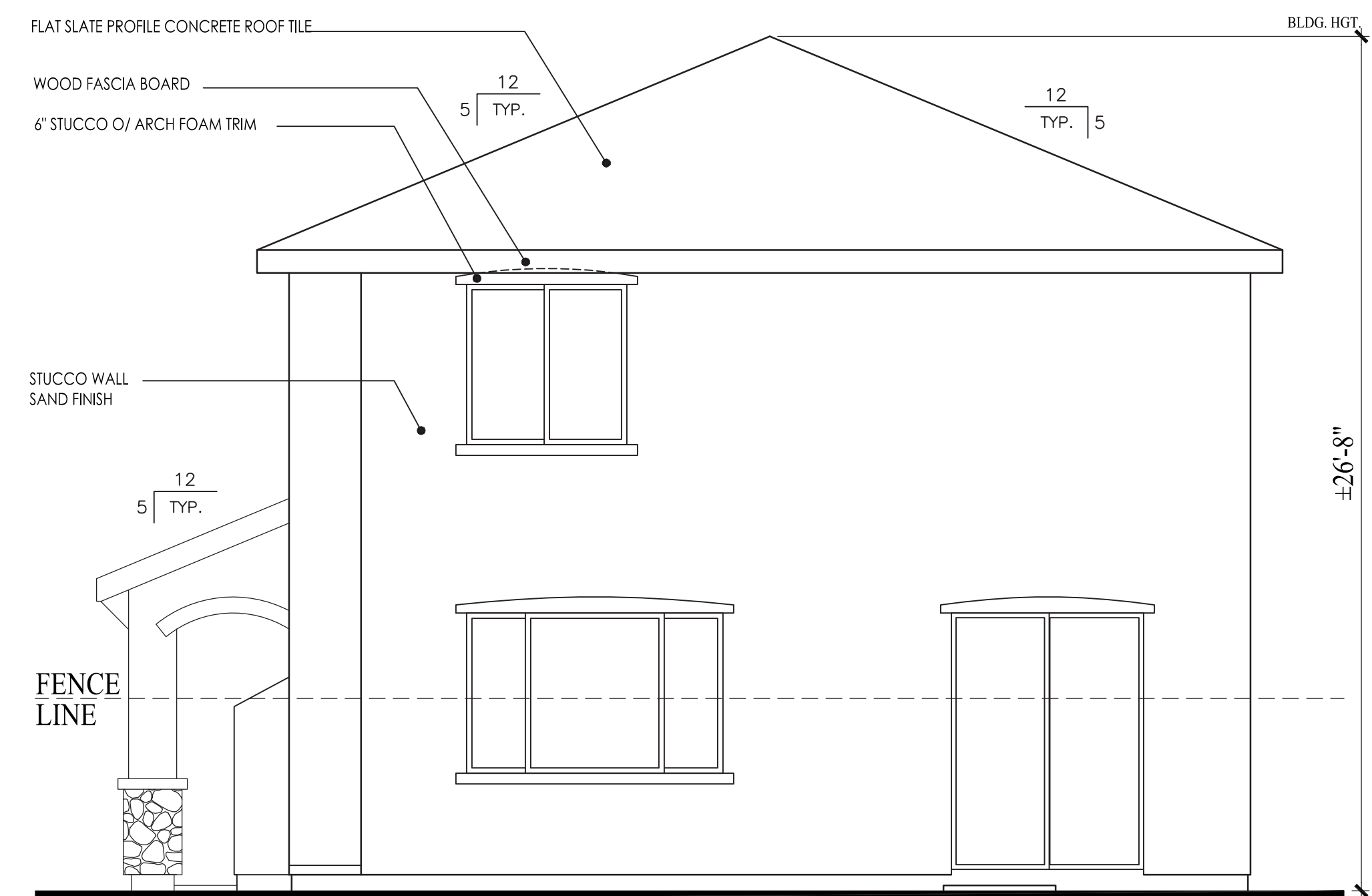


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

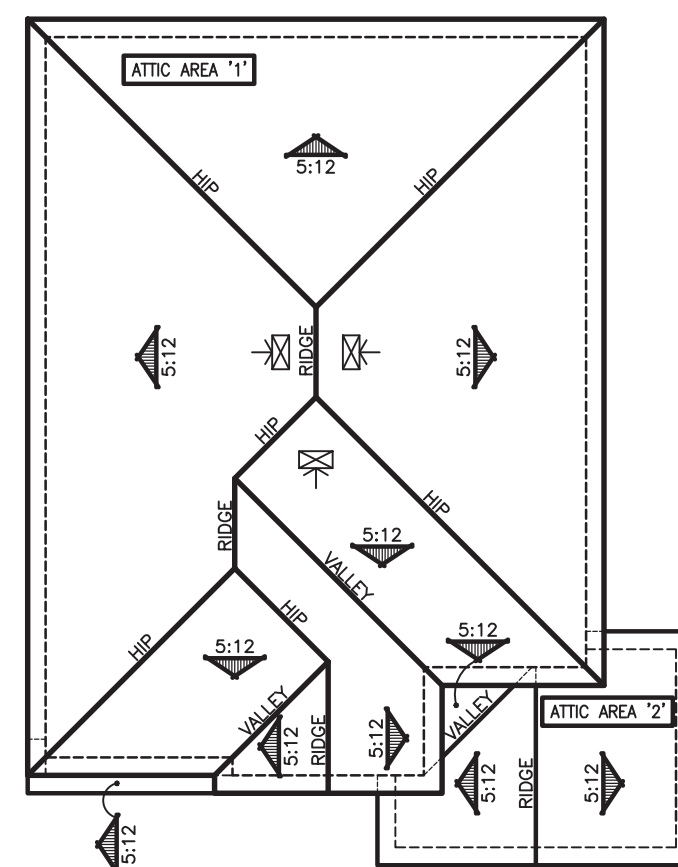
PLAN 1827 - TRADITIONAL



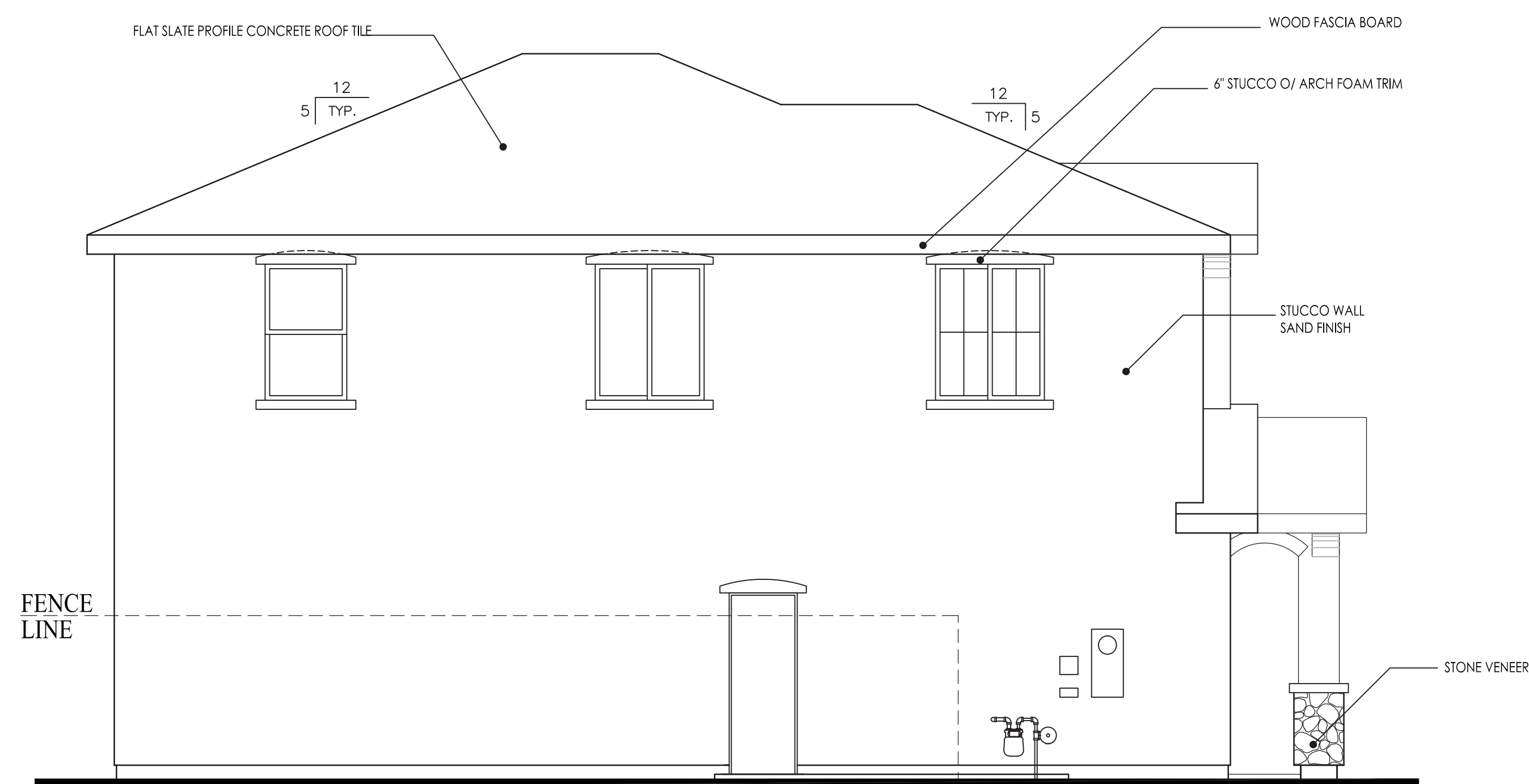
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



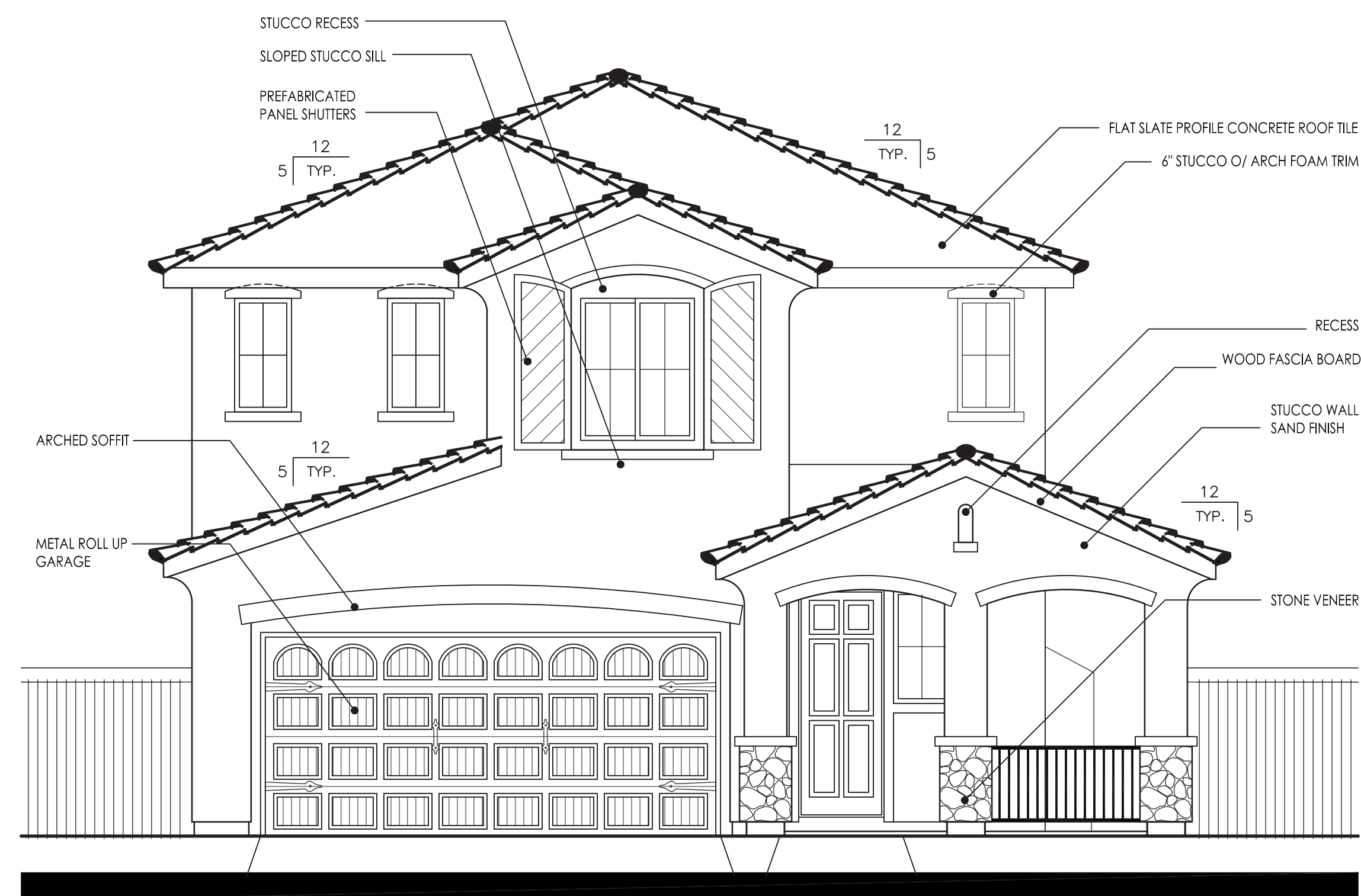
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

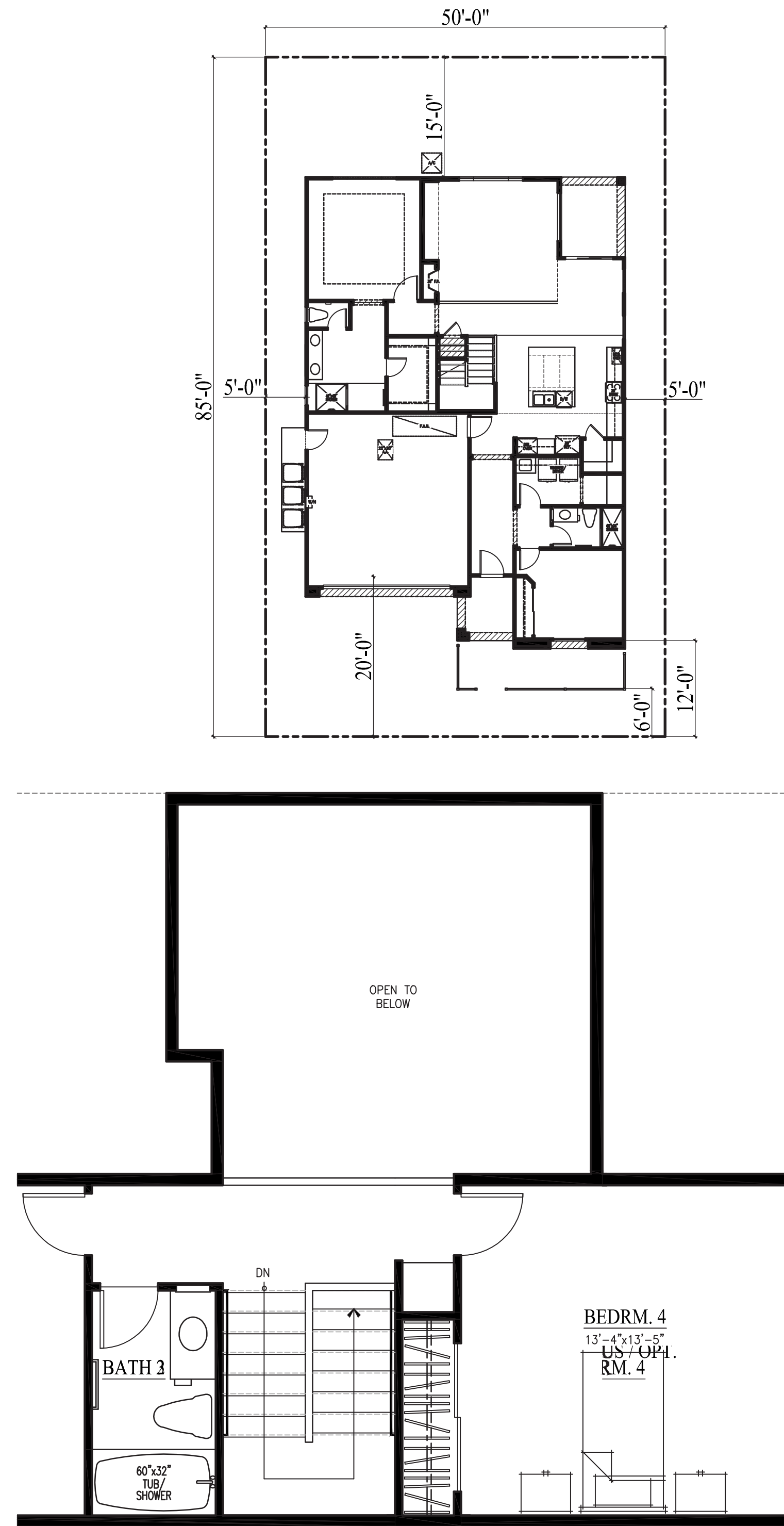
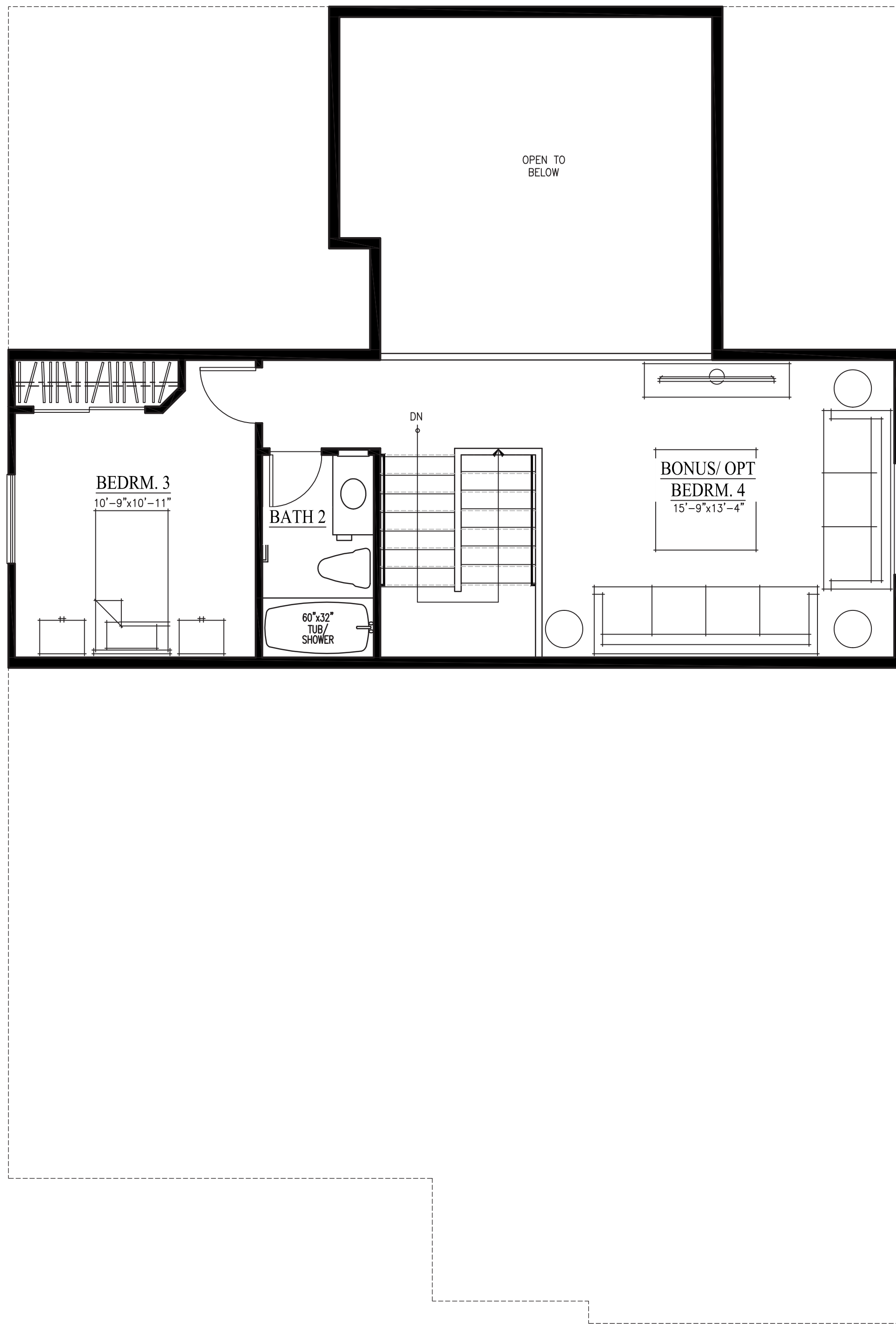


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 1827 - FRENCH

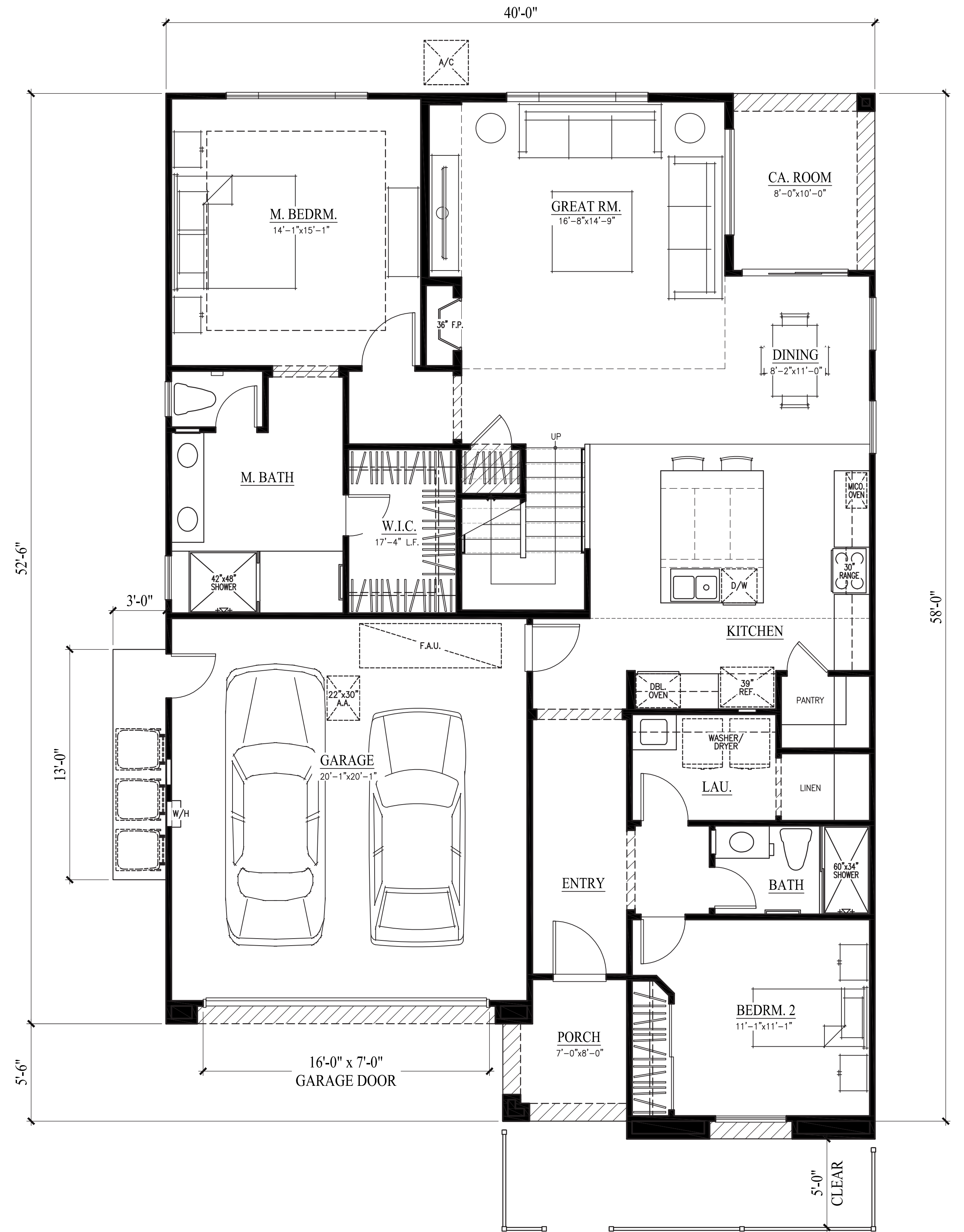


OPT. BEDRM. 4 AT BONUS RM.

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1616 SQ. FT.
SECOND FLOOR AREA	503 SQ. FT.
TOTAL DWELLING	2119 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	445 SQ. FT.
PORCH	51 SQ. FT.
OUTDOOR RM.	80 SQ. FT.

PLAN 2119



FIRST FLOOR PLAN



"A" - SPANISH
COLOR SCHEME #3



"B" - PRAIRIE
COLOR SCHEME #6

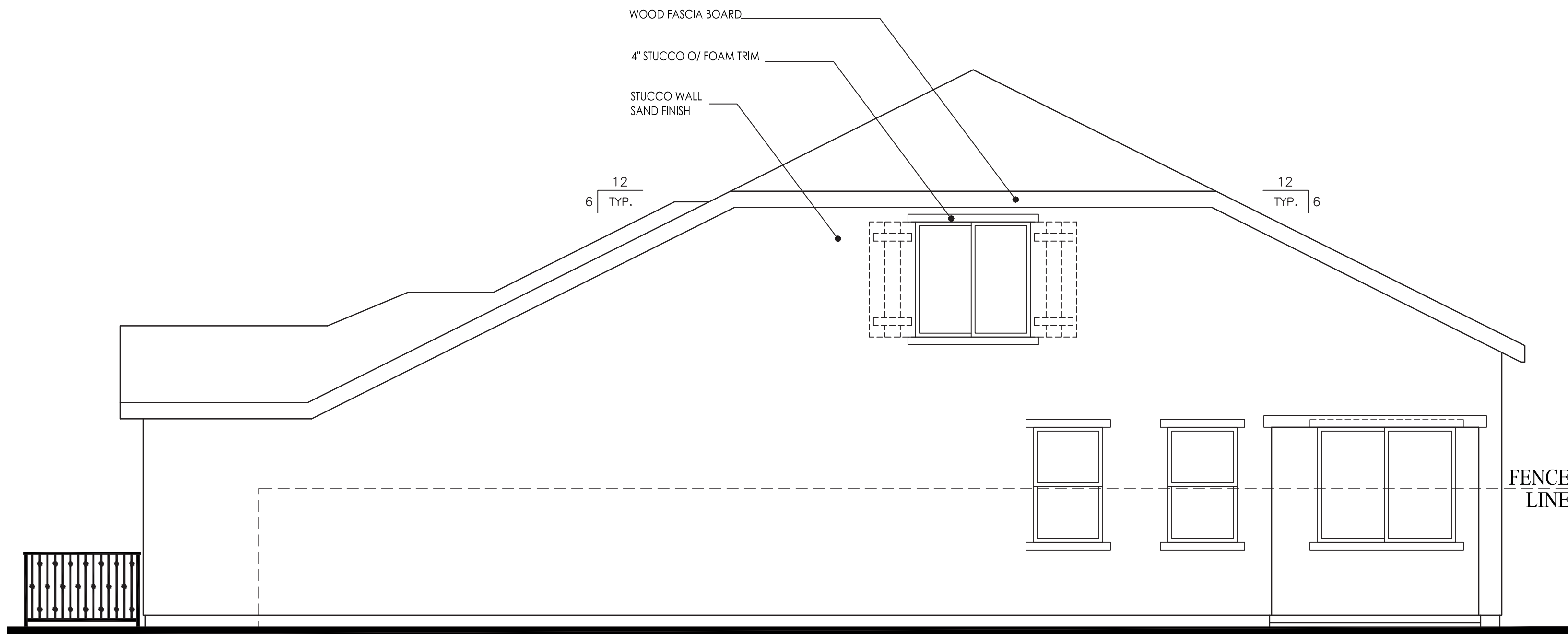


"C" - TRADITIONAL
COLOR SCHEME #9



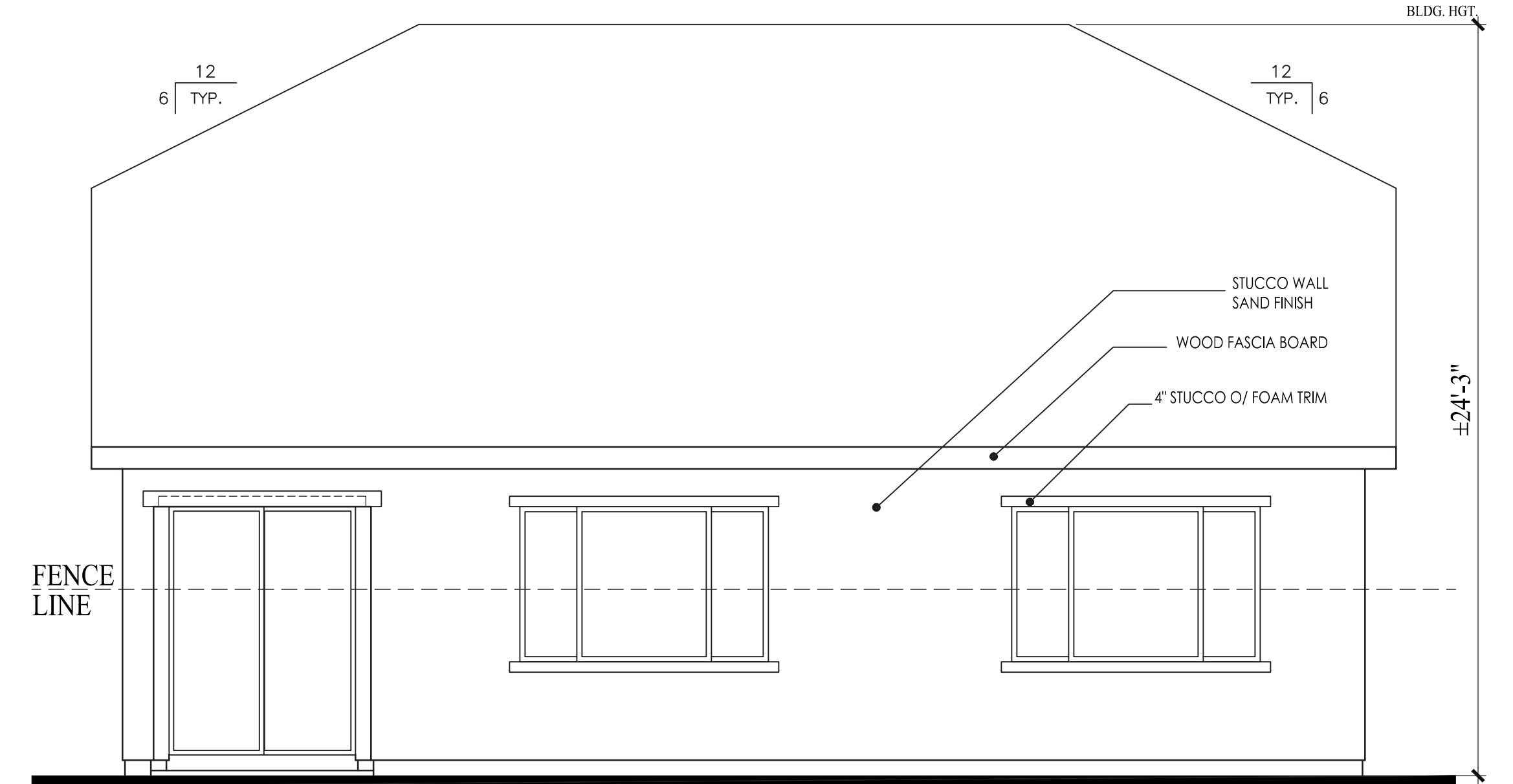
"D" - FRENCH
COLOR SCHEME #12

PLAN 2119 - FRONT ELEVATIONS

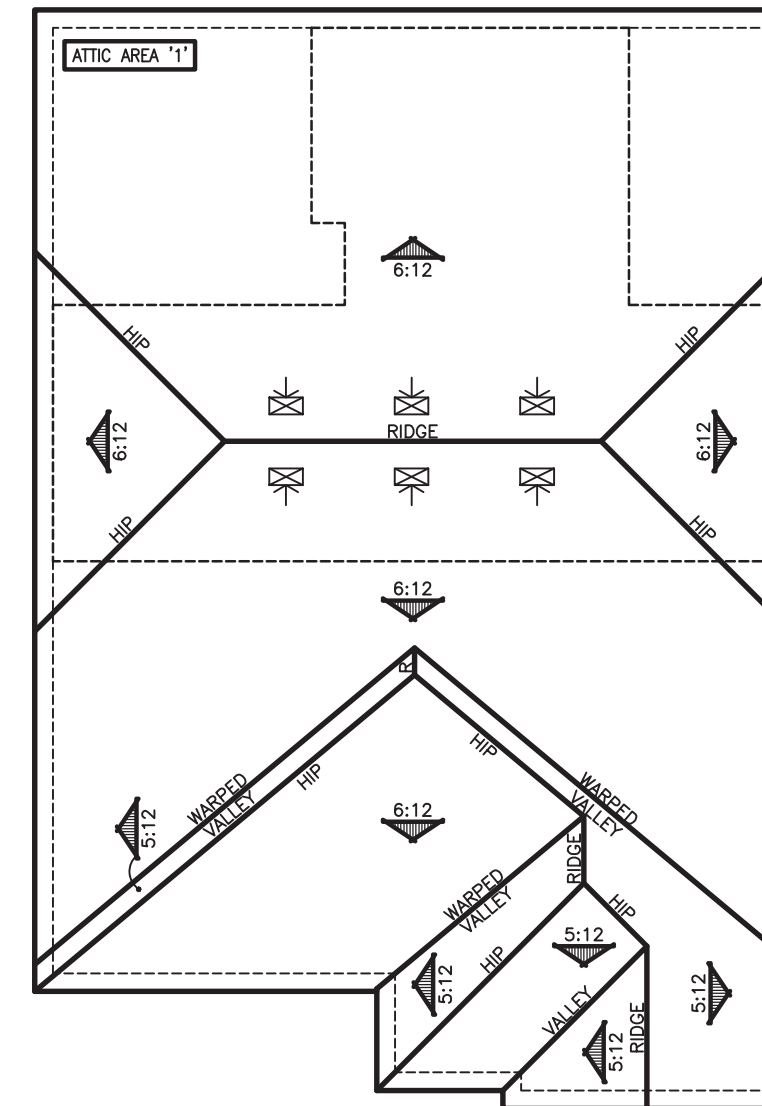


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

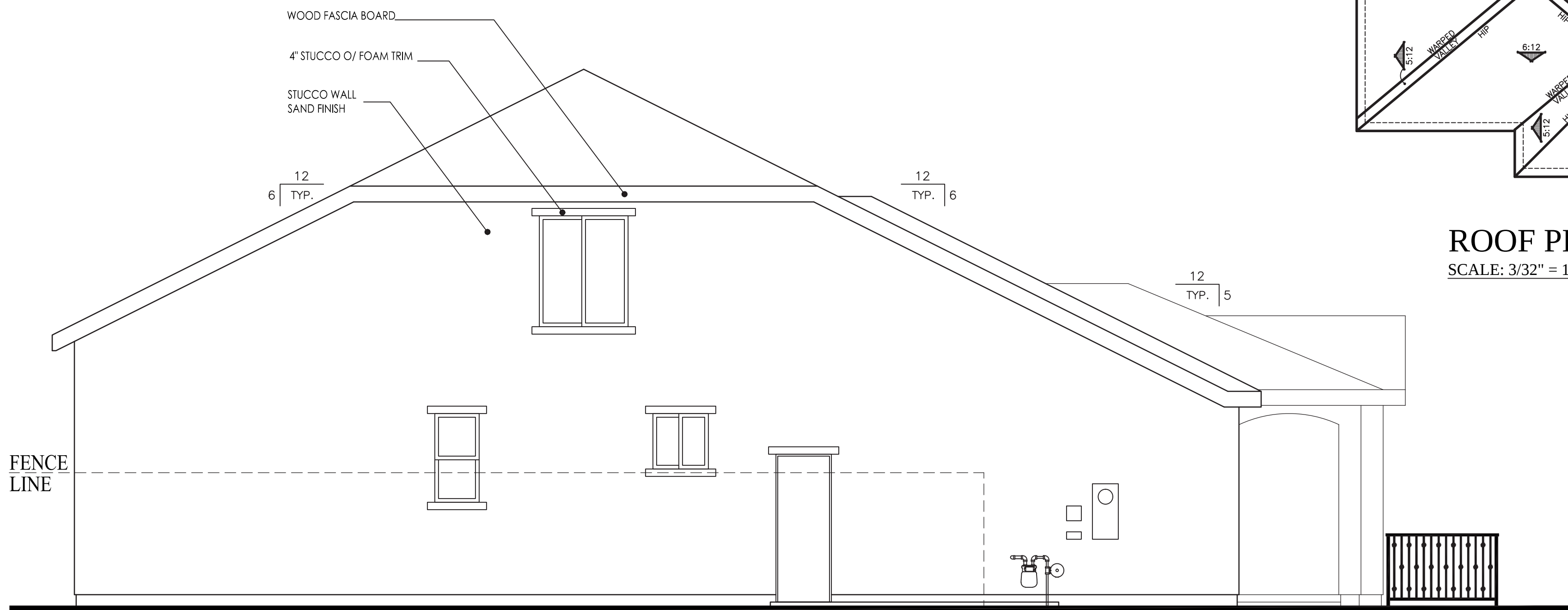
SHUTTERS SHOWN DASHED SHALL OCCUR
ON LOTS ADJACENT TO PUBLIC RIGHT OF
WAYS REQUIRING ENHANCEMENTS



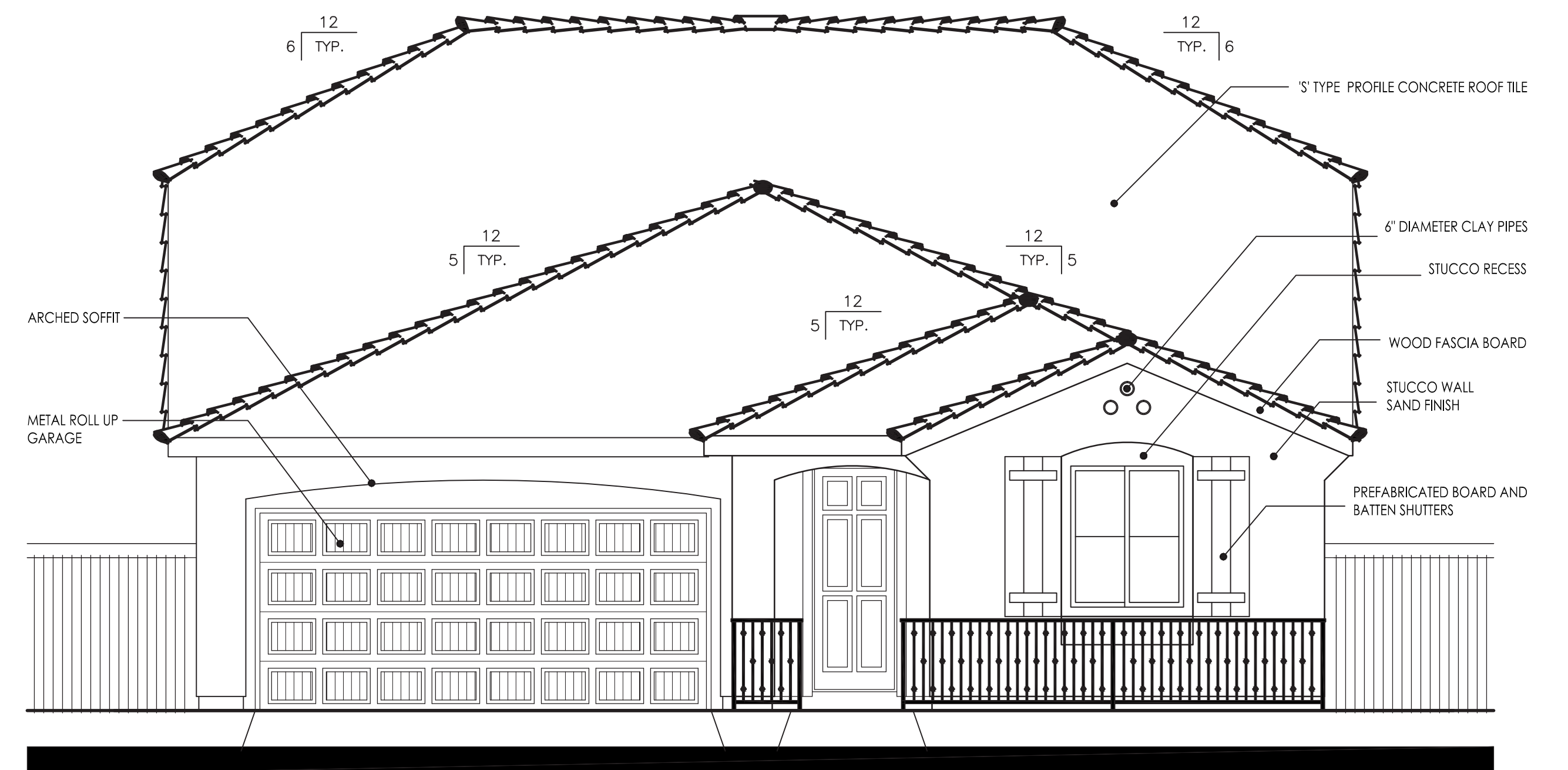
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

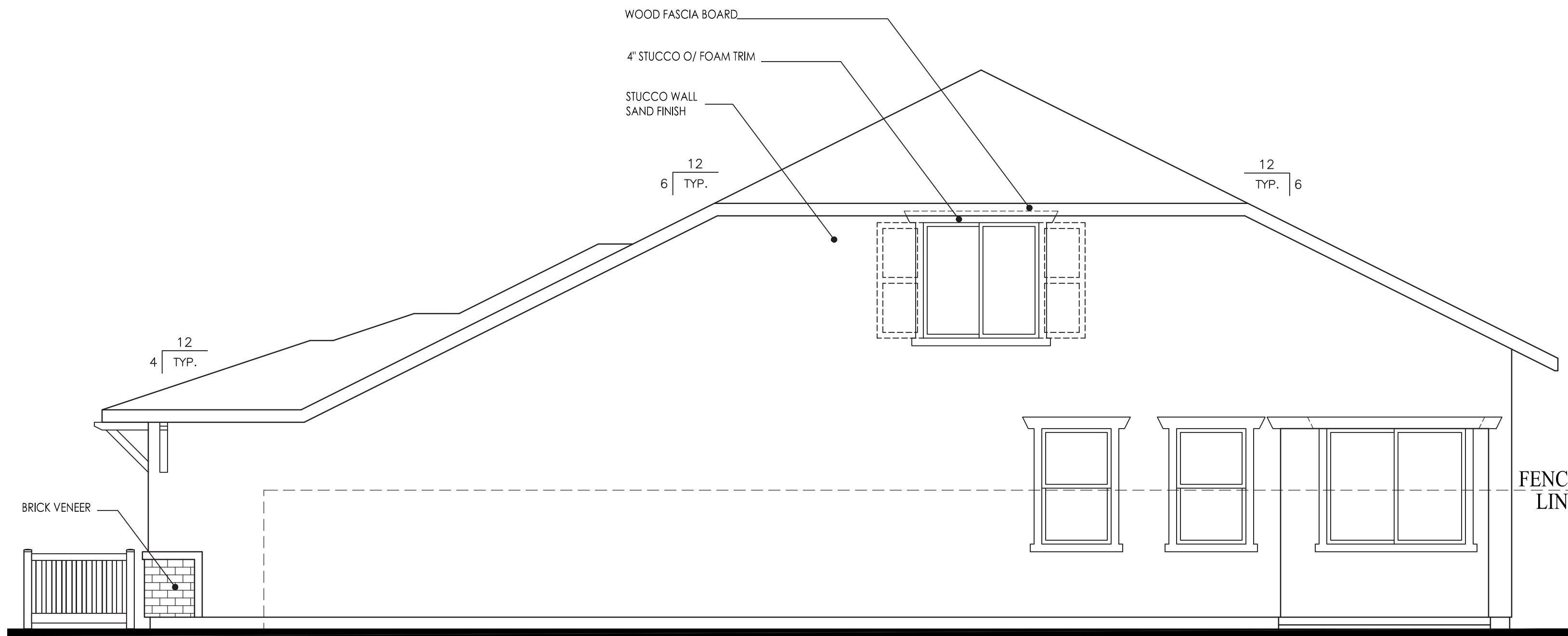


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



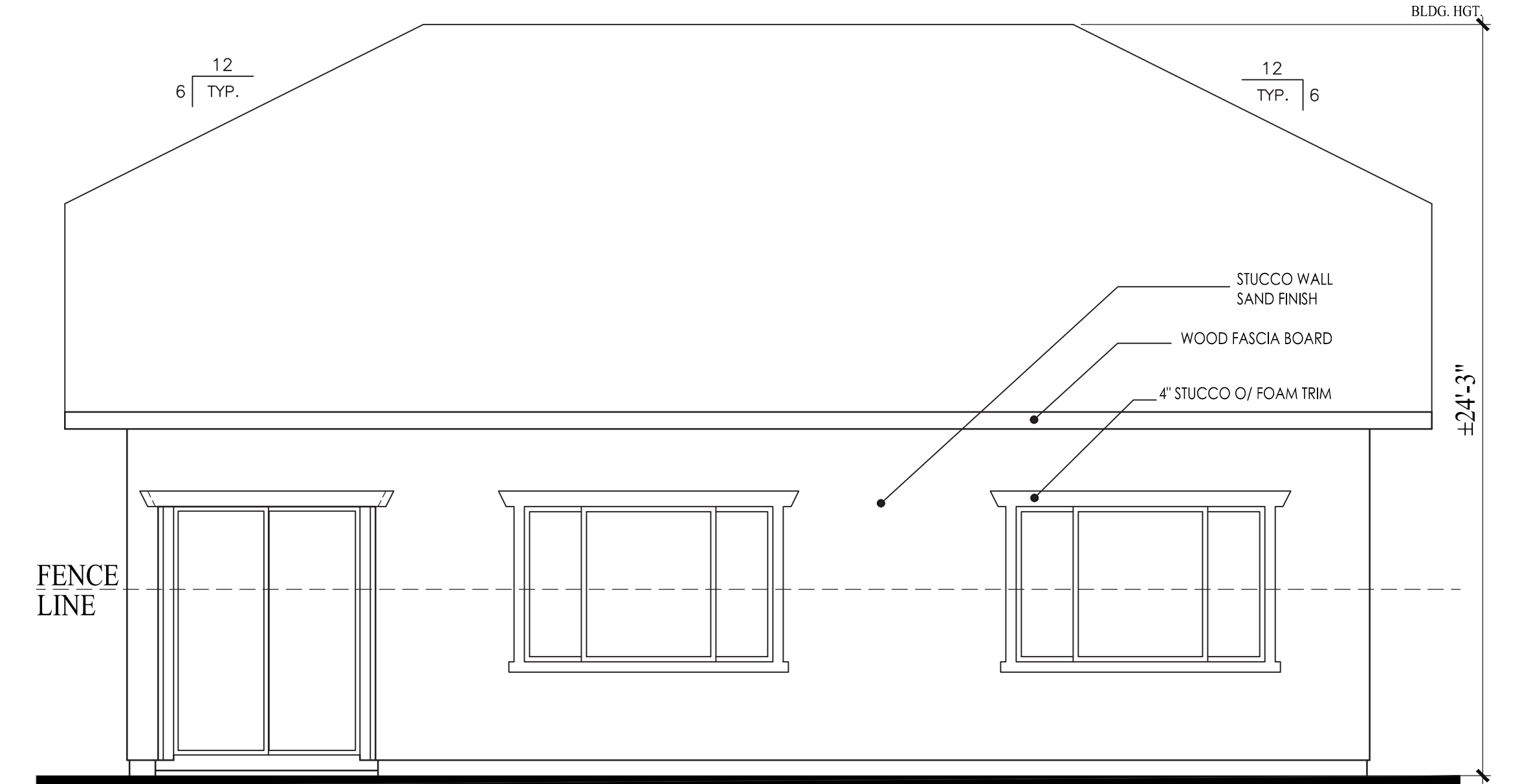
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2119 - SPANISH

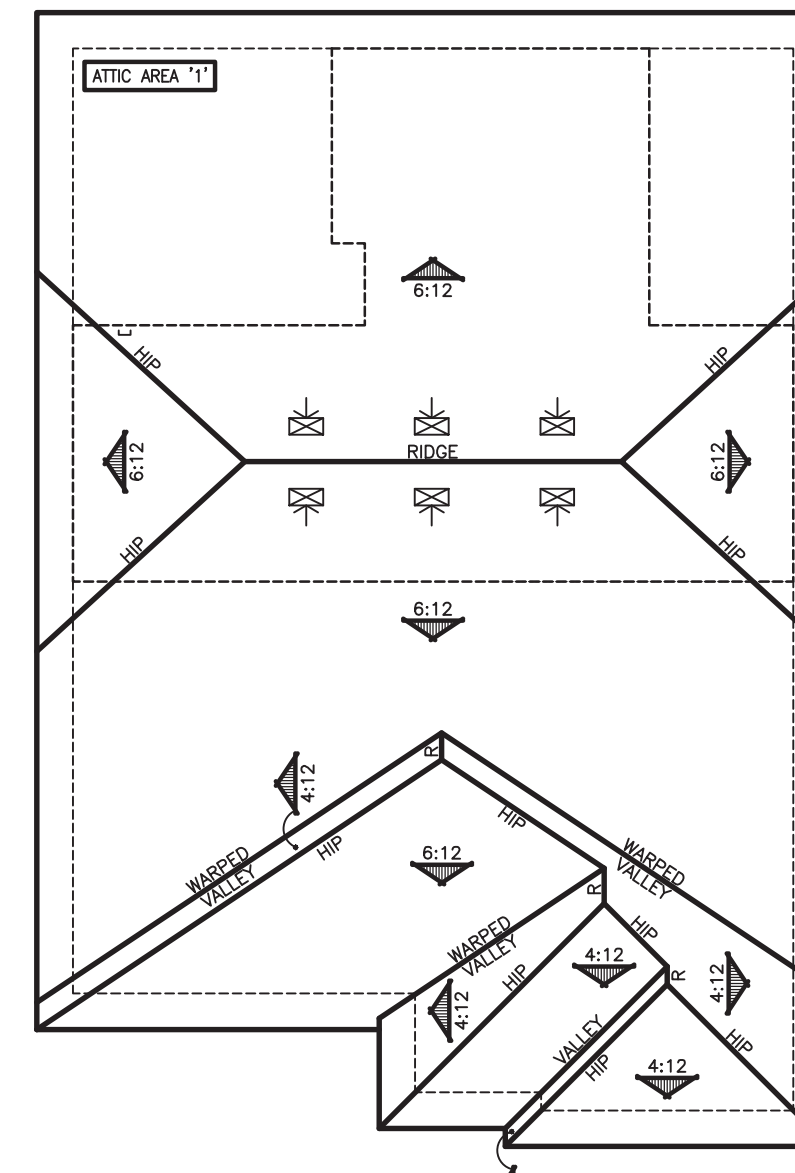


RIGHT ELEVATION
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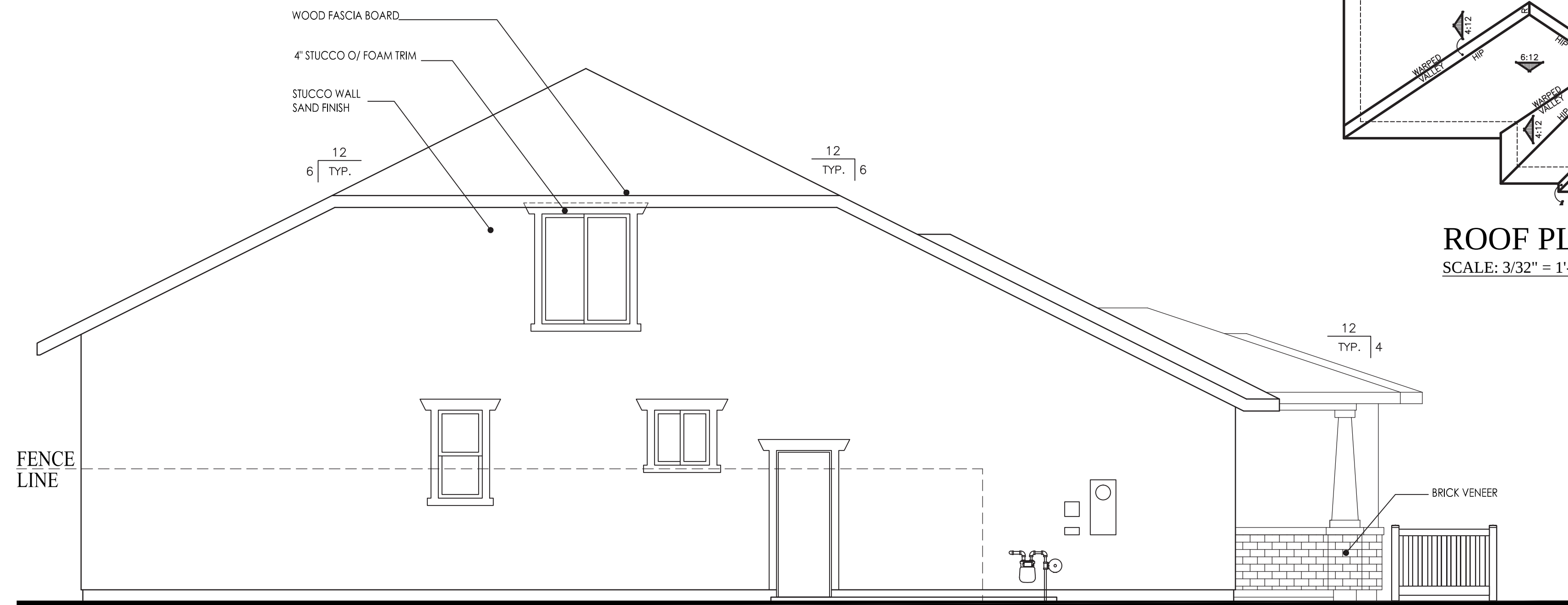
SHUTTERS SHOWN DASHED SHALL OCCUR
ON LOTS ADJACENT TO PUBLIC RIGHT OF
WAYS REQUIRING ENHANCEMENTS



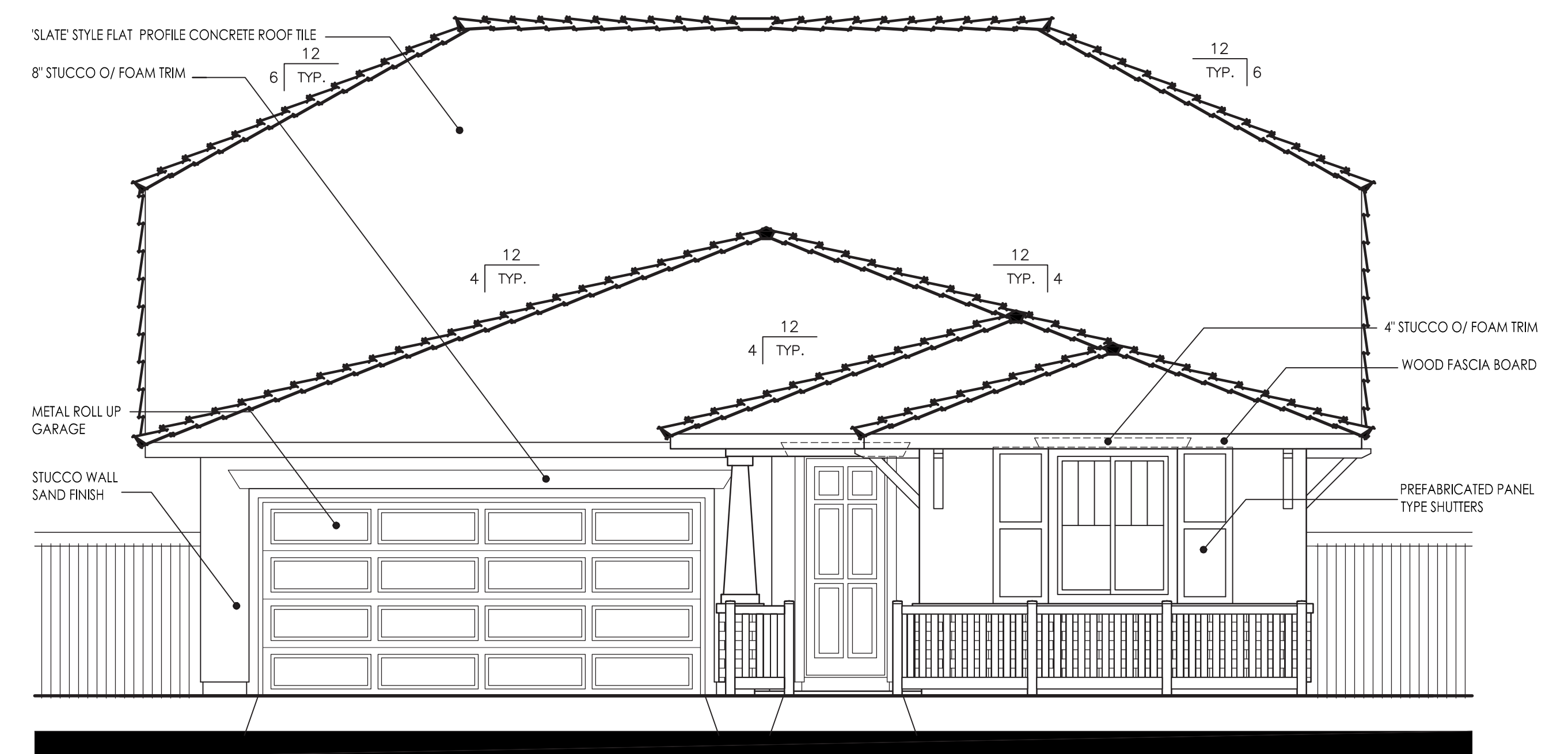
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

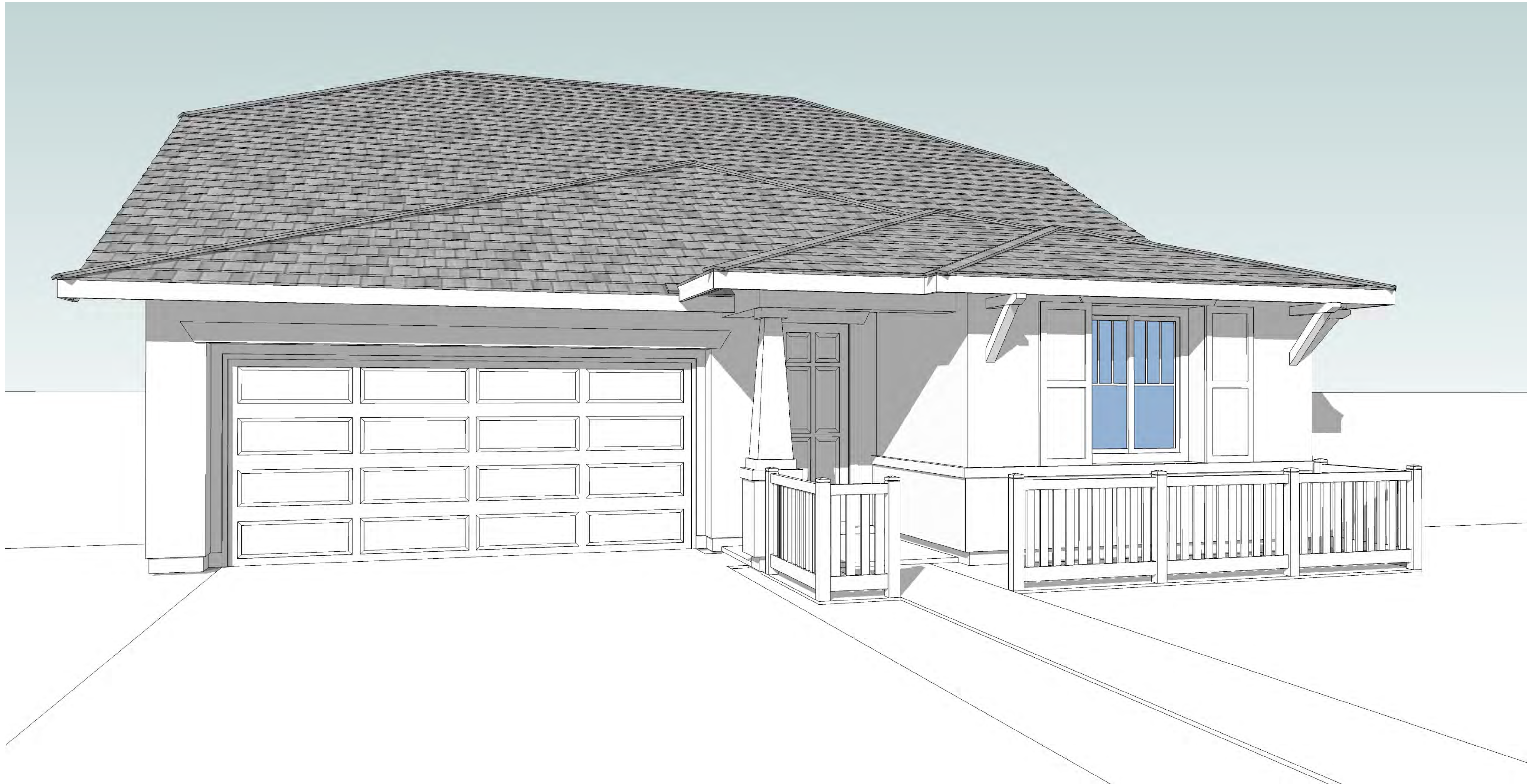


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2119 - PRAIRIE



3D Perspective Plan 2119 Prairie

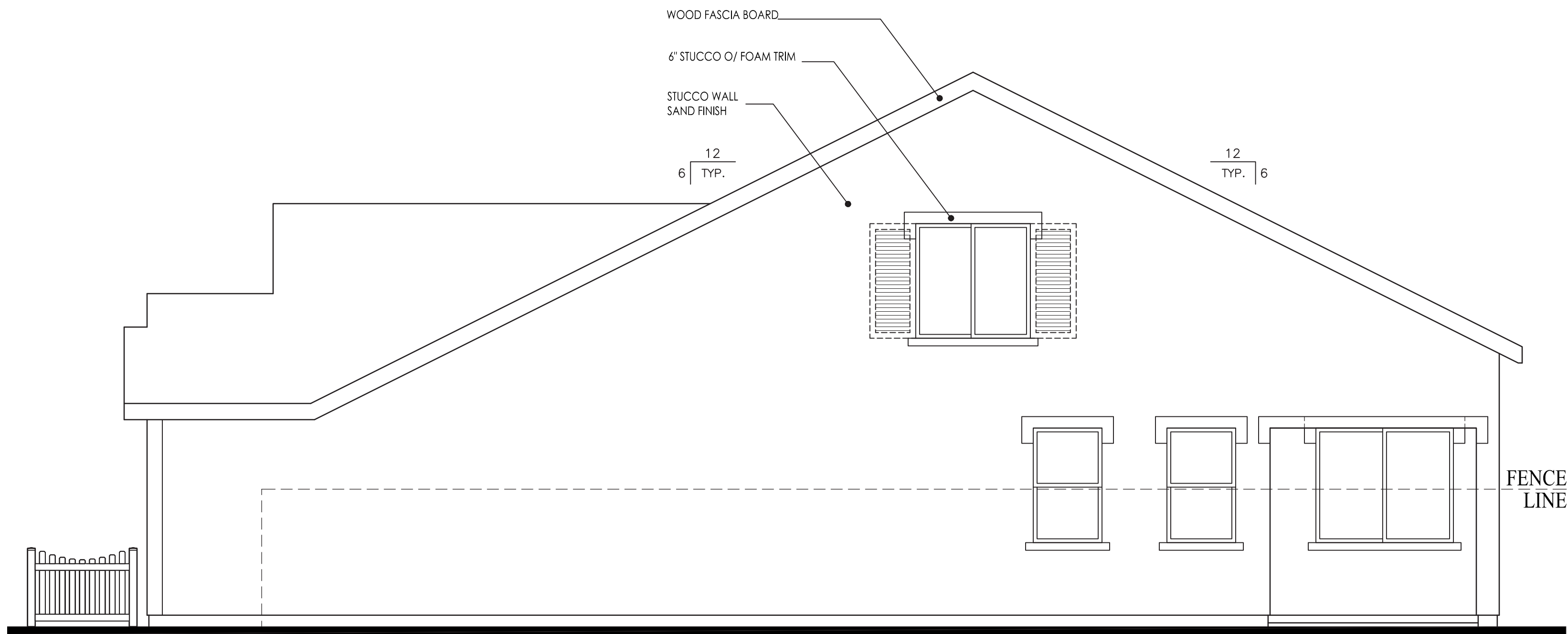
The Crossing at Spring Lake

WOODLAND, CA

LENNAR

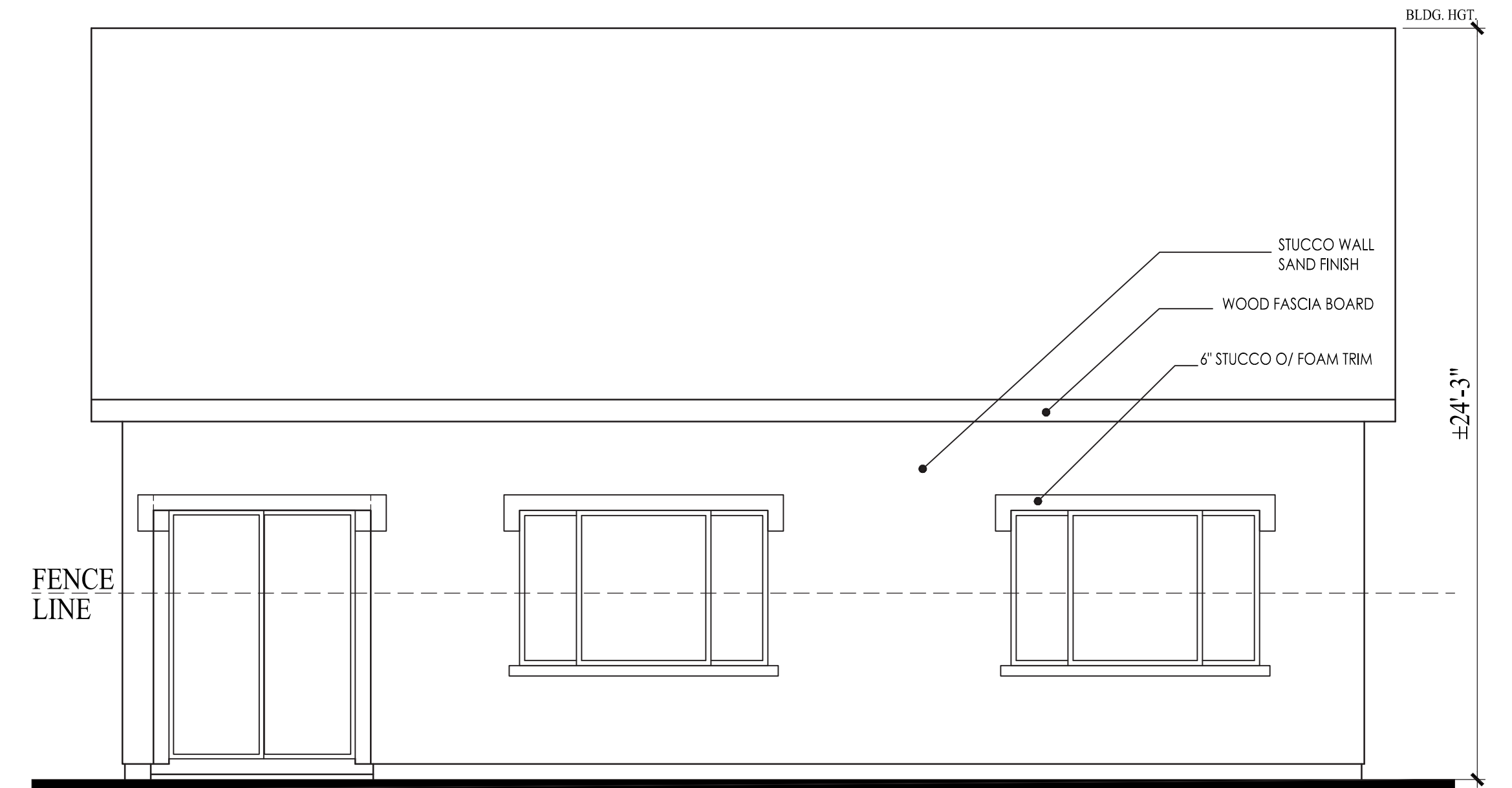
Kevin L. Crook
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Inc

A-18
0 2 4 8 12
01/12/16 | # 15048

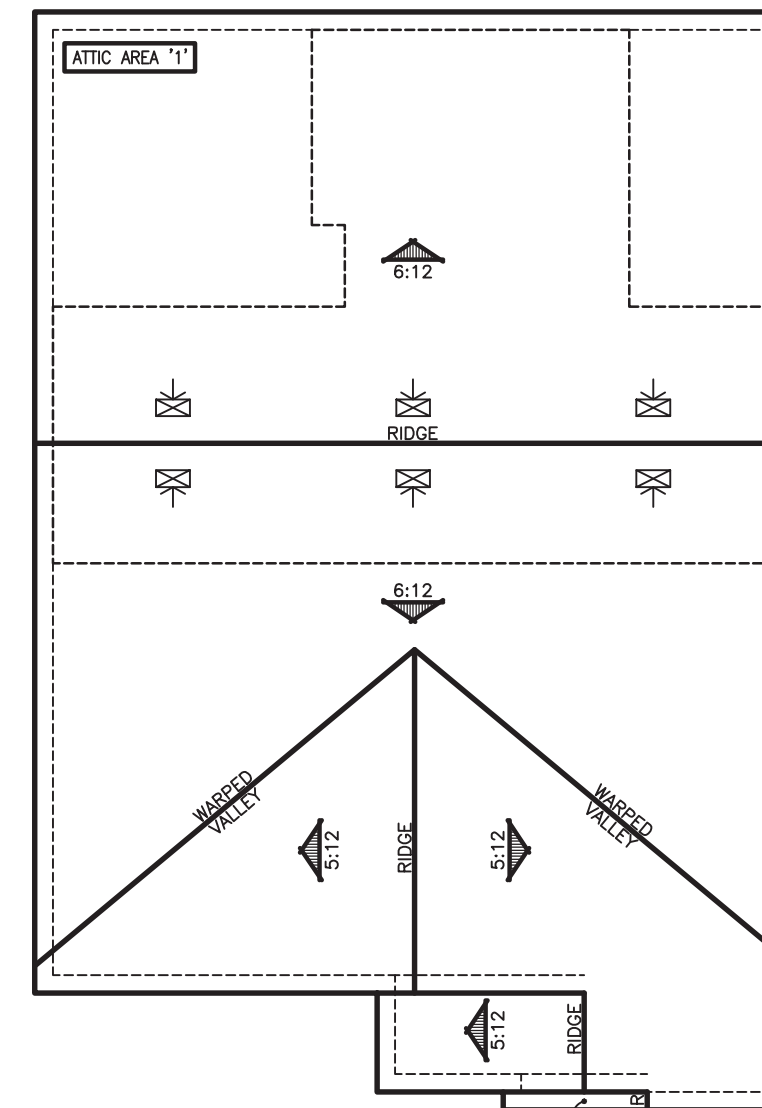


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

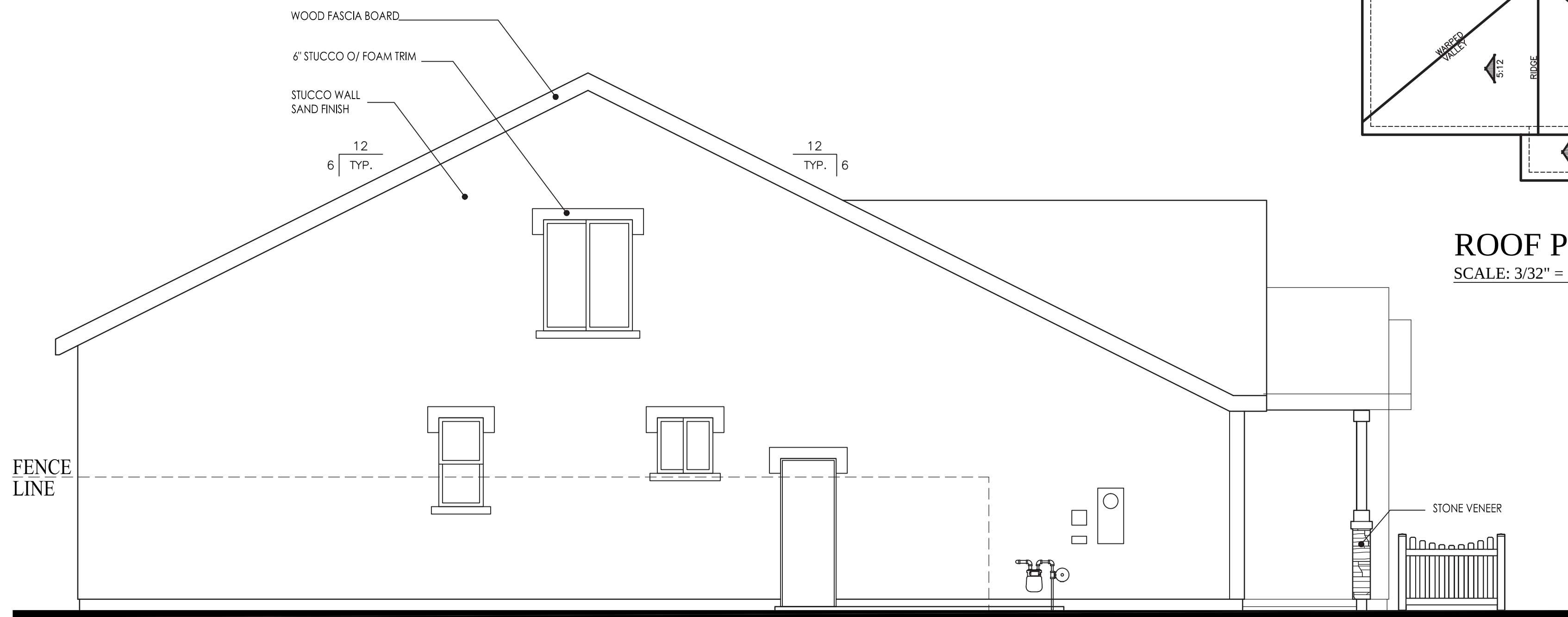
SHUTTERS SHOWN DASHED SHALL OCCUR
ON LOTS ADJACENT TO PUBLIC RIGHT OF
WAYS REQUIRING ENHANCEMENTS



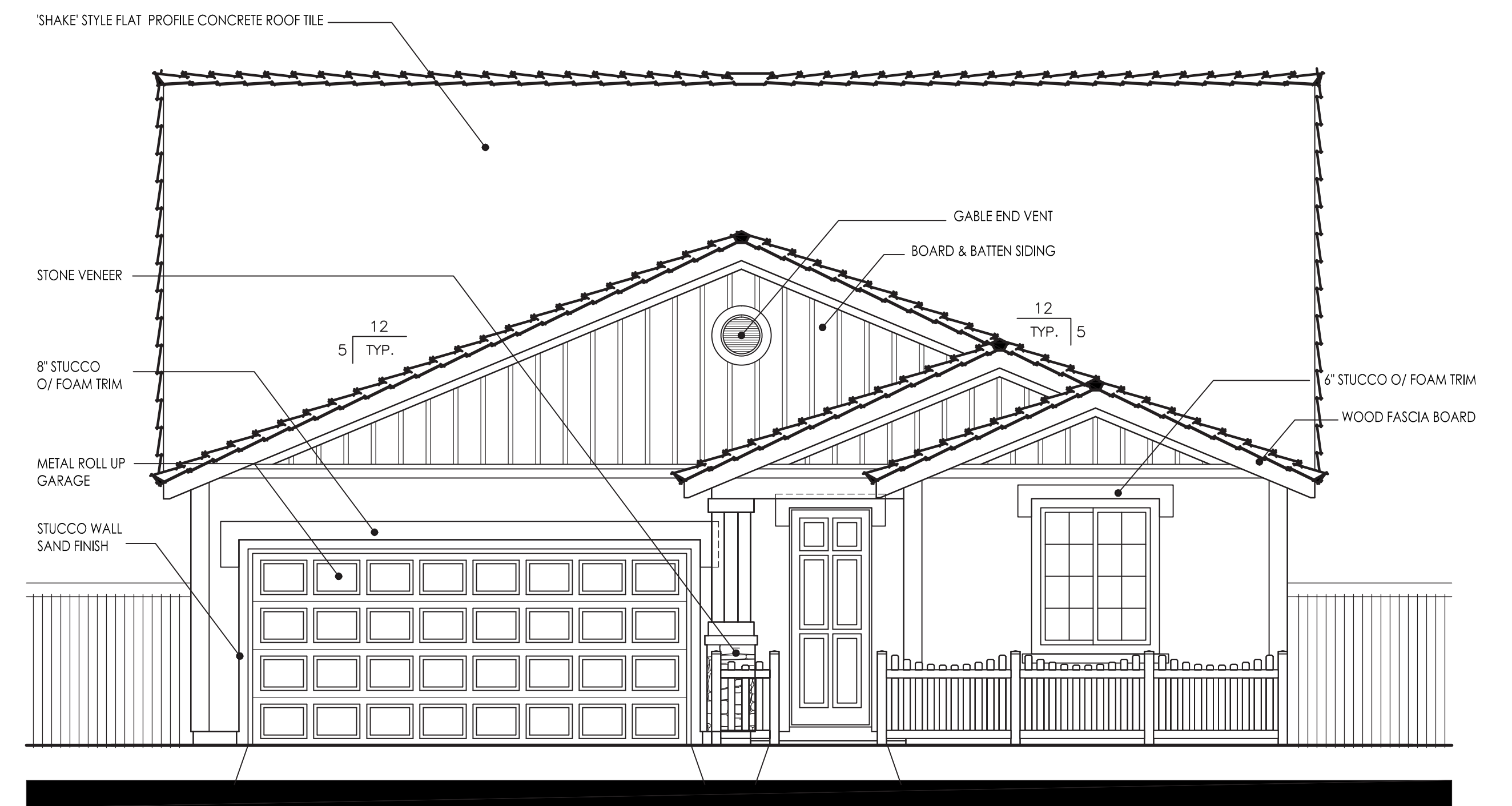
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

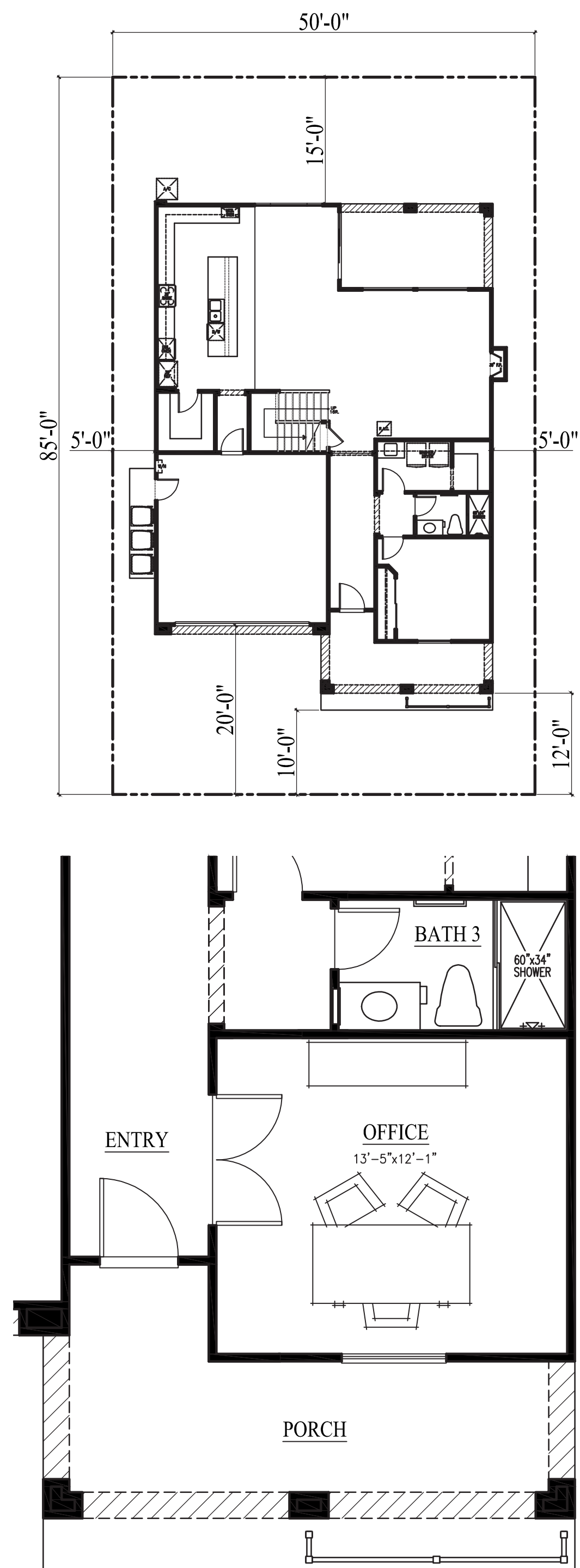


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2119 - TRADITIONAL



SECOND FLOOR PLAN



OPT. OFFICE AT BEDRM. 4

AREA TABULATION

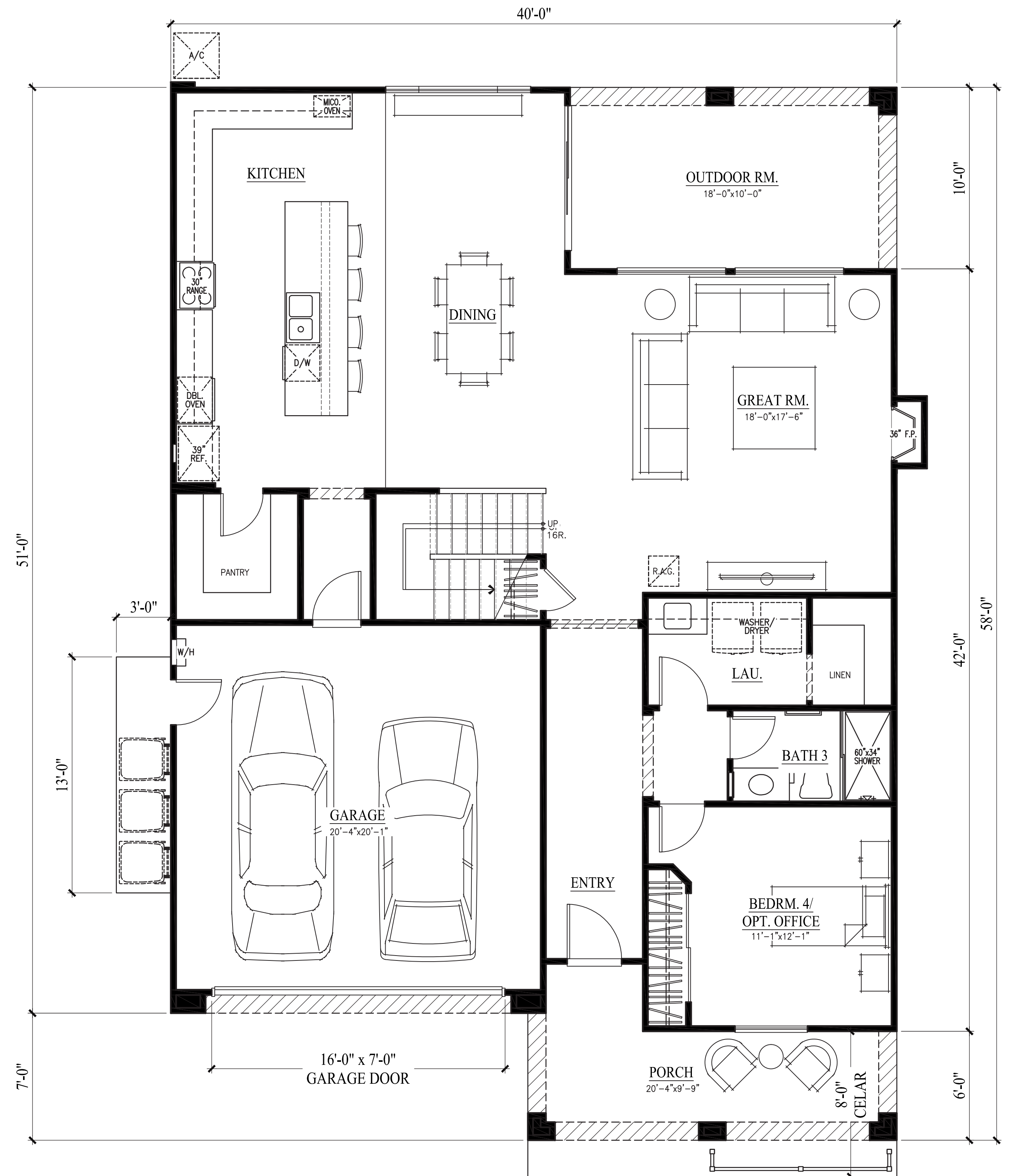
CONDITIONED SPACE

FIRST FLOOR AREA	1423 SQ. FT.
SECOND FLOOR AREA	1038 SQ. FT.
TOTAL DWELLING	2461 SQ. FT.

UNCONDITIONED SPACE

GARAGE	415 SQ. FT.
PORCH	183 SQ. FT.
OUTDOOR RM.	180 SQ. FT.

PLAN 2461



FIRST FLOOR PLAN



"A" - SPANISH
COLOR SCHEME #1



"B" - PRAIRIE
COLOR SCHEME #4

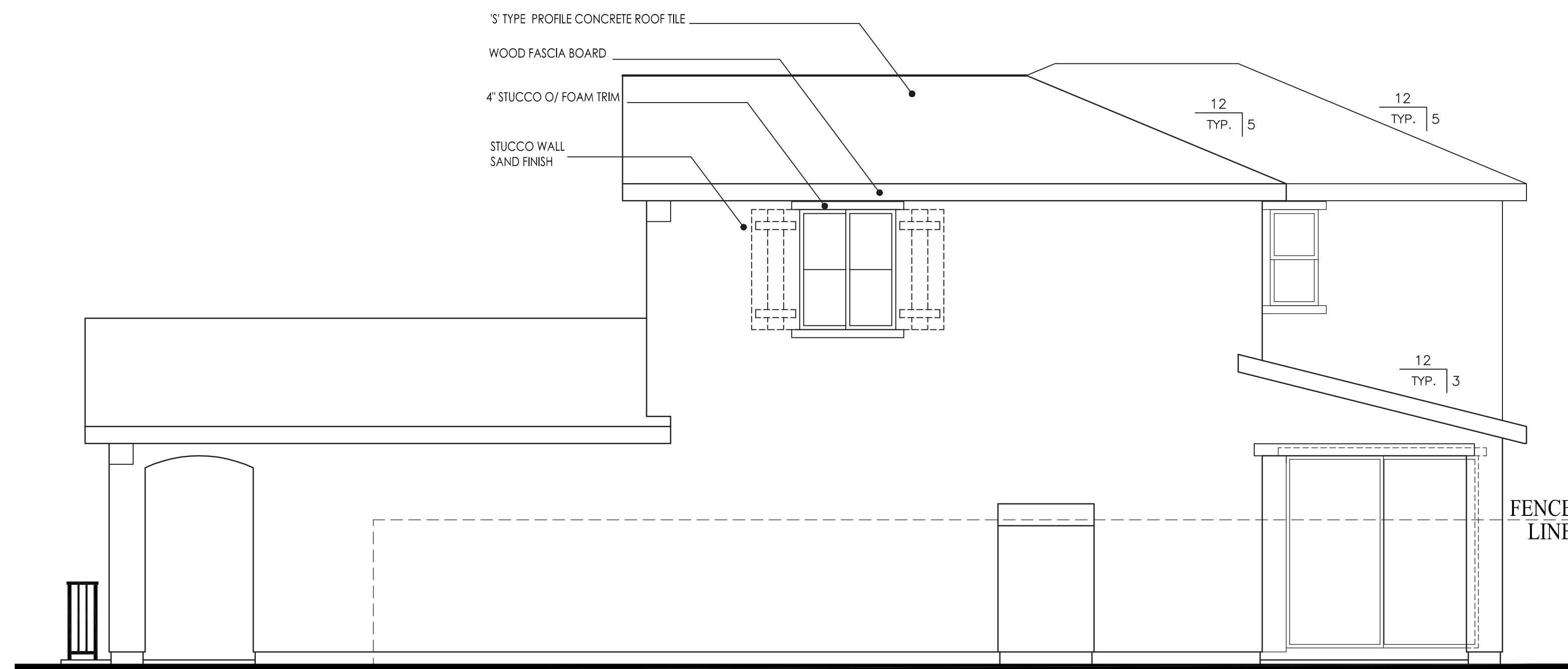


"C" - TRADITIONAL
COLOR SCHEME #7



"D" - FRENCH
COLOR SCHEME #10

PLAN 2461 - FRONT ELEVATIONS

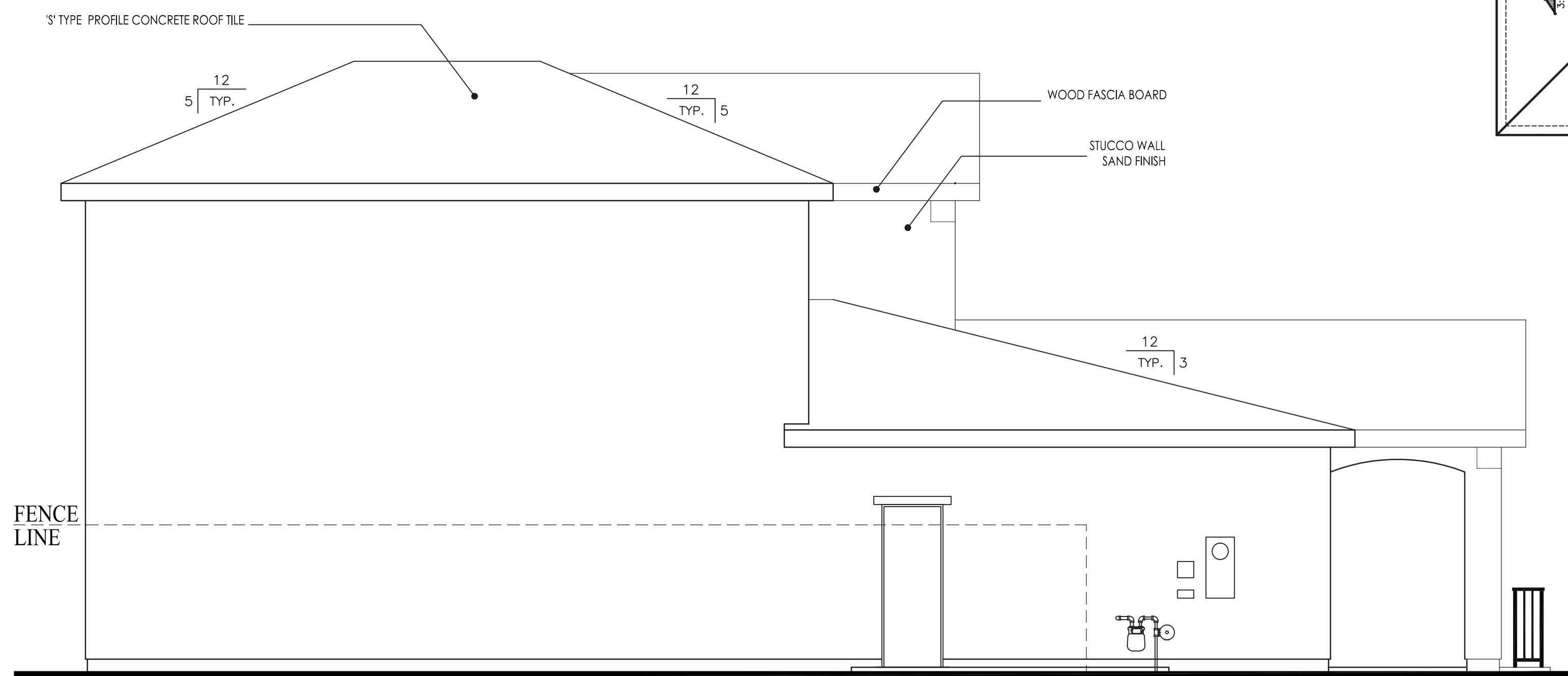


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

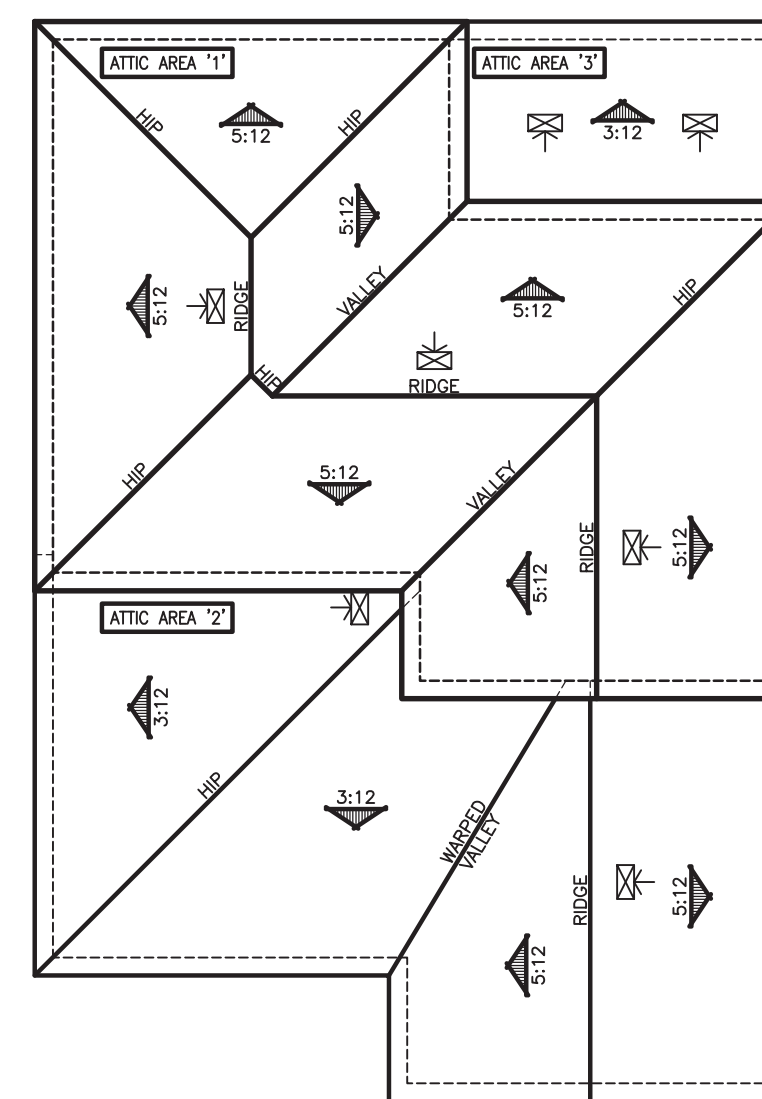
SHUTTERS SHOWN DASHED SHALL OCCUR
ON LOTS ADJACENT TO PUBLIC RIGHT OF
WAYS REQUIRING ENHANCEMENTS



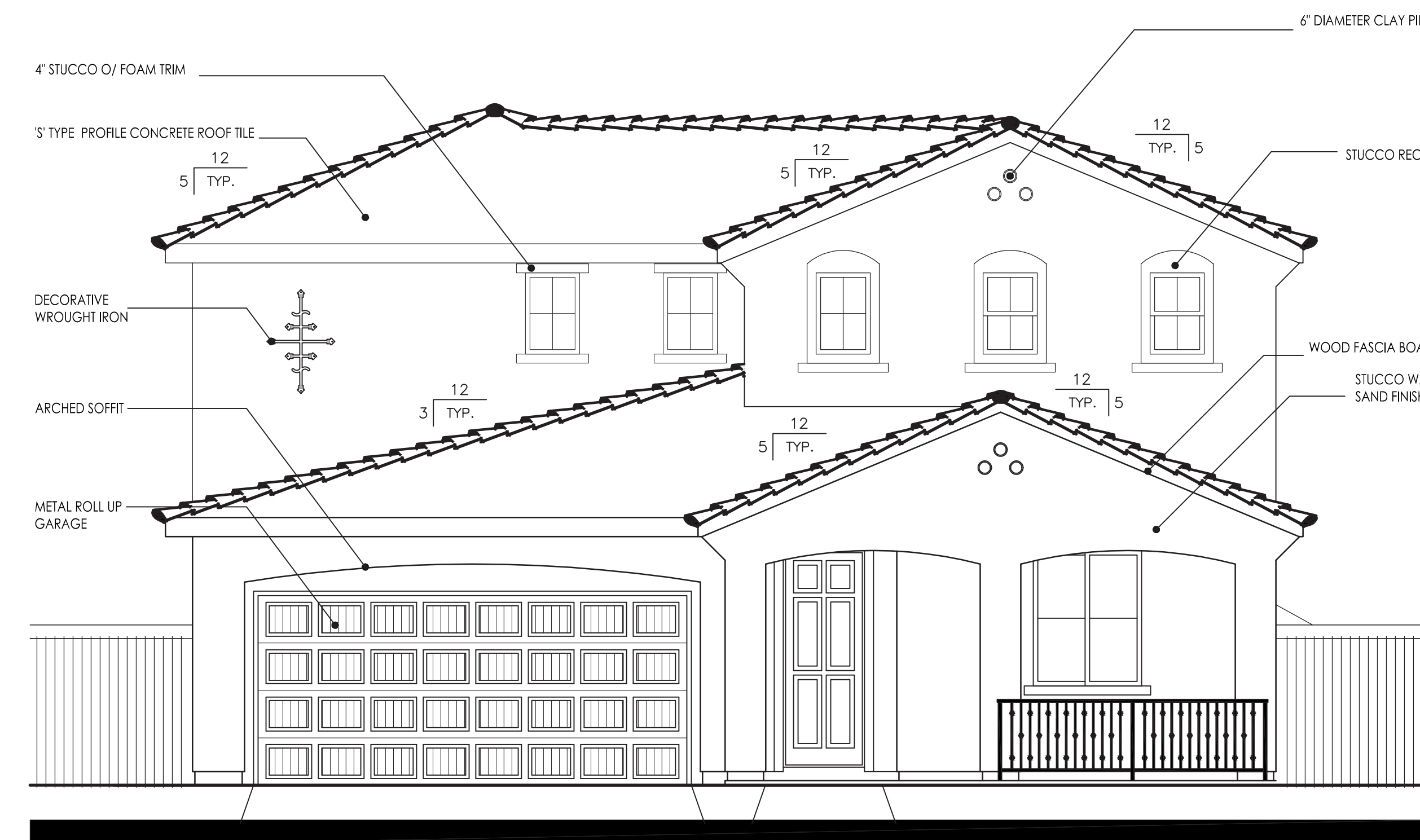
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

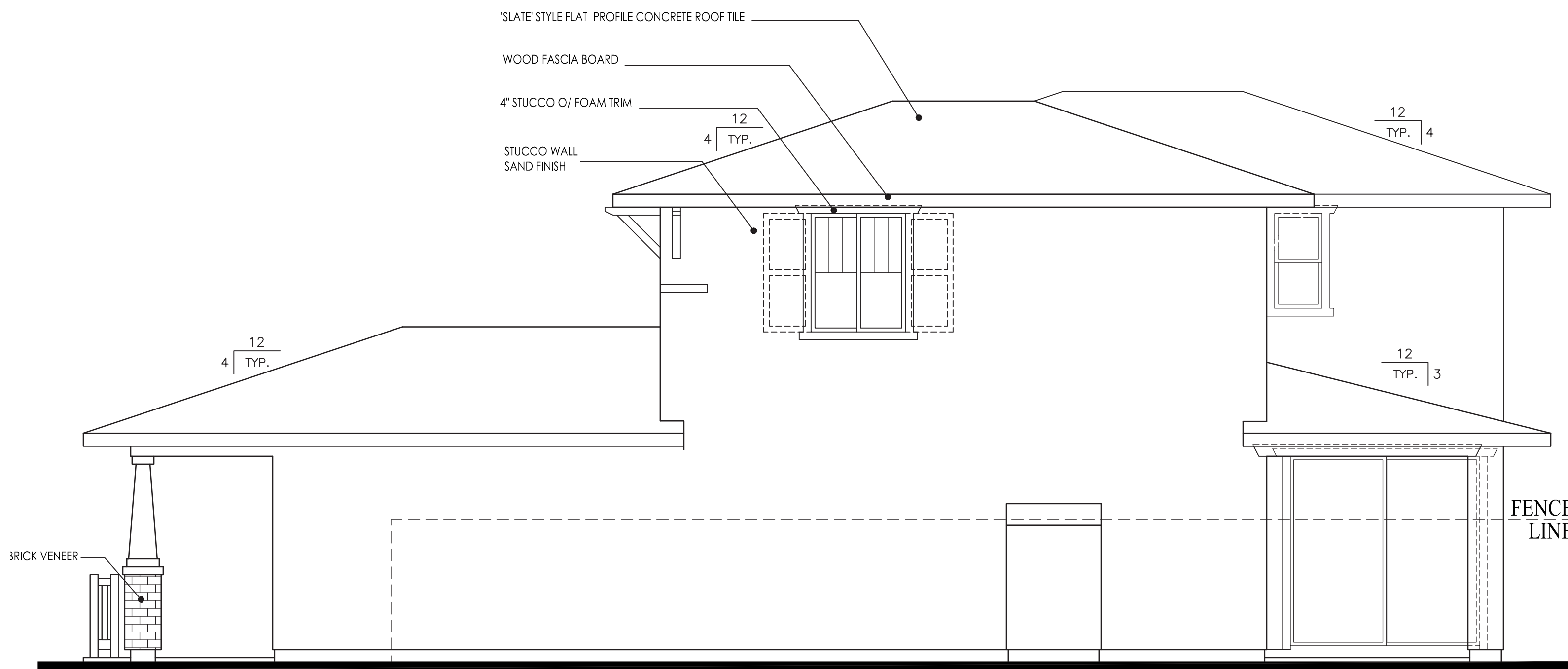


ROOF PLAN
SCALE: 3/32" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2461 - SPANISH

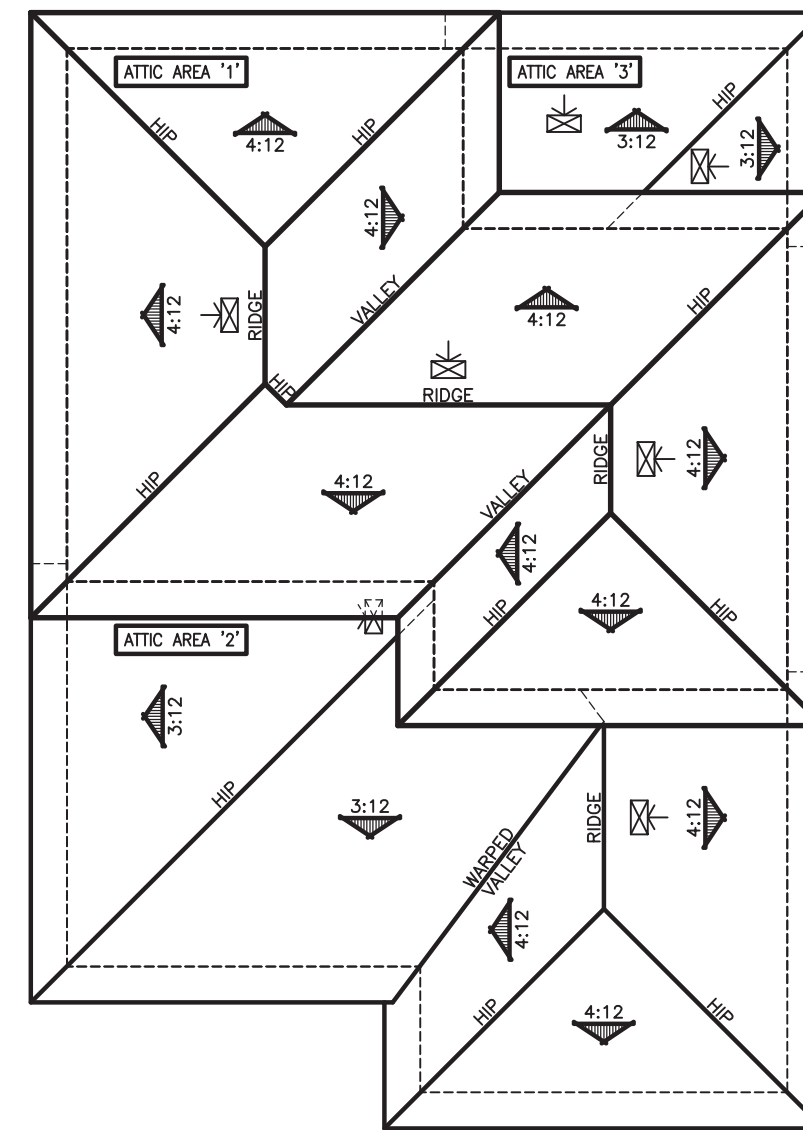


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

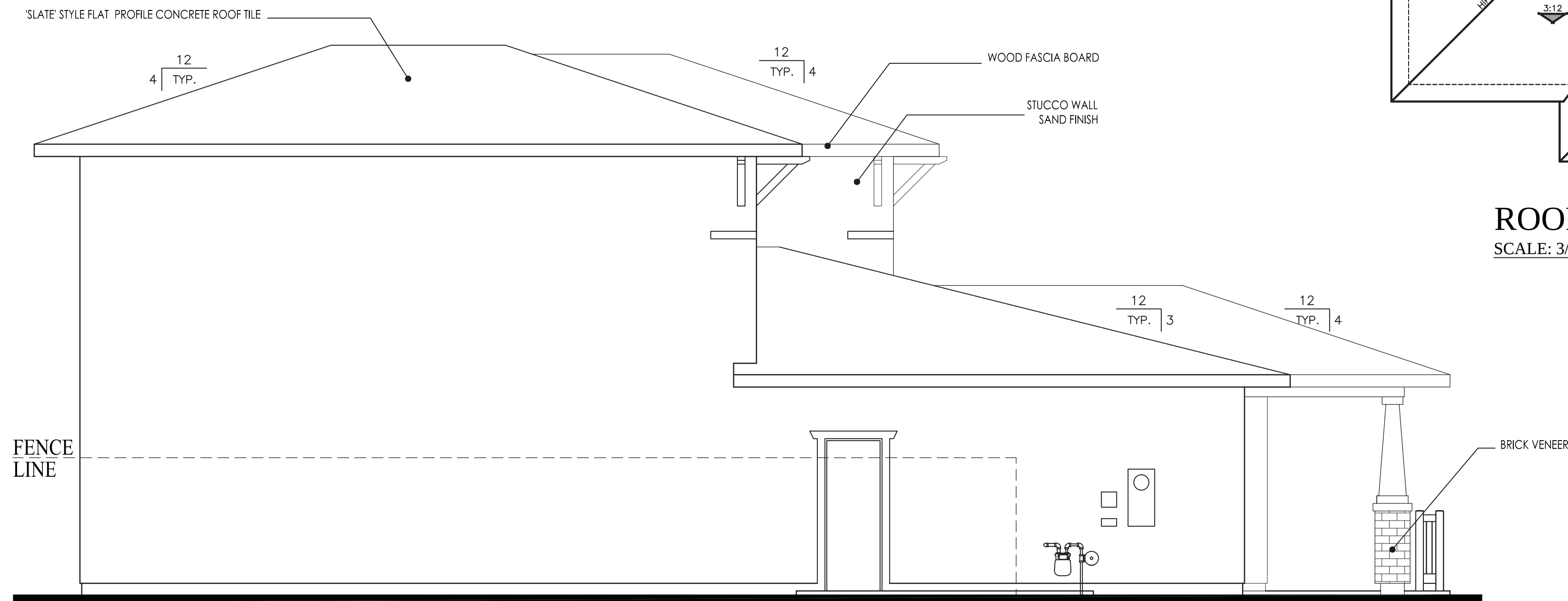
SHUTTERS SHOWN DASHED SHALL OCCUR
ON LOTS ADJACENT TO PUBLIC RIGHT OF
WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

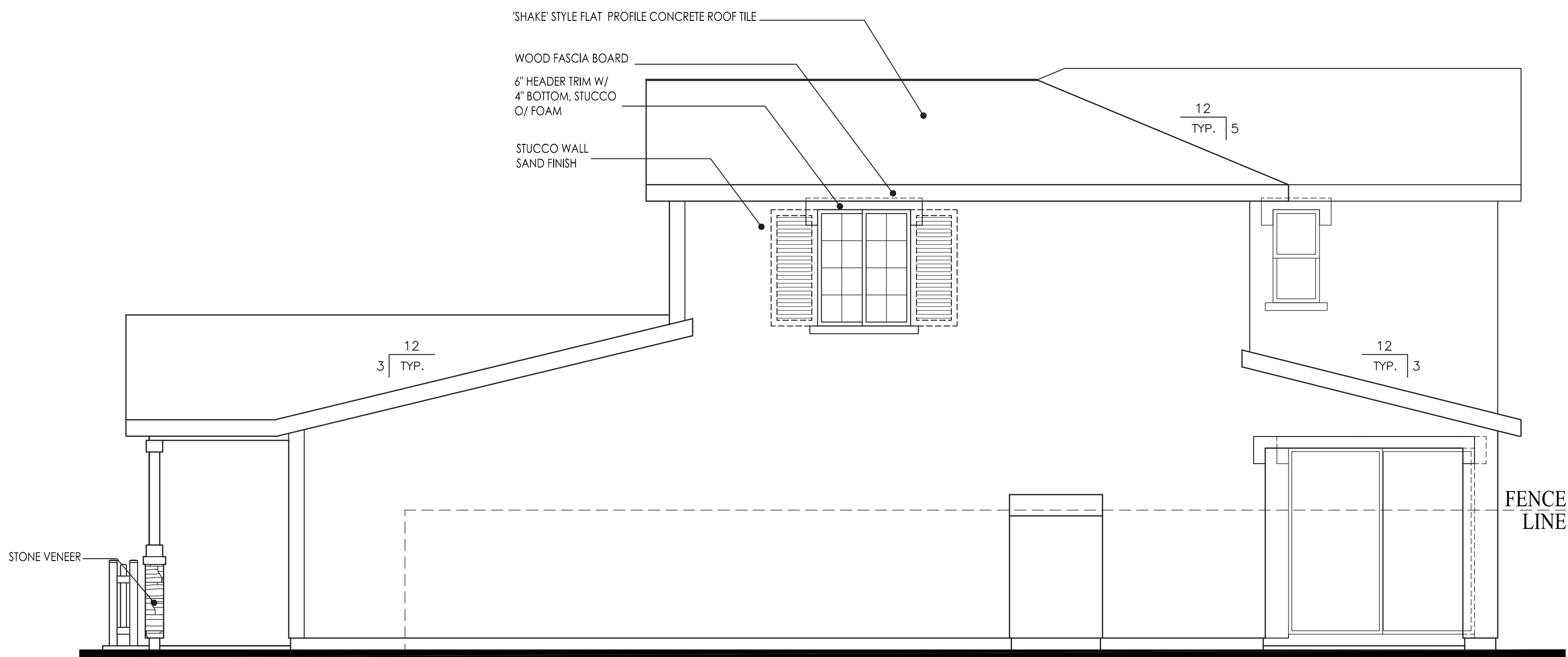


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



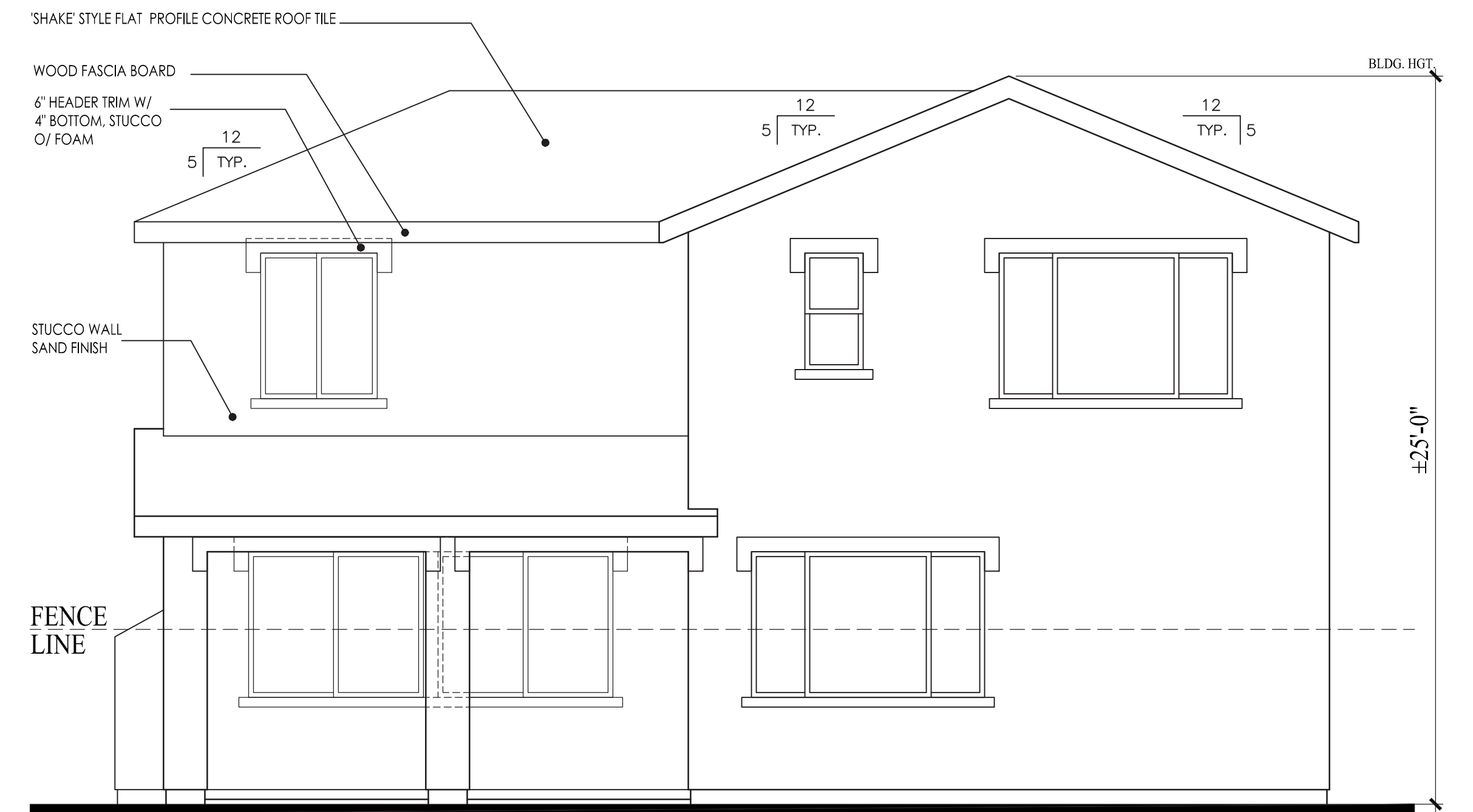
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2461 - PRAIRIE

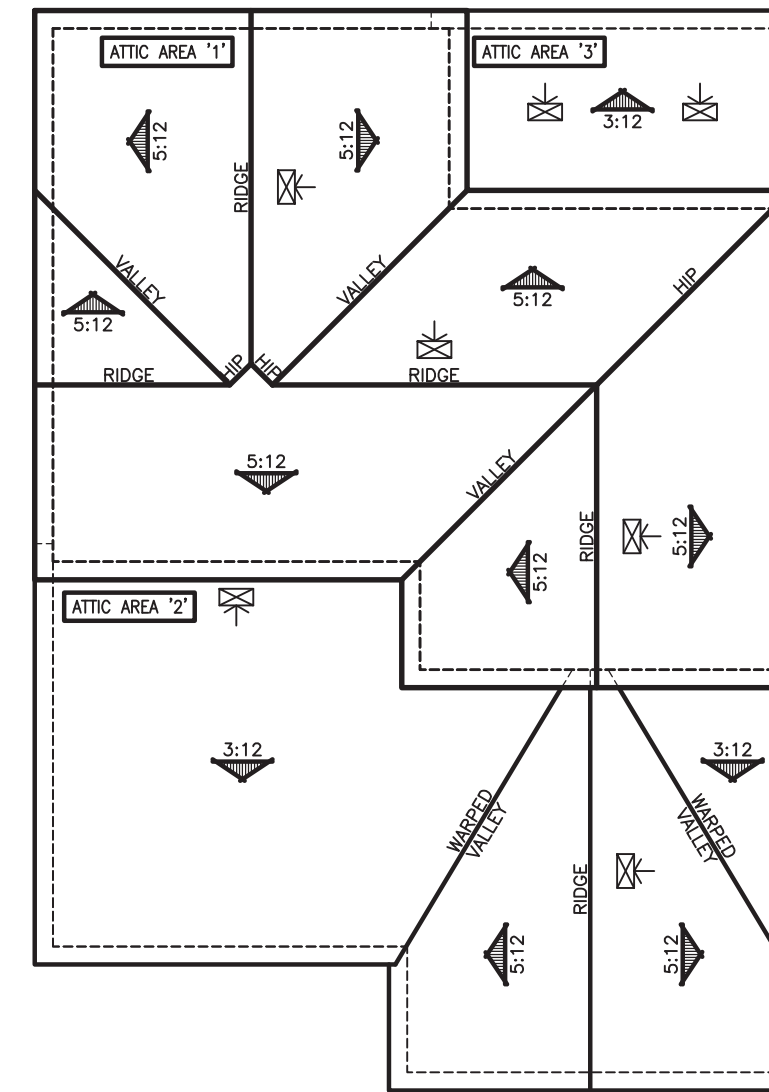


RIGHT ELEVATION
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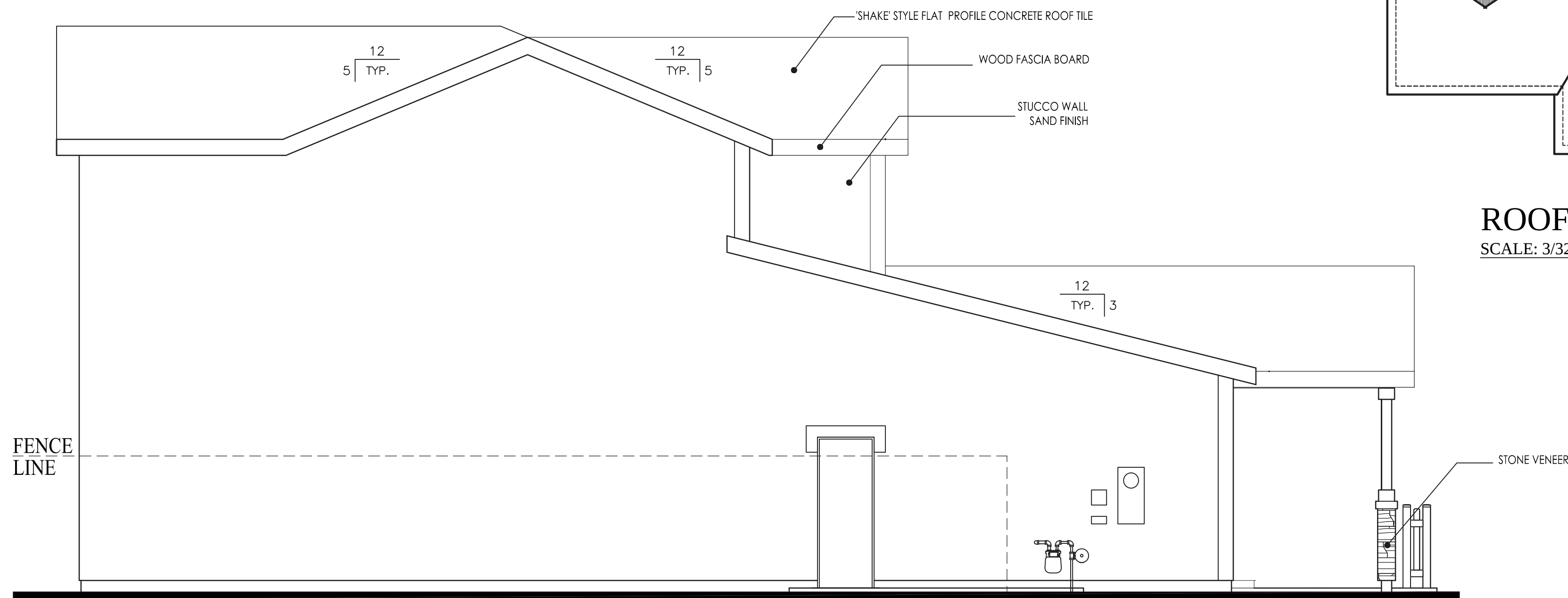
SHUTTERS SHOWN DASHED SHALL OCCUR
ON LOTS ADJACENT TO PUBLIC RIGHT OF
WAYS REQUIRING ENHANCEMENTS



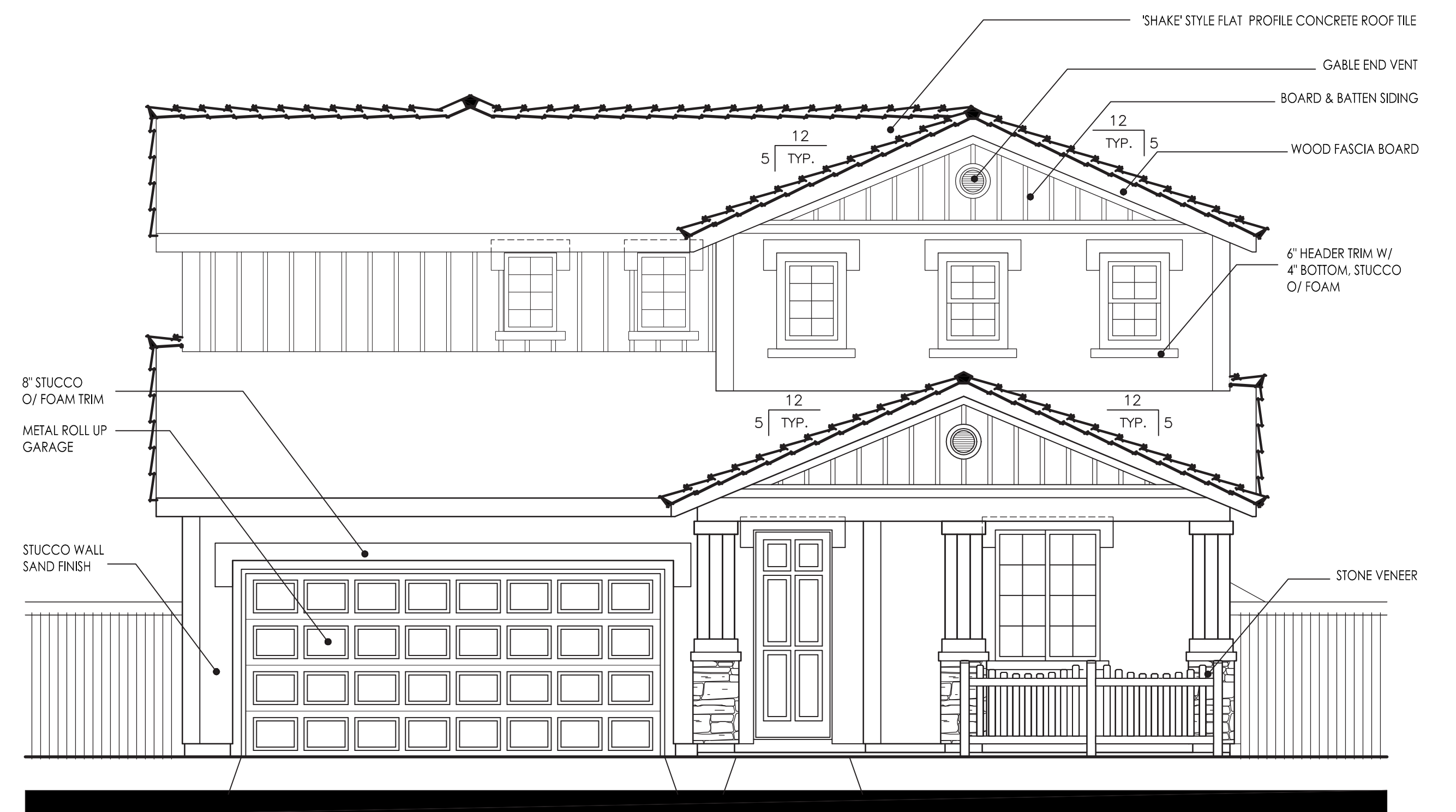
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

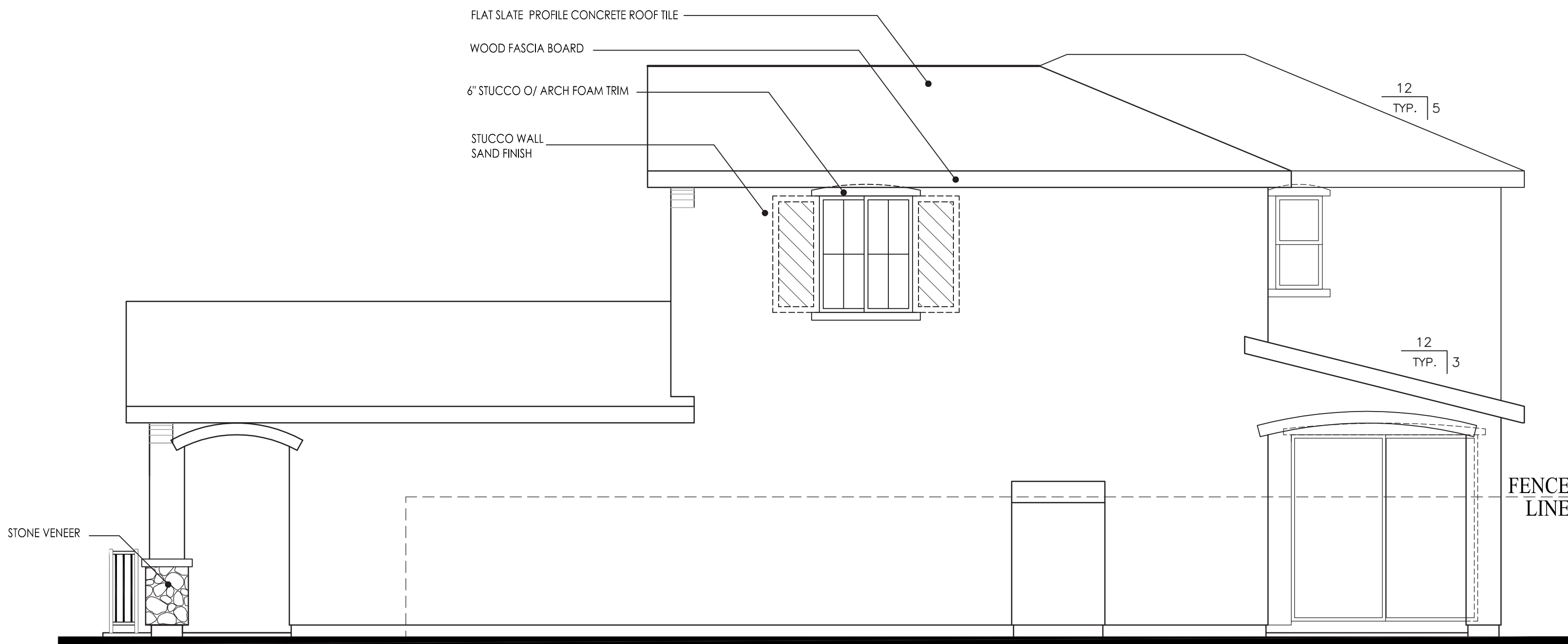


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2461 - TRADITIONAL

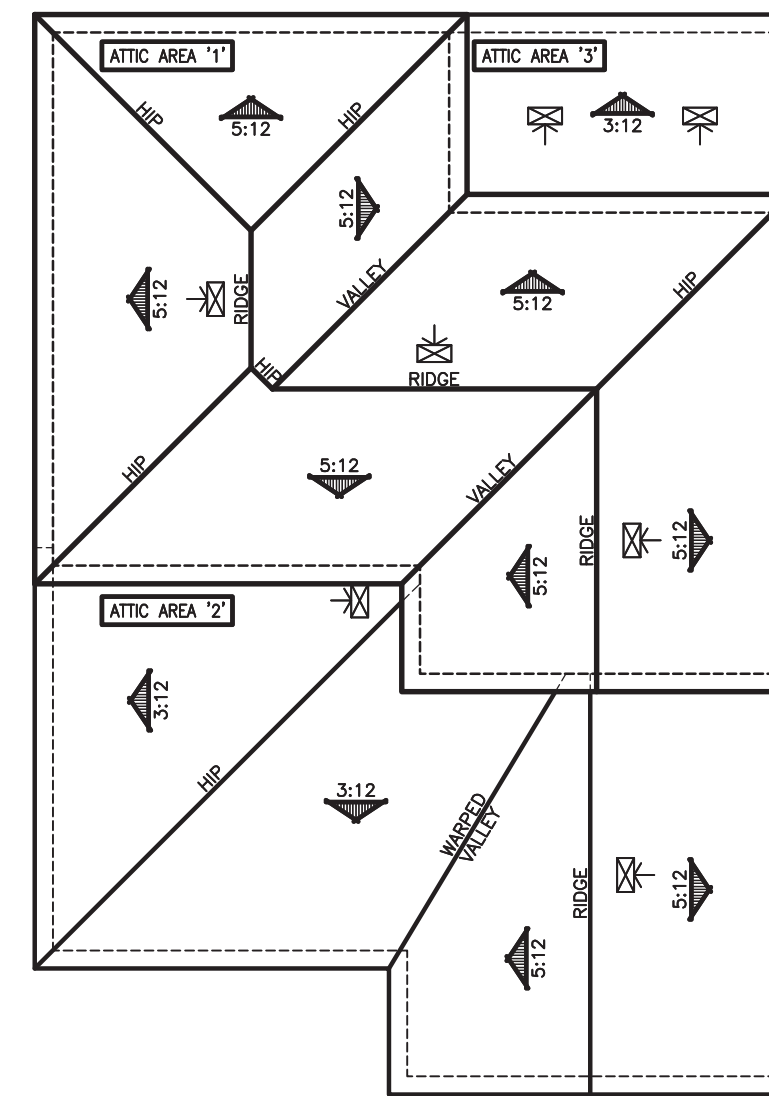


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

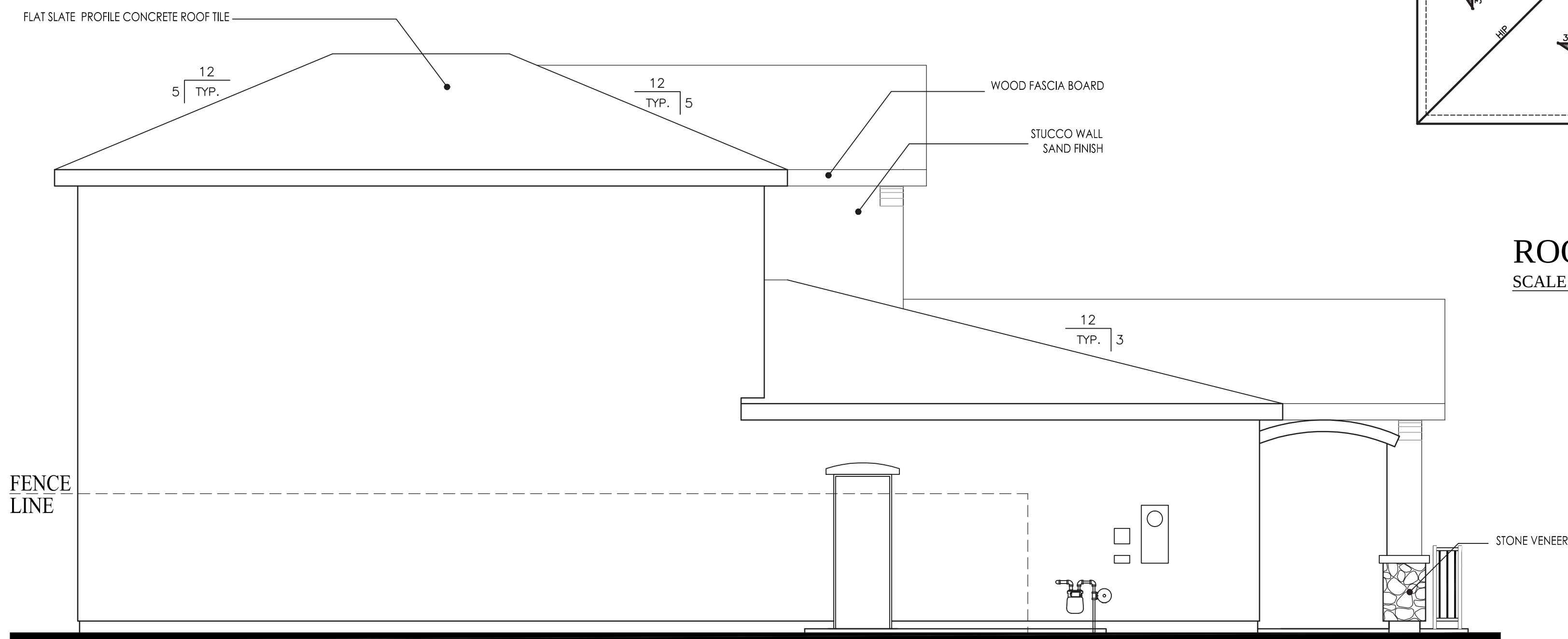
SHUTTERS SHOWN DASHED SHALL OCCUR
ON LOTS ADJACENT TO PUBLIC RIGHT OF
WAYS REQUIRING ENHANCEMENTS



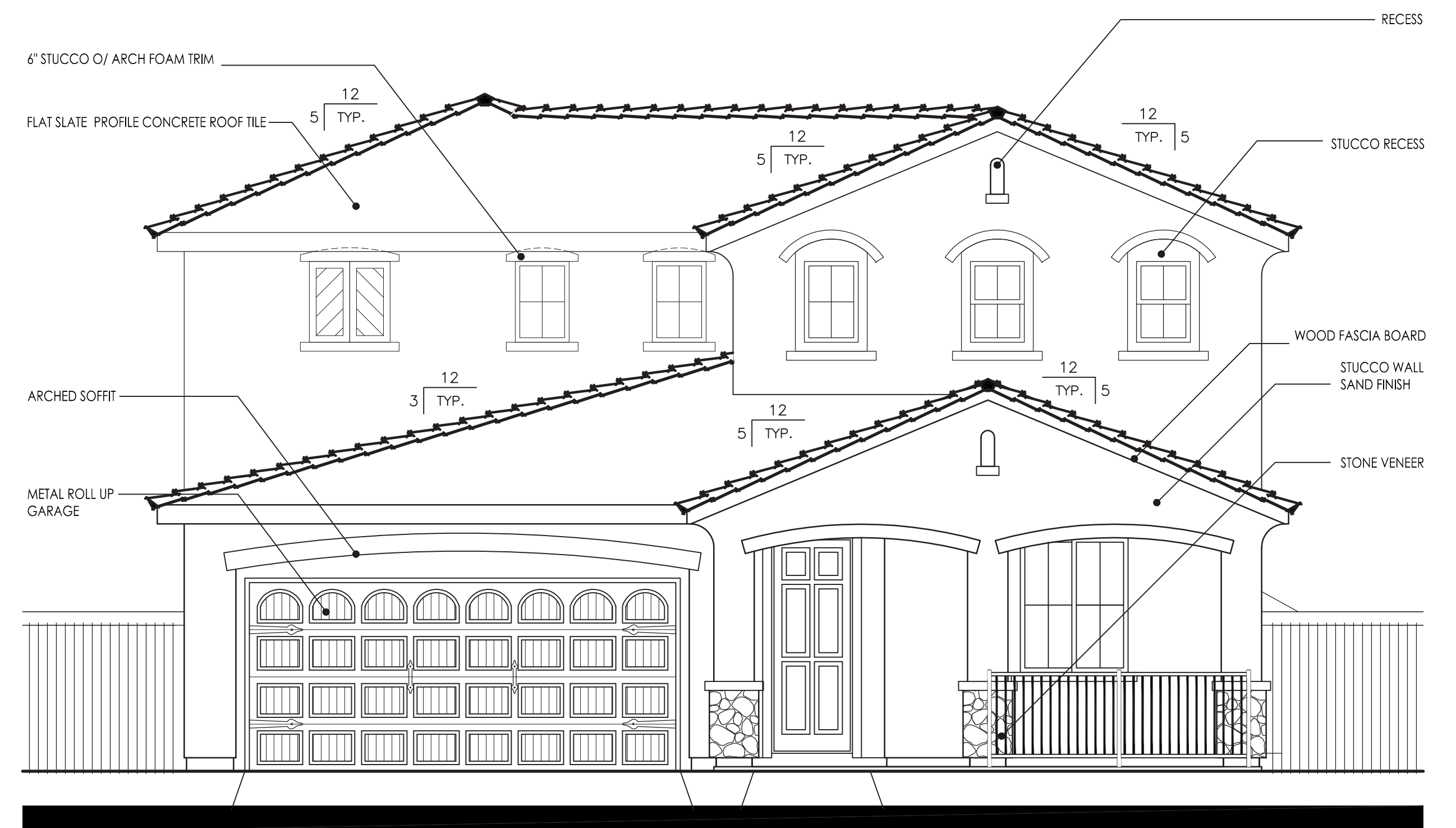
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

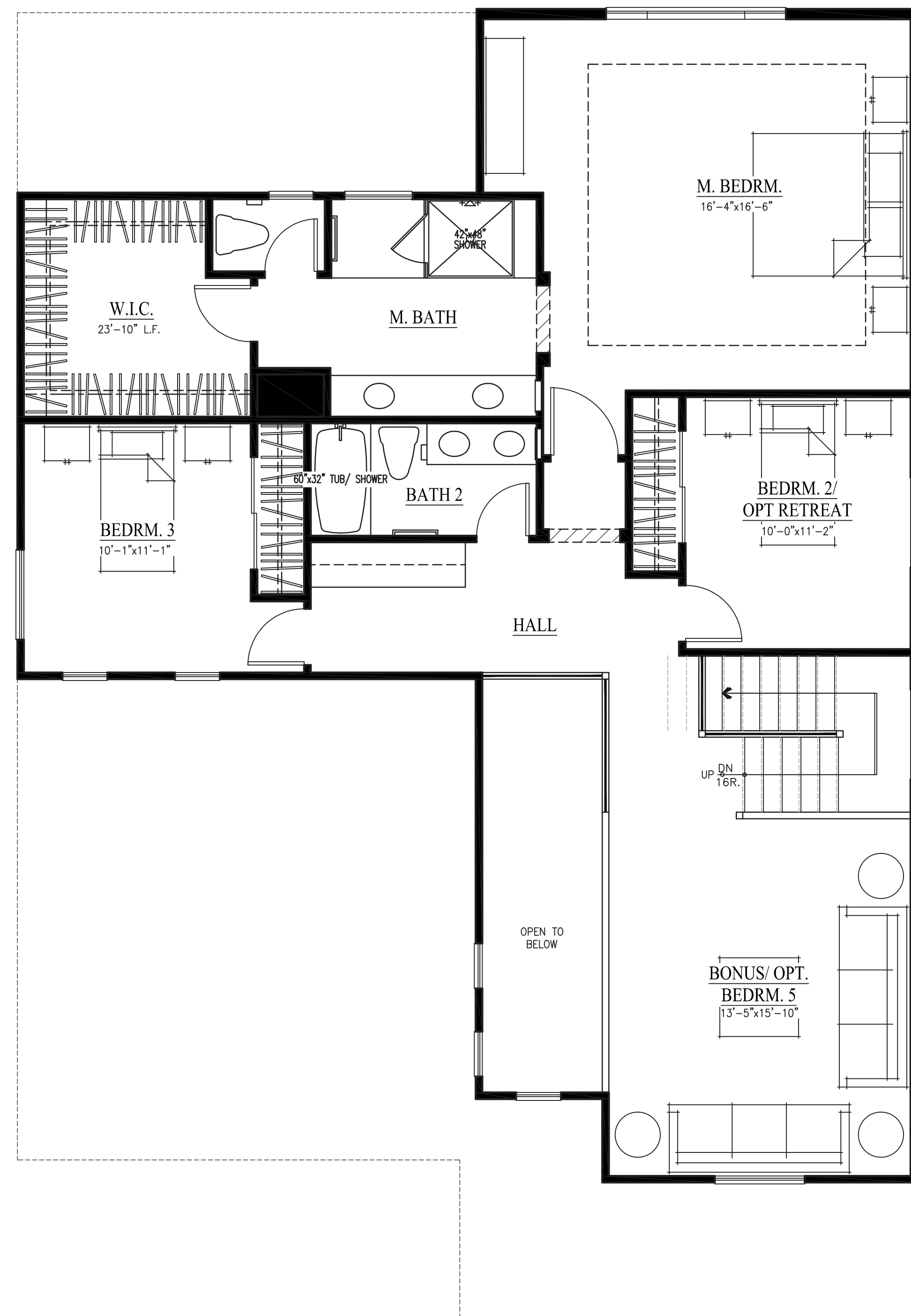


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

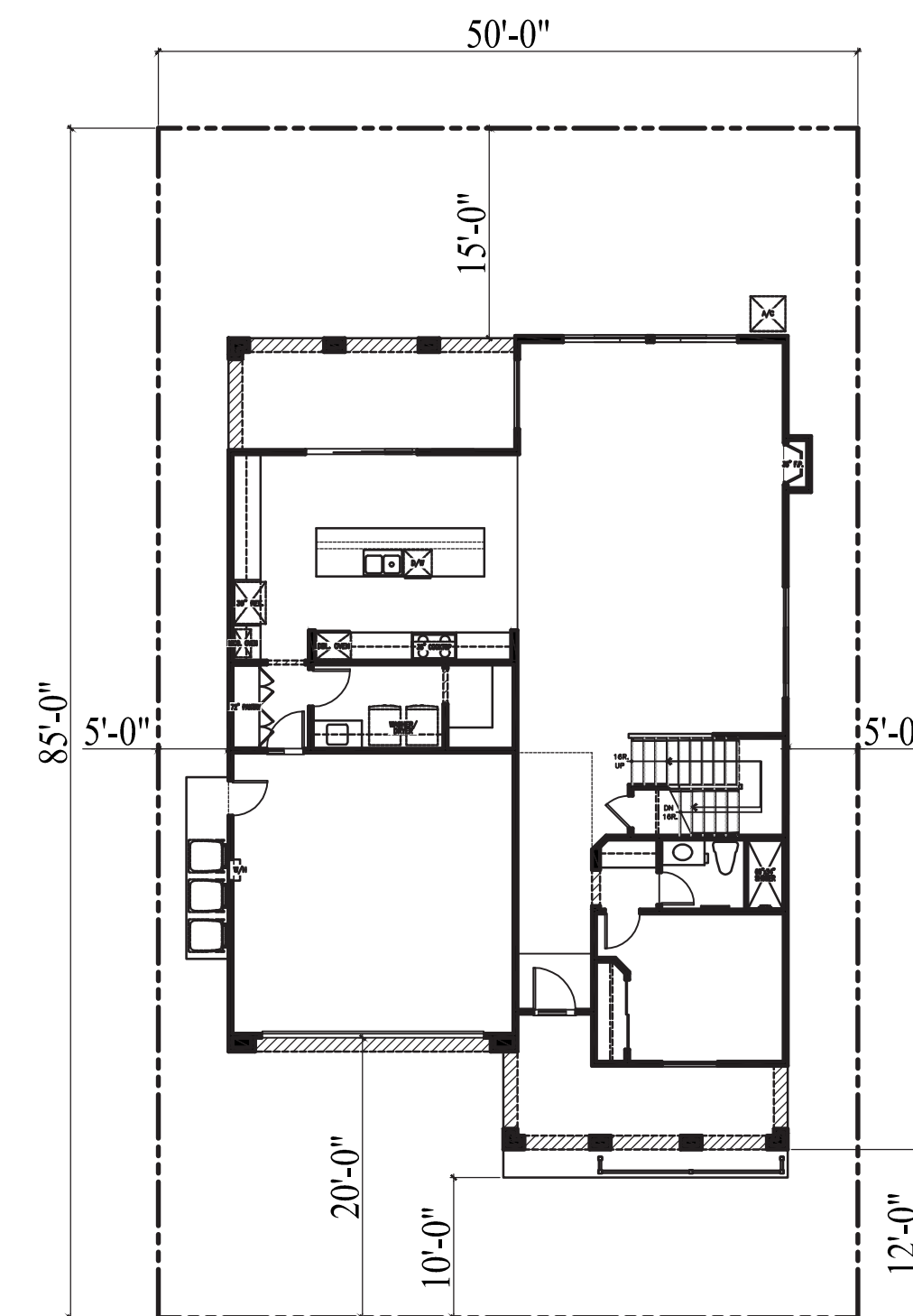


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2461 - FRENCH



SECOND FLOOR PLAN



AREA TABULATION

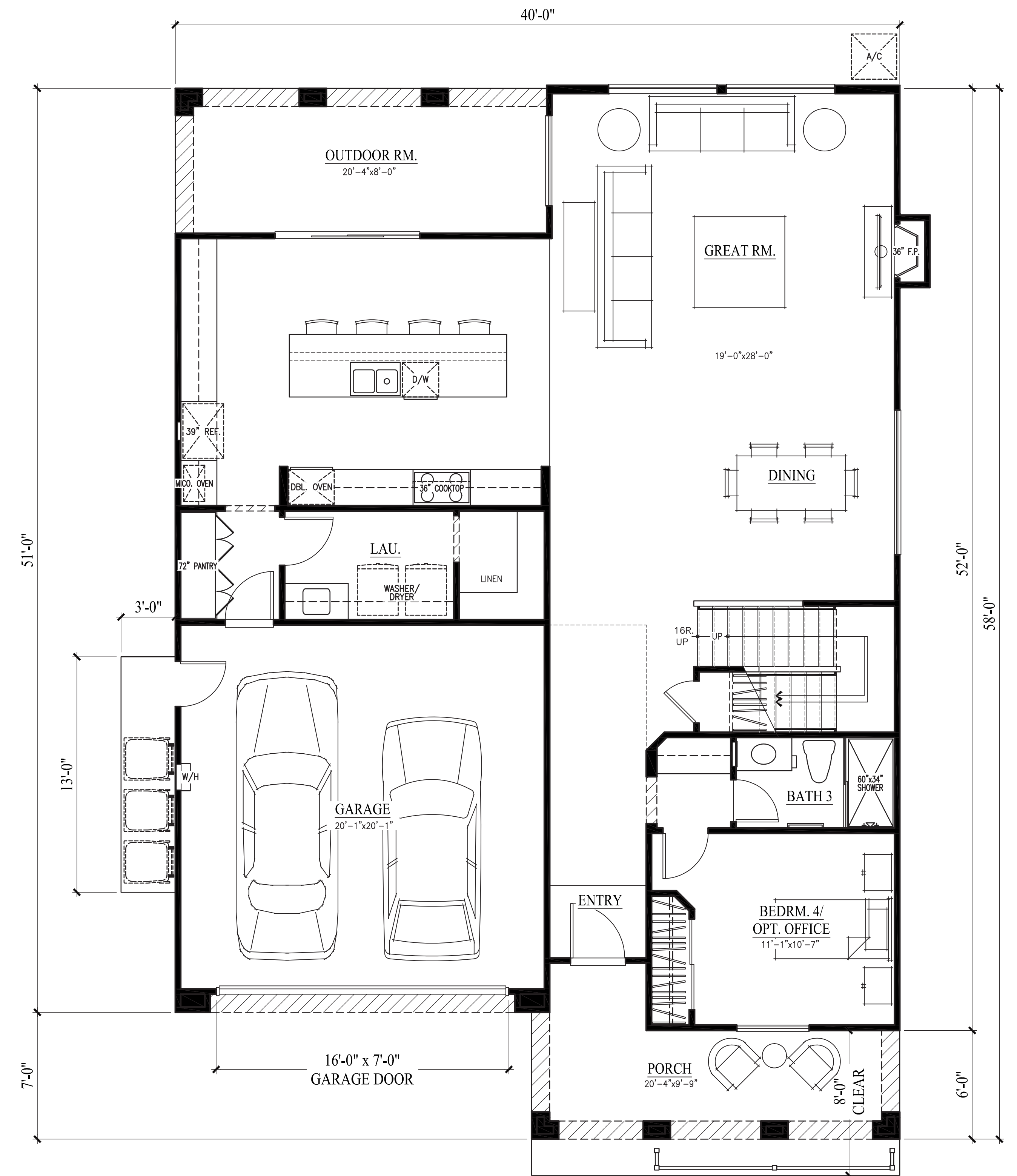
CONDITIONED SPACE

FIRST FLOOR AREA	1440 SQ. FT.
SECOND FLOOR AREA	1273 SQ. FT.
TOTAL DWELLING	2713 SQ. FT.

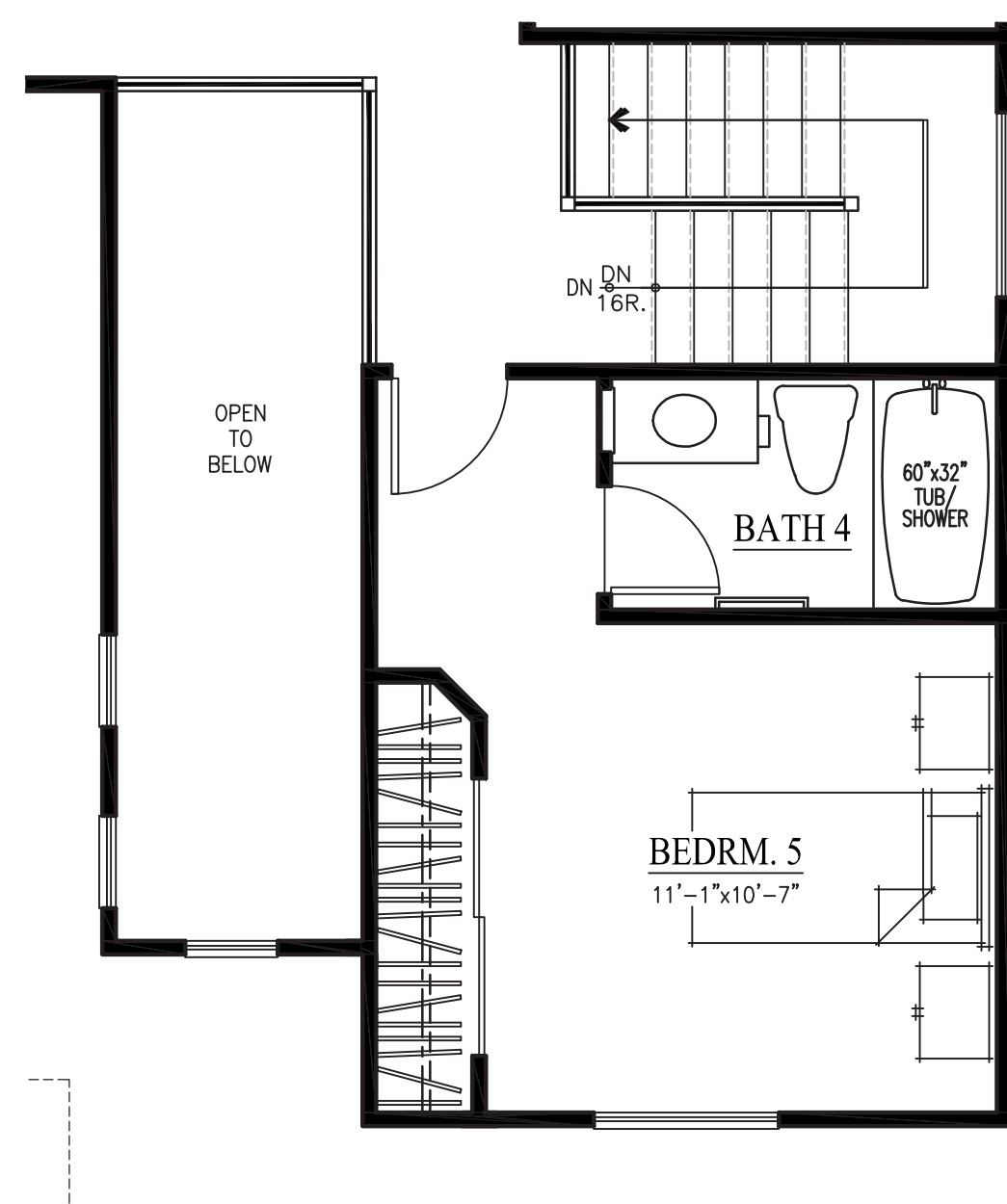
UNCONDITIONED SPACE

GARAGE	436 SQ. FT.
PORCH	183 SQ. FT.
OUTDOOR RM.	163 SQ. FT.

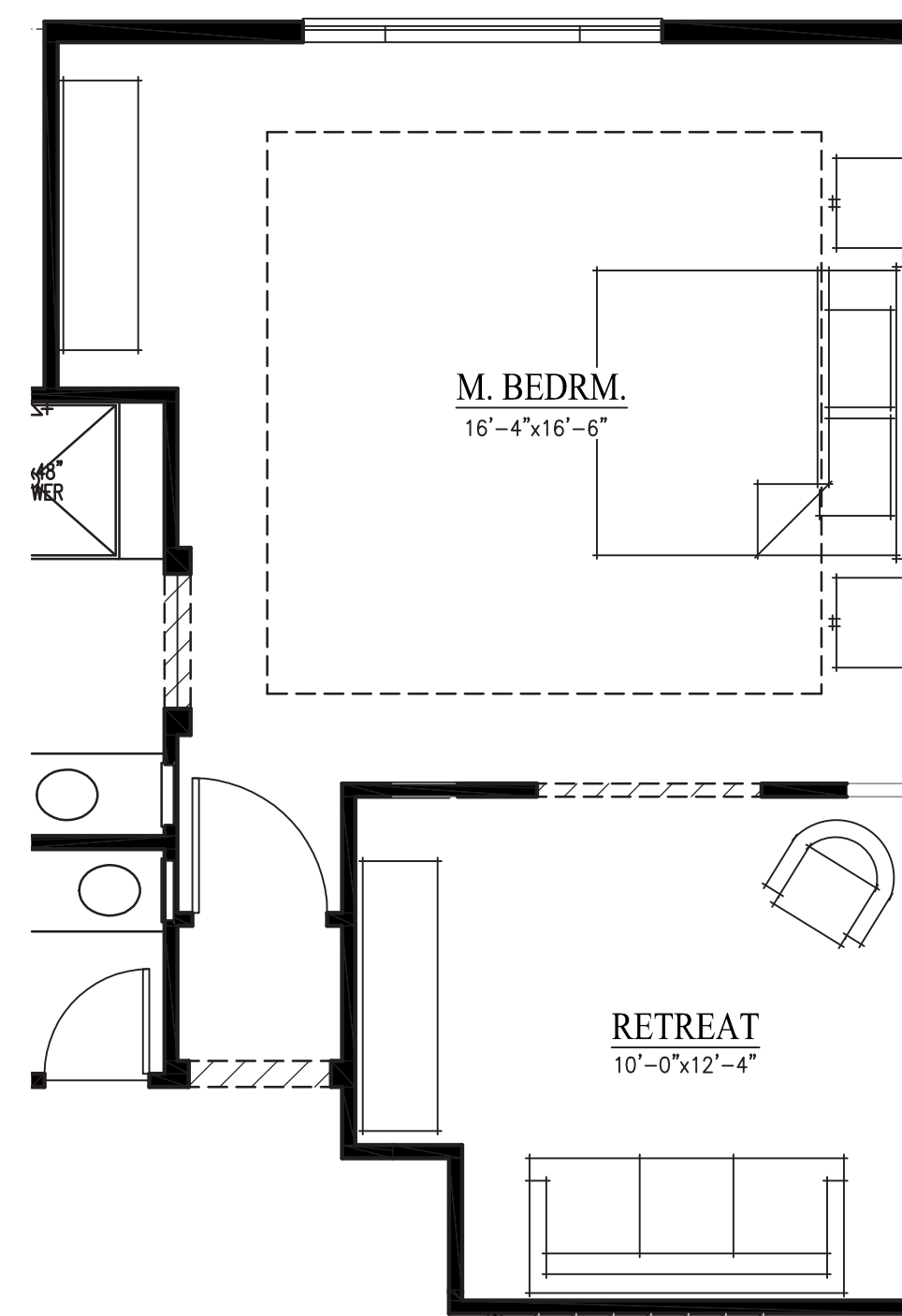
PLAN 2713



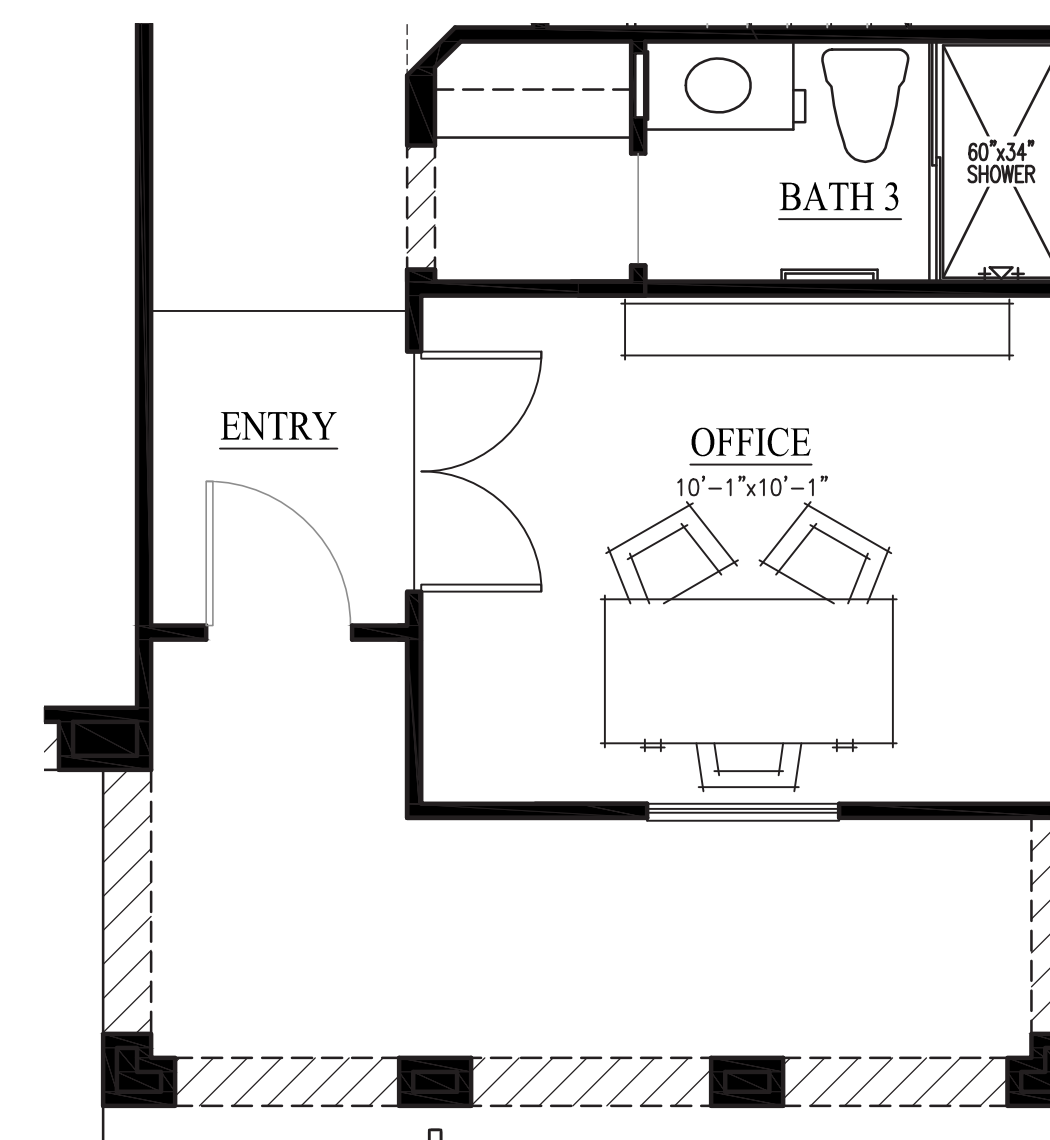
FIRST FLOOR PLAN



OPT. BEDRM. 5 AT BONUS



OPT. RETREAT AT BEDRM. 2



OPT. OFFICE AT BEDRM. 4

PLAN 2713



"A" - SPANISH
COLOR SCHEME #2



"B" - PRAIRIE
COLOR SCHEME #5



"C" - TRADITIONAL
COLOR SCHEME #8



"D" - FRENCH
COLOR SCHEME #11

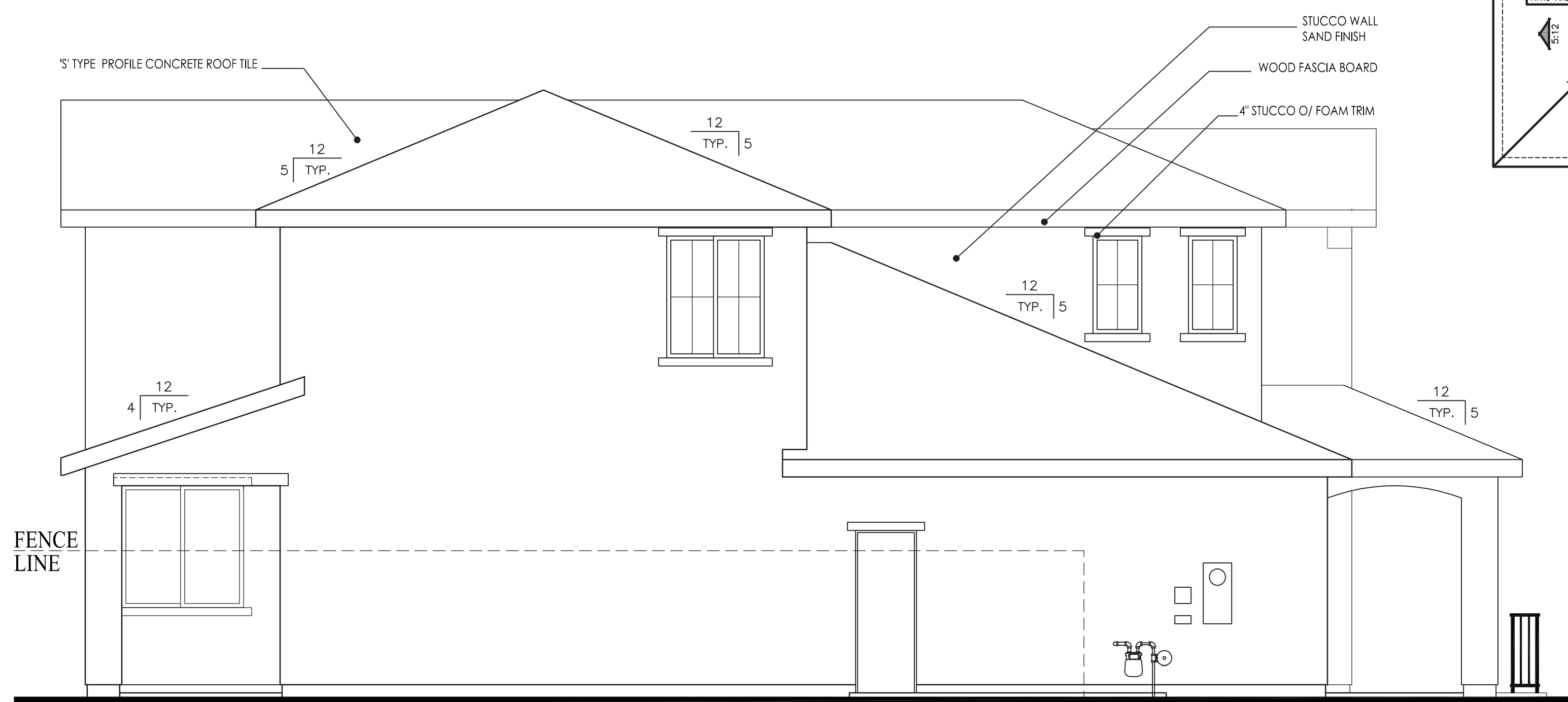
PLAN 2713 - FRONT ELEVATIONS



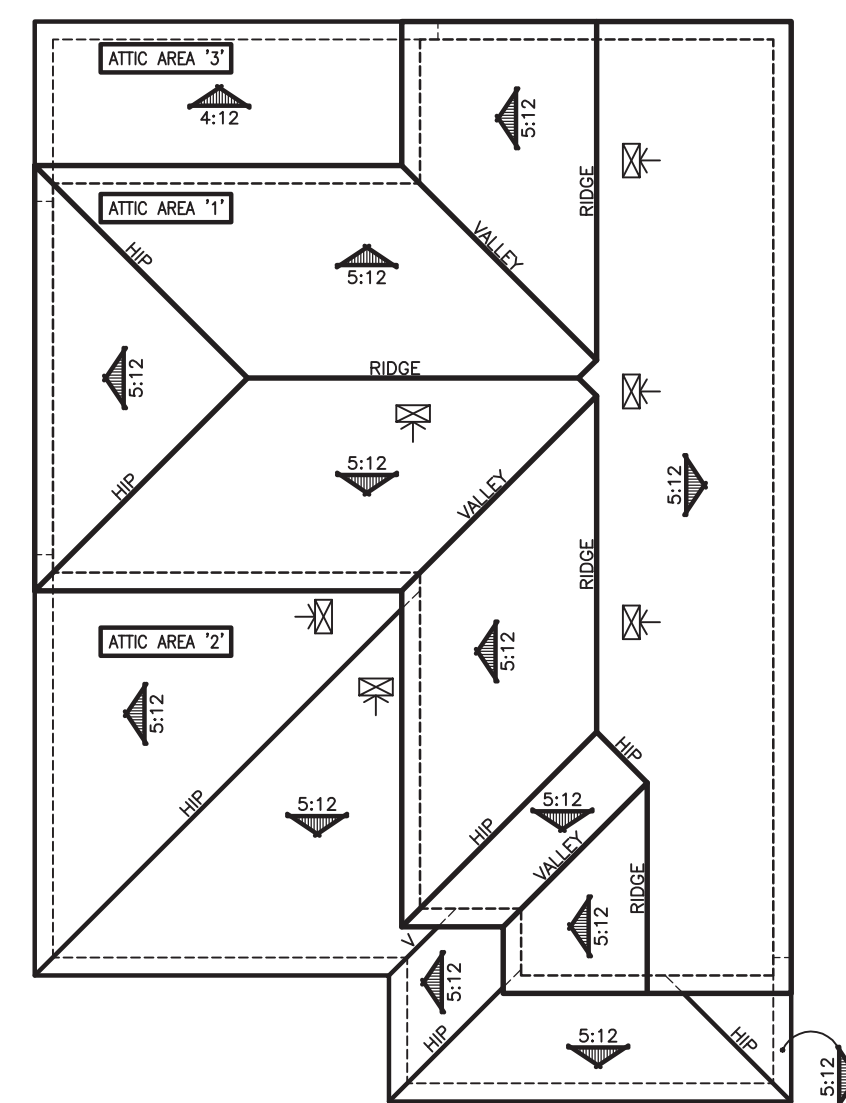
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



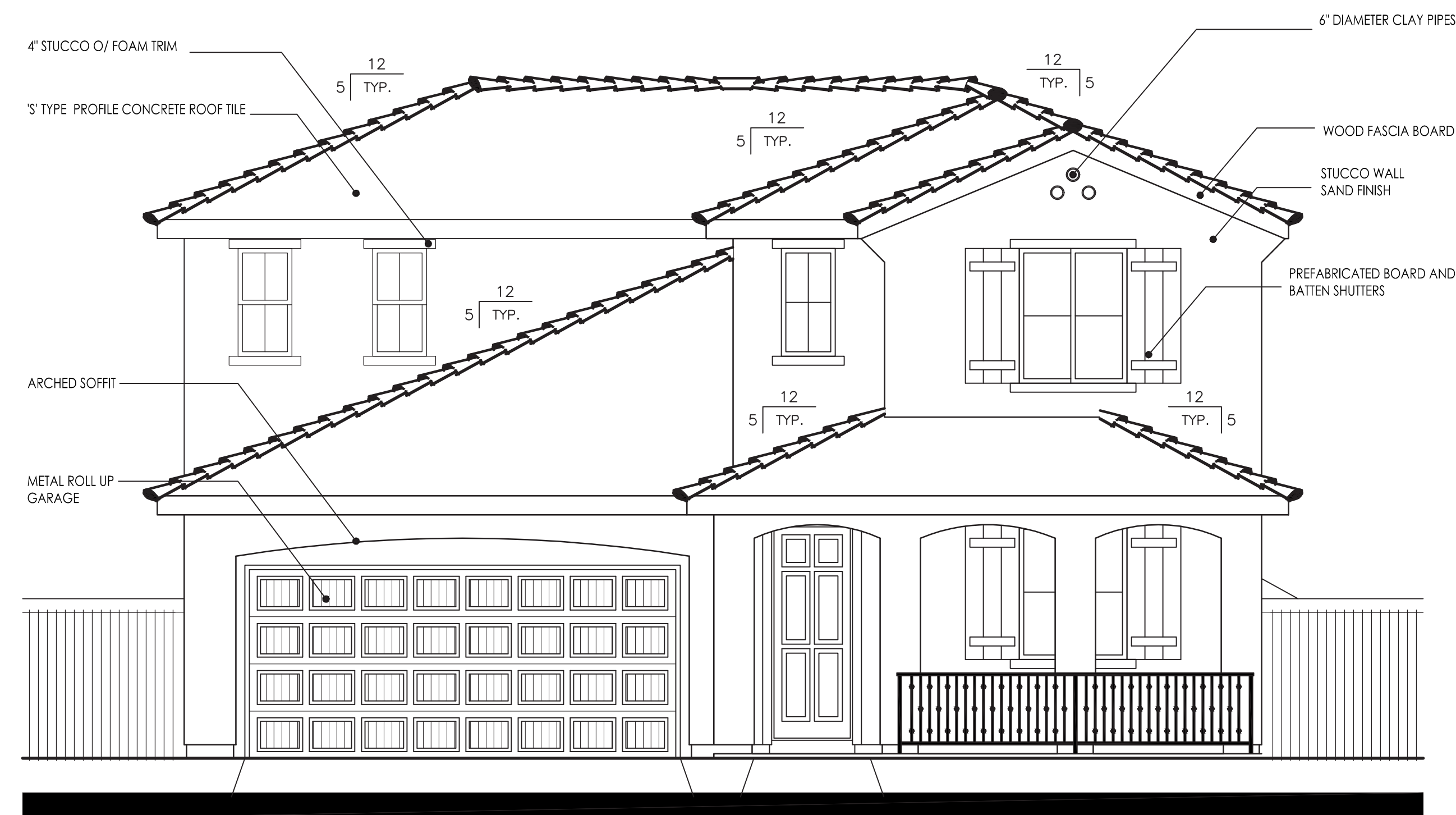
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

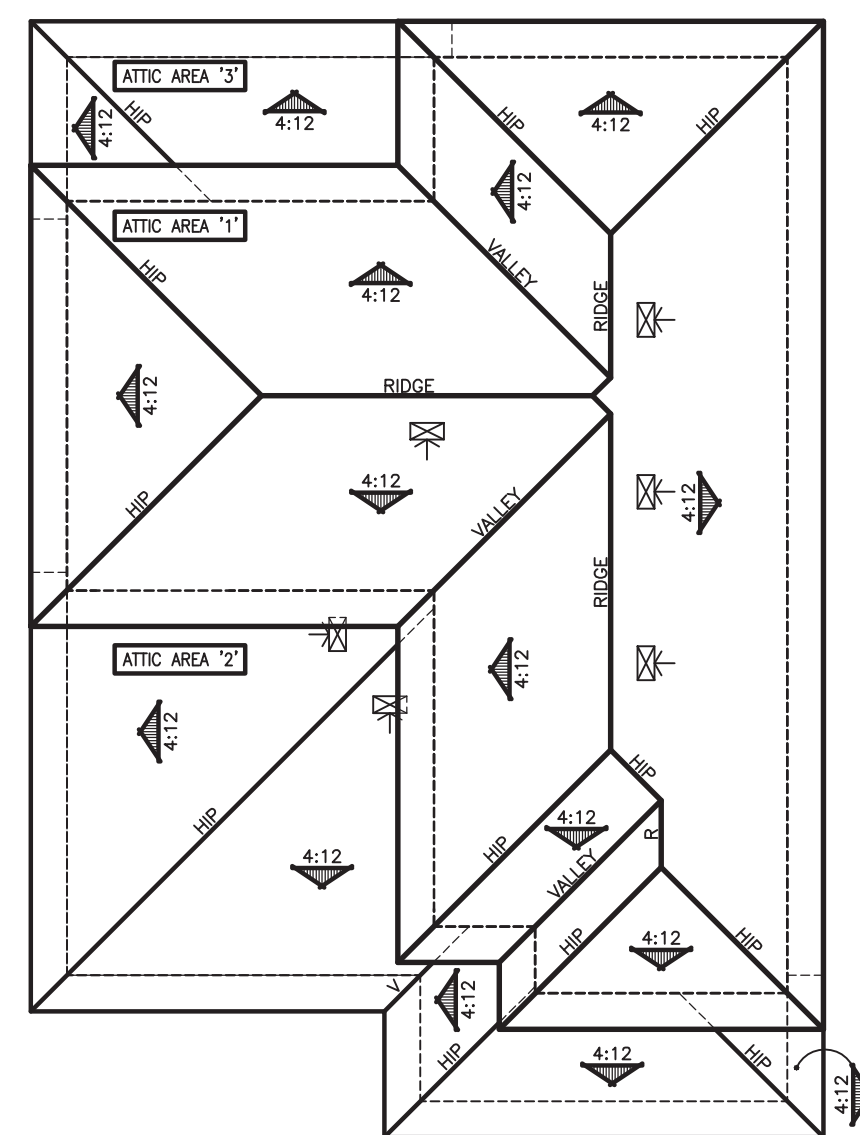
PLAN 2713 - SPANISH



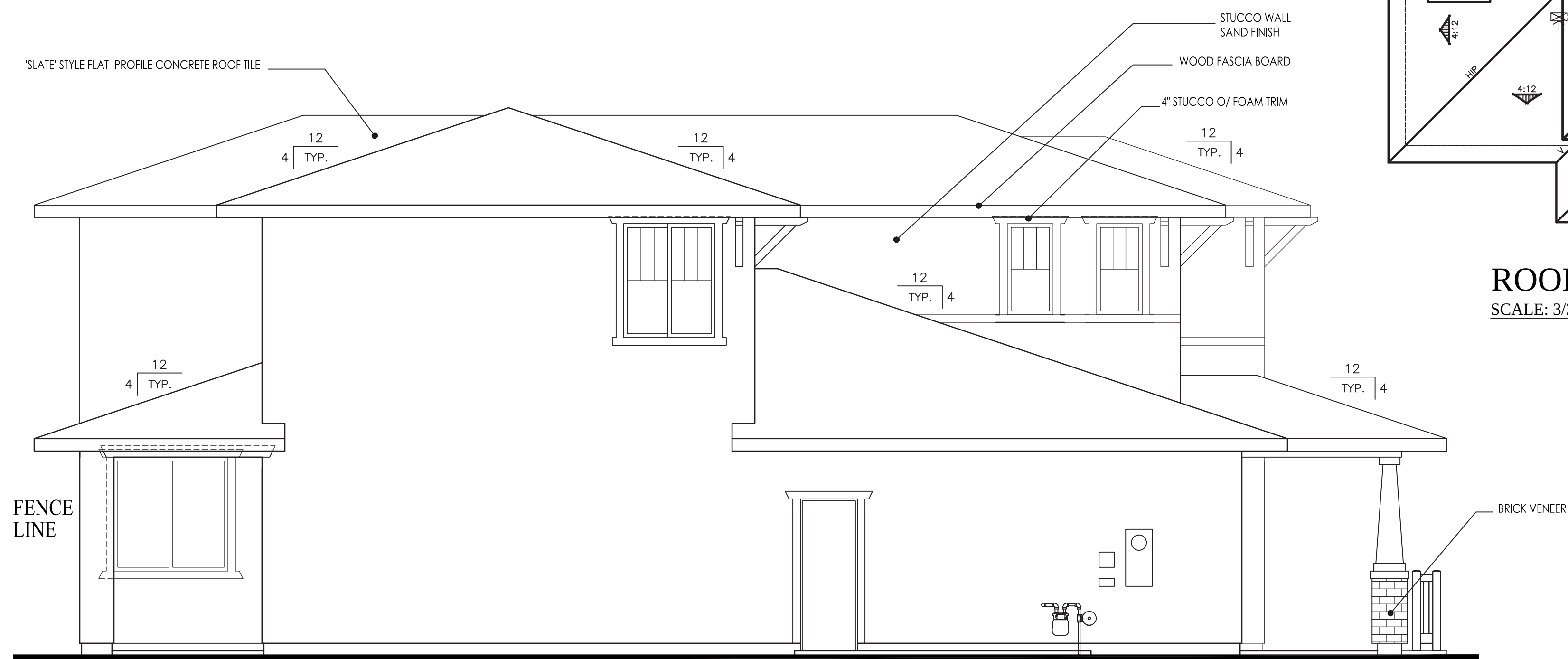
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



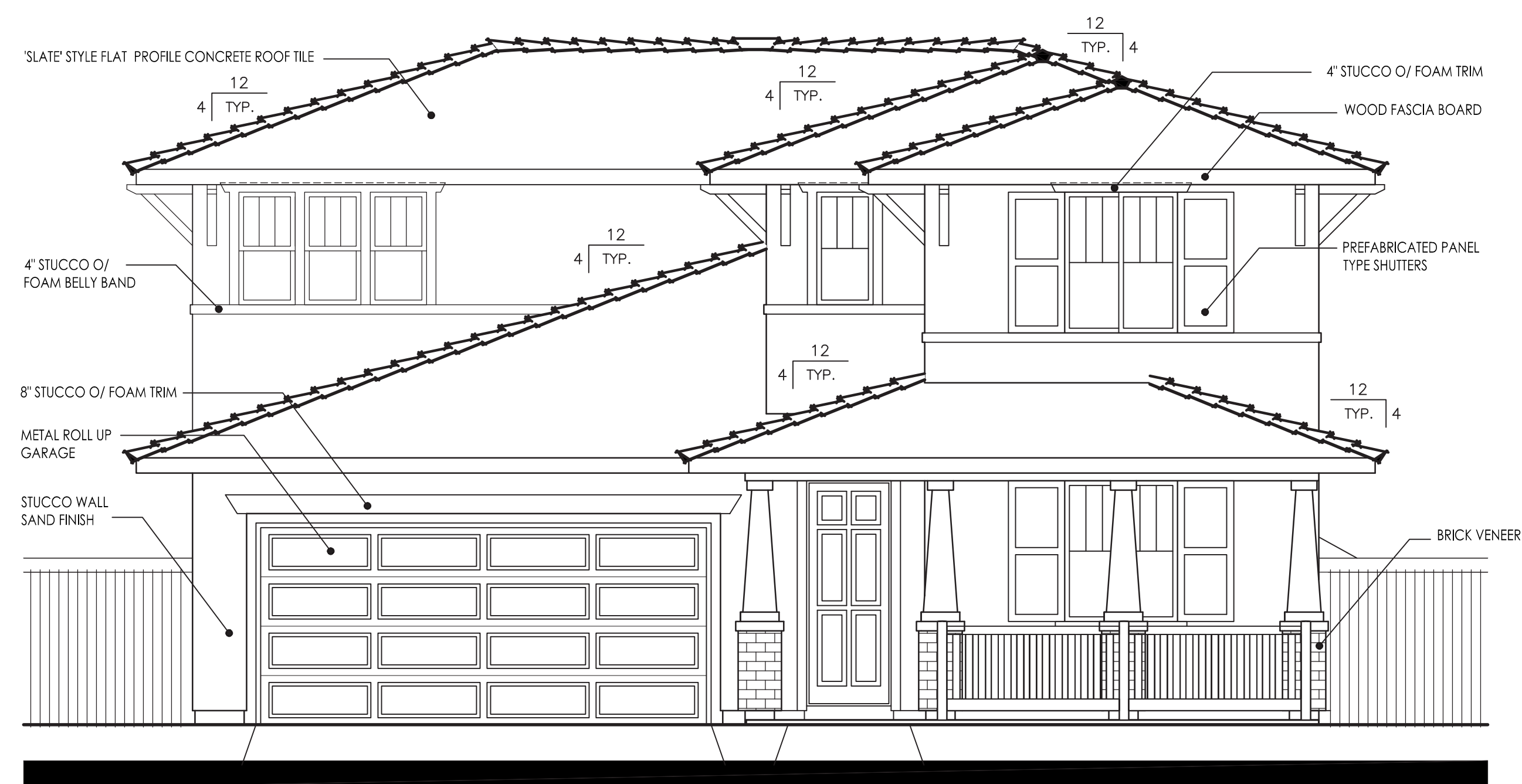
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

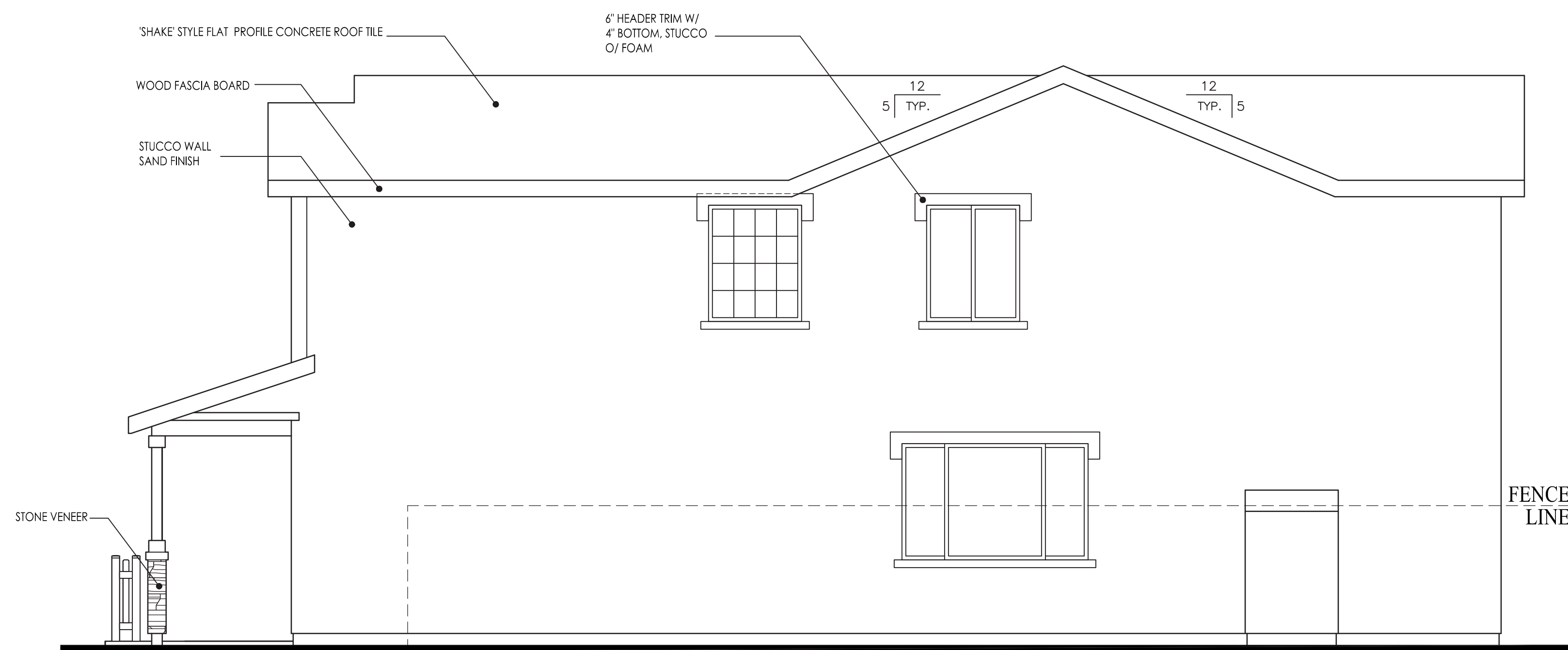


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

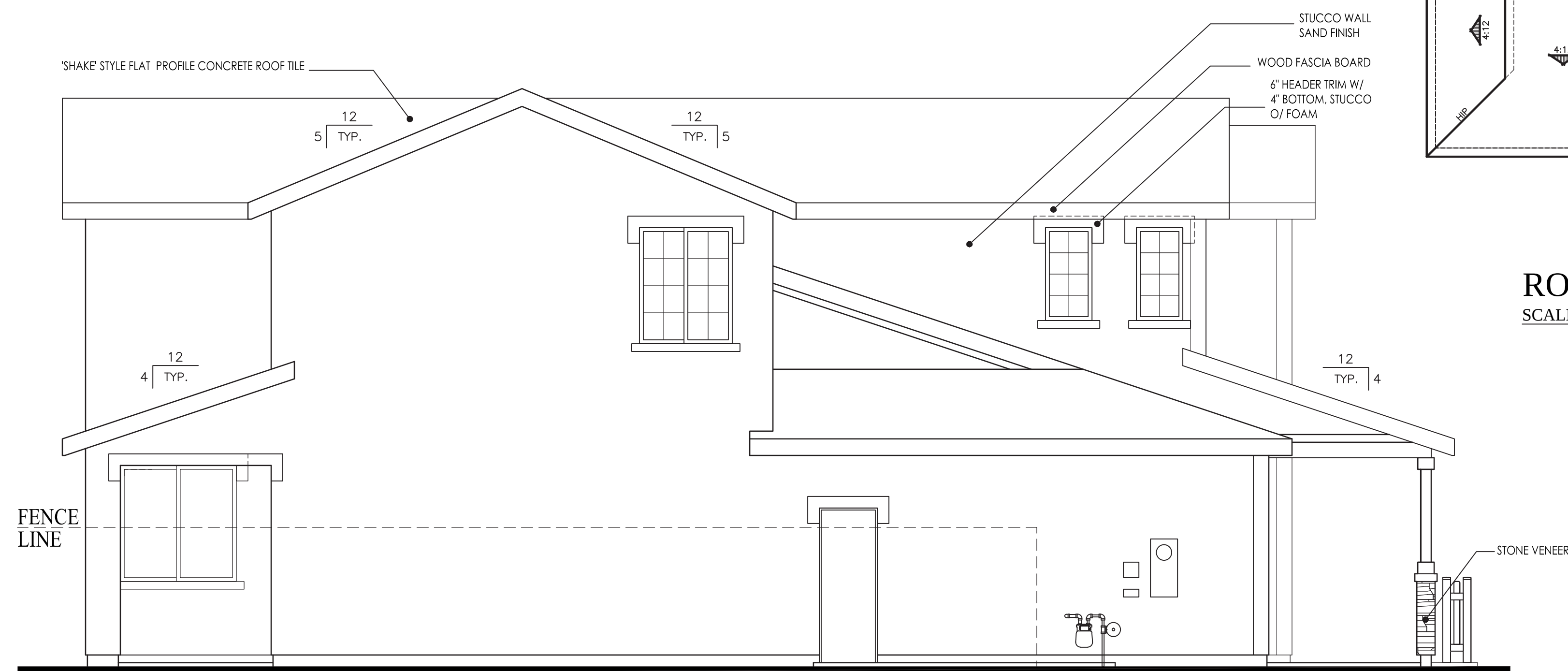
PLAN 2713 - PRAIRIE



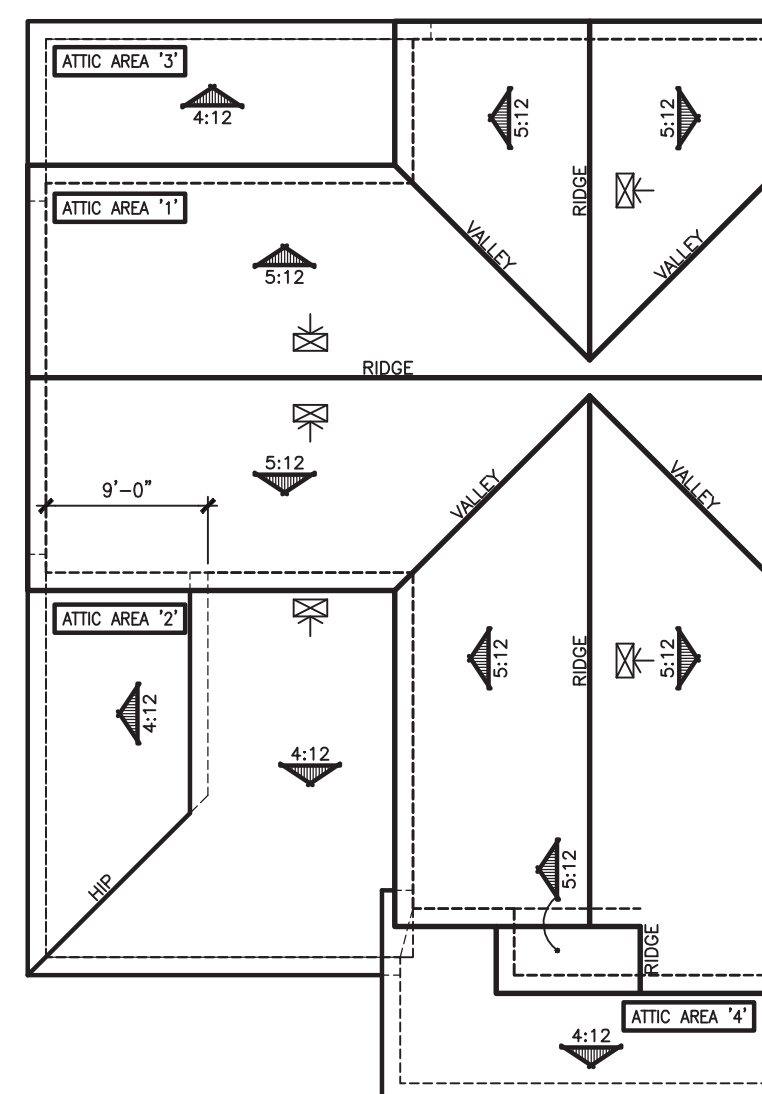
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

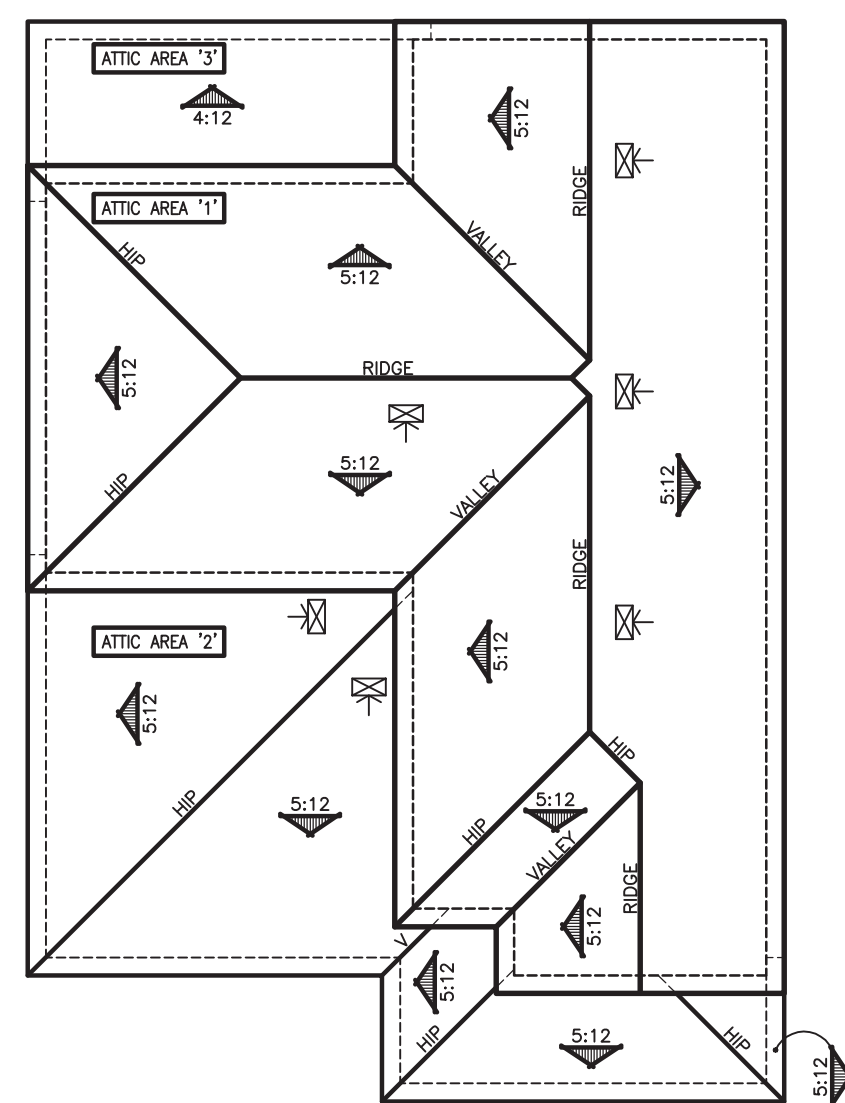
PLAN 2713 - TRADITIONAL



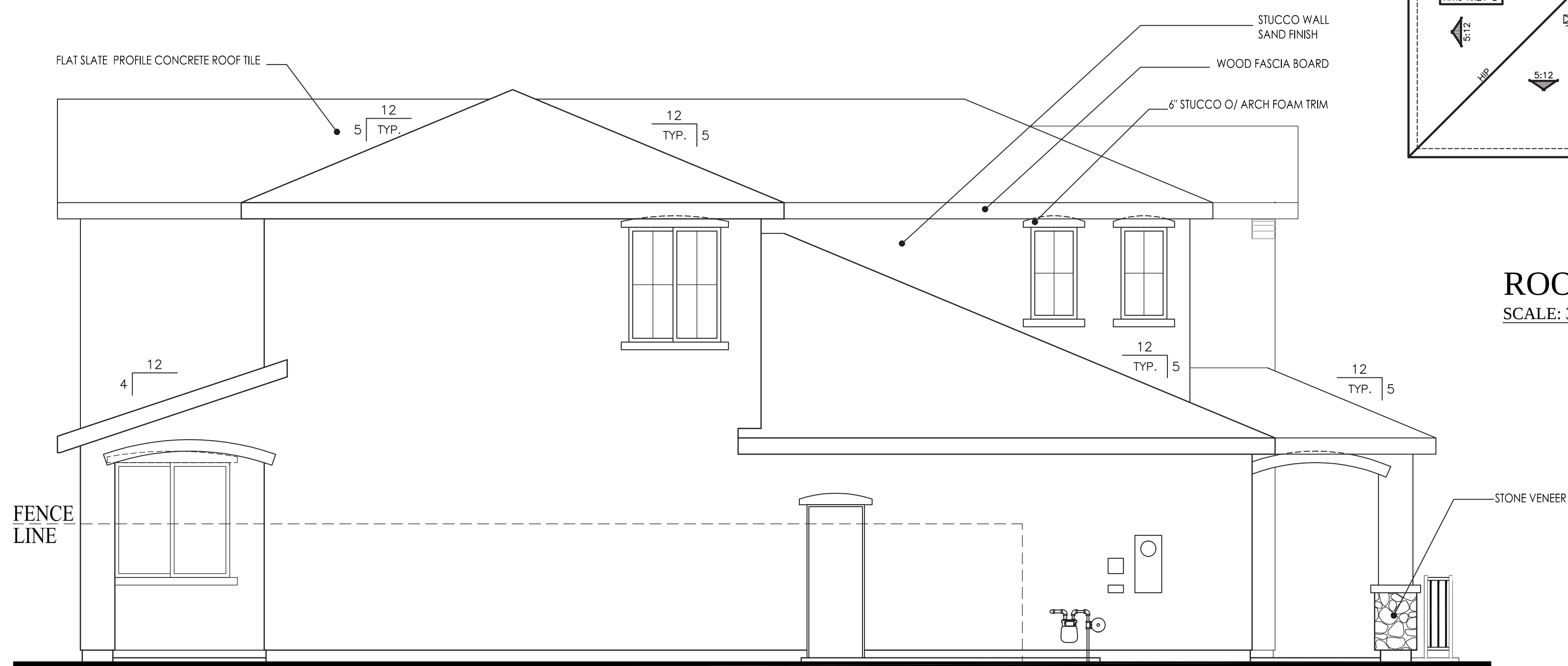
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



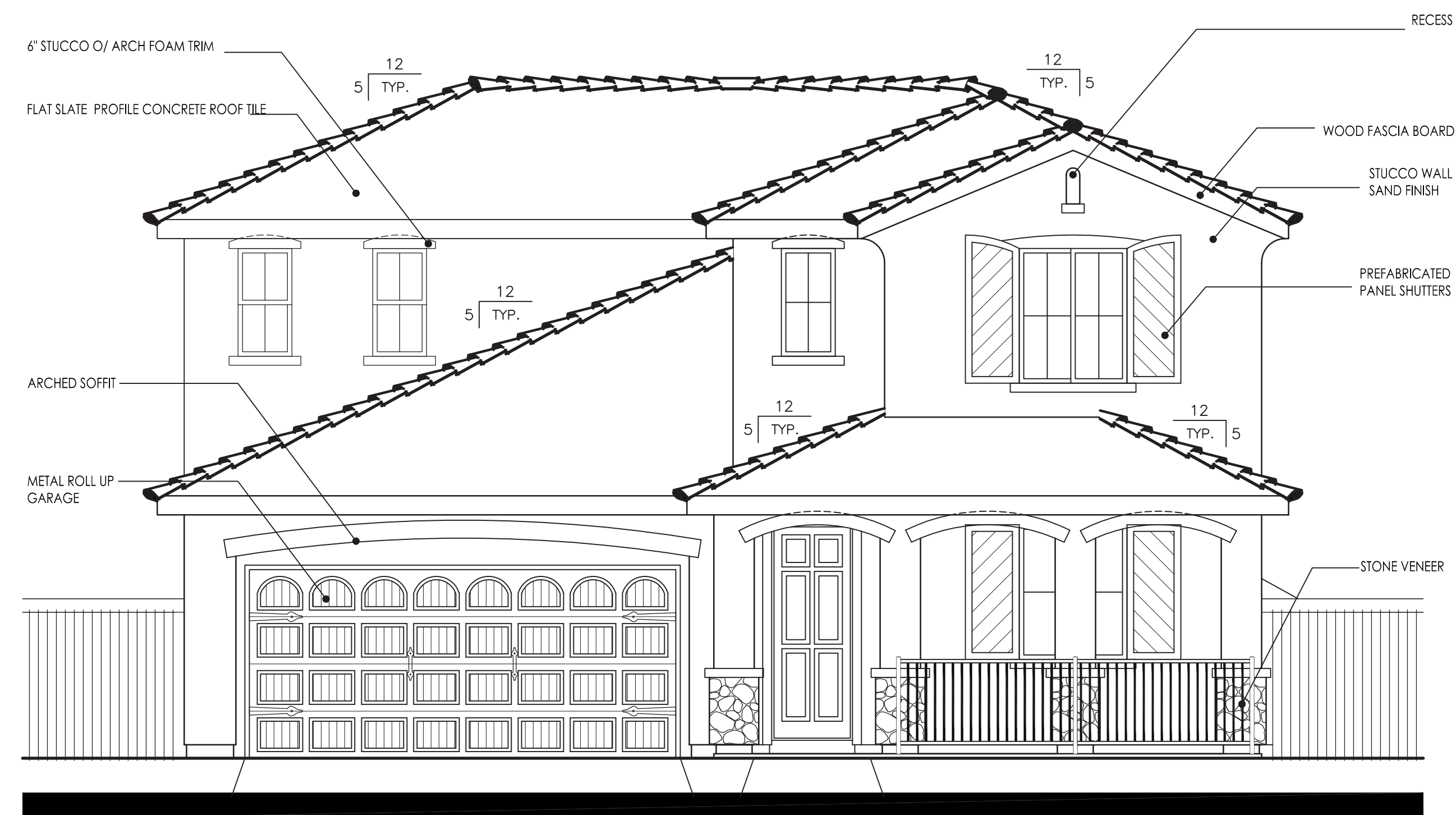
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2713 - FRENCH

SPANISH
SCHEME # 1

STUCCO PAINT BODY

FASCIA

TRIM / GARAGE

ACCENT

ROOF

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

CALWEST
CITY OF WOODLAND, CA

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SPANISH
SCHEME # 2

STUCCO PAINT BODY

FASCIA

TRIM / GARAGE

ACCENT

ROOF

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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SPANISH
SCHEME # 3

STUCCO PAINT BODY

FASCIA

TRIM / GARAGE

ACCENT

ROOF

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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SPANISH EXTERIOR- COLOR SCHEMES

PRAIRIE
SCHEME # 4

STUCCO PAINT BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

ACCENT

BRICK

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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PRAIRIE
SCHEME #5

STUCCO PAINT BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

ACCENT

BRICK

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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PRAIRIE
SCHEME #6

STUCCO PAINT BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

ACCENT

BRICK

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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PRAIRIE EXTERIOR- COLOR SCHEMES

TRADITIONAL

SCHEME # 7

STUCCO PAINT BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

GABLE SIDING

ACCENT

STONE

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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TRADITIONAL

SCHEME # 8

STUCCO PAINT BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

GABLE SIDING

ACCENT

STONE

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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TRADITIONAL

SCHEME # 9

STUCCO PAINT BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

GABLE SIDING

ACCENT

STONE

LENNAR®
Job #: 15048
Date: JANUARY 4, 2016

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TRADITIONAL EXTERIOR- COLOR SCHEMES

The Crossing at Spring Lake

WOODLAND, CA

LENNAR®

Kevin L. Crook

Architect

Inc

0

2

4

8

12

01/12/16

15048

A-36

STUCCO FAINT BODY

FASCIA / TRIM /
GARAGE DOOR

ACCENT

STONE

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CITY OF WOODLAND, CA

STUCCO PAINT BODY

FASCIA / TRIM / GARAGE DOOR

ACCENT

STONE

CALWEST
CITY OF WOODLAND, CA

STUCCO PAINT BODY

ROOF

FASCIA / TRIM /
GARAGE DOOR

ACCENT

STONE

CALWEST
CITY OF WOODLAND, CA

PLANT LIST MATRIX

General design intent shall be the creation of a pleasing mix of plant material as needed to maintain visual interest and a varied but somewhat cohesive streetscape throughout the community. See additional notes below.
See container size recommendations in each section below.
Plant density MINIMUM shall be 1 plant per each 16 square feet of planter area.

STREET TREES: PLAN SYMBOL = (ST) – SIZE PER OTHERS

Street Tree plantings shall be per approved Improvement Plan Street Tree Plan by Cunningham Engineering. Street tree types and installation methods (staking, root barriers, etc.) shall be per Improvement Plans. Trees shown on these plans are conceptual only.

ACCENT TREES: PLAN SYMBOL = (A) – ALL 15 GALLON SIZE

Installer shall select trees from the following list and attempt to group like trees together per plan. Vary trees from group to group throughout community.

Hibiscus syriacus – patio tree Rose of Sharon patio tree
Lagerstroemia 'Dynamite' – Standard Compact Crape Myrtle tree

FOUNDATION SHRUBS: PLAN SYMBOL = (F) ALL 5 GALLON SIZE

Installer shall select from the following list and attempt to vary plant groupings somewhat within each lot.
Base selection on planting space provided in each planter area and for desired design intent. For shrubs shown on corner side yards, do not mix varieties within each lot.

Ligustrum texanum Texas privet
Viburnum tinus 'Spring Bouquet' Laurus tinus
Xylocma congestum 'Compacta' Compact shiny xylocma

ACCENT SHRUBS: PLAN SYMBOL = (AS) – ALL 5 GALLON SIZE

Installer shall select accent shrubs from the following list. These plants may vary within each lot and between lots. Installer shall attempt to provide a wide variety of these shrubs with a more random distribution throughout community than other shrub groups listed here.

Lagerstroemia – Bush varieties Bush crape myrtle – all colors
Callistemon 'Little John' Dwarf bottlebrush
Olea 'Little Ollie' Bush olive
Lantana 'Radiation' Bush lantana
Perovskia 'Blue Spire' Russian sage

LAYERING SHRUBS (LARGE): PLAN SYMBOL = (L1) - ALL 5 GALLON SIZE

Installer shall select from the following list for use as a lower foundation shrub. These should be selected with logical groupings in mind as shown on plan. Plant types may vary within each lot but plant types should remain consistent within each grouping. For side yard shrubs, do not mix varieties within each lot.

Westringa frutescens Coast rosemary
Hypericum moserianum Gold flower
Rosmarinus 'Tuscan Blue' upright rosemary
Cistus hybridus White rockrose

LAYERING SHRUBS (SMALL): PLAN SYMBOL = (L2) – ALL 5 GALLON SIZE

Installer shall select from the following list for use as a lower layer in front of taller layering shrubs above. These should be selected with logical groupings in mind as shown on plan. Plant types may vary within each lot but plant types should remain consistent within each grouping. For side yard shrubs, do not mix varieties within each lot.

Nandina dom. 'Nana' Dwarf heavenly bamboo
Rosa 'Drift' varieties Drift rose (assorted colors)
Spiraea 'Limemound' Limemound spiraea
Lantana – trailing white or lavender Trailing lantana

LAYERING SHRUBS (ACCENT): PLAN SYMBOL = (L3) – ALL 5 GALLON SIZE

Installer shall select from the following list for use as a lower layer in front of taller layering shrubs above. These should be selected with logical groupings in mind as shown on plan. Plant types may vary within each lot but plant types should remain consistent within each grouping. For side yard shrubs, do not mix varieties within each lot.

Nepeta 'Walker's Low' Catmint
Dianella 'Cassa Blue' (3 gal) Flax lily
Pennisetum 'Little Bunny' Dwarf fountain grass
Rosemary o. 'Prostratus' Creeping rosemary

GROUNDCOVER: PLAN SYMBOL = (HATCH LINES) – ALL 1 GALL. SIZE

General spacing shall be 24" on center for groundcover shrubs.

Myoporum parvifolium 'Putah Creek' Creeping myoporum

CURBSIDE PLANTER PALLETTE: SEE CURBSIDE PLANTER INSET

Installer shall place shrubs and groundcover approximately per plans, paying special attention to lines of sight for driveway approaches (do not place shrubs within 8 feet of driveway aprons).
Street trees to be installed per approved Street Tree Plan.

PRIMARY GROUNDCOVER (HATCH SYMBOL) – ALL 1 GAL. SIZE

Gazania 'Mitsuwa Trailing Yellow' Trailing gazania(18" O.C.)

LARGER ACCENT SHRUBS (A1) – ALL 5 GAL. SIZE

Dianella 'Becca' Flax lily
Coprosma 'Rainbow Sunrise' Upright mirror plant
Lantana 'Radiation' Bush lantana

MEDIUM ACCENT SHRUBS (A2) – ALL 1 GAL. SIZE

Nepeta 'Walker's Low' Catmint

PROSTRATE ACCENT SHRUBS (A3) – ALL 1 GAL. SIZE

Verbena 'Temari Red' Red verbena

GENERAL IRRIGATION AND DRAINAGE NOTES:

IRRIGATION:

- Systems are based on a static water pressure of 40 P.S.I. at point of connection. Point of connection is based on 15 gallons per minute max. flow rate at P.O.C. stubbed out at house wall by builder.
- All shrub and groundcover areas shall be drip irrigated.
- All main pressure lines under paving surfaces shall be placed in schedule 40 PVC sleeves (verify sleeve locations on site).

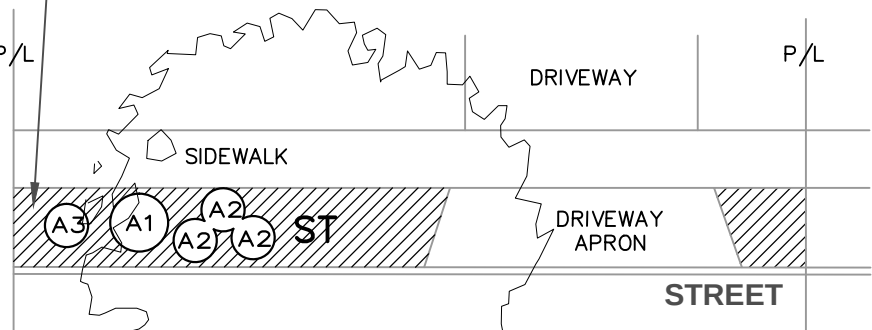
DRAINAGE:

- All areas that cannot be surfaced drained shall be drained using 3" PVC solid drain lines, fittings, inlets, etc. Any areas retaining standing water for more than 2 hours shall be corrected.
- All roof downspouts within property shall be connected to underground drainage system (not shown on plans). This includes all front and rear yard roof downspouts.
- Installer shall place catch basins and / or inlets in appropriate locations throughout each property as needed to minimize standing water (coordinate with homebuilder on site regarding finish grading by others). See standing water condition in note #1 above.
- Installer shall be responsible for providing proper surface drainage throughout site, and in addition, providing proper clearances per local codes and ordinances at house foundation locations.

NOTE:
TREE PLANTING METHODS / STAKING IN CURBSIDE PLANTER STRIPS SHALL BE APPROVED BY CITY OR WOODLAND

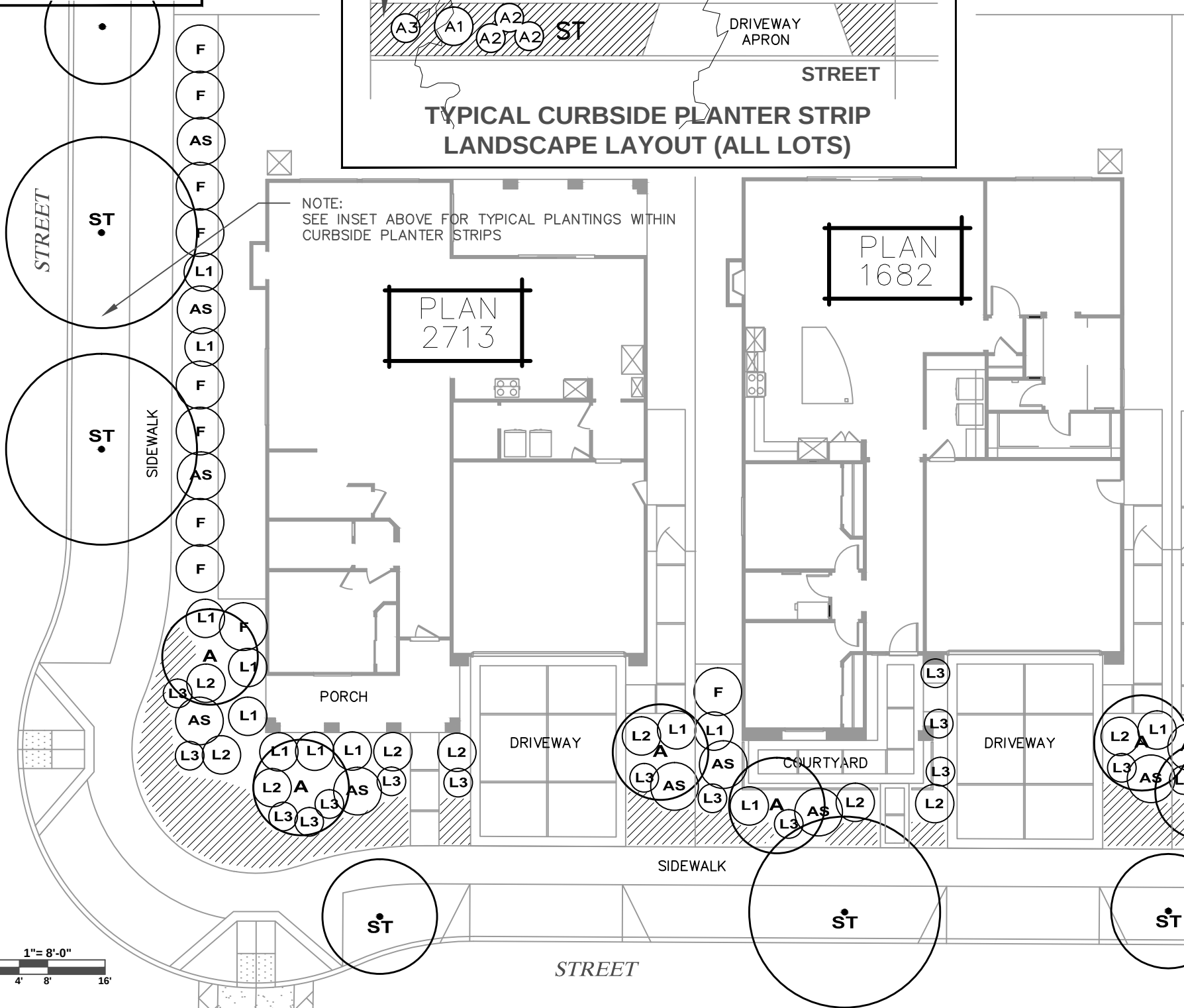
NOTE:
WHERE CURBSIDE PLANTER STRIP DOES NOT EXIST, PLACE STREET TREES AT 4'-0" BEHIND BACK OF SIDEWALK

1"= 8'-0"
0 4' 8' 16'



TYPICAL CURBSIDE PLANTER STRIP LANDSCAPE LAYOUT (ALL LOTS)

NOTE:
SEE INSET ABOVE FOR TYPICAL PLANTINGS WITHIN CURBSIDE PLANTER STRIPS



1"= 8'-0"
0 4' 8' 16'



THE CROSSING @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA
LENNAR
1420 ROCKY RIDGE DR. - #320 / ROSEVILLE, CA



Sym.	Revision	Date
Δ	CITY COMMENTS	11-14-16

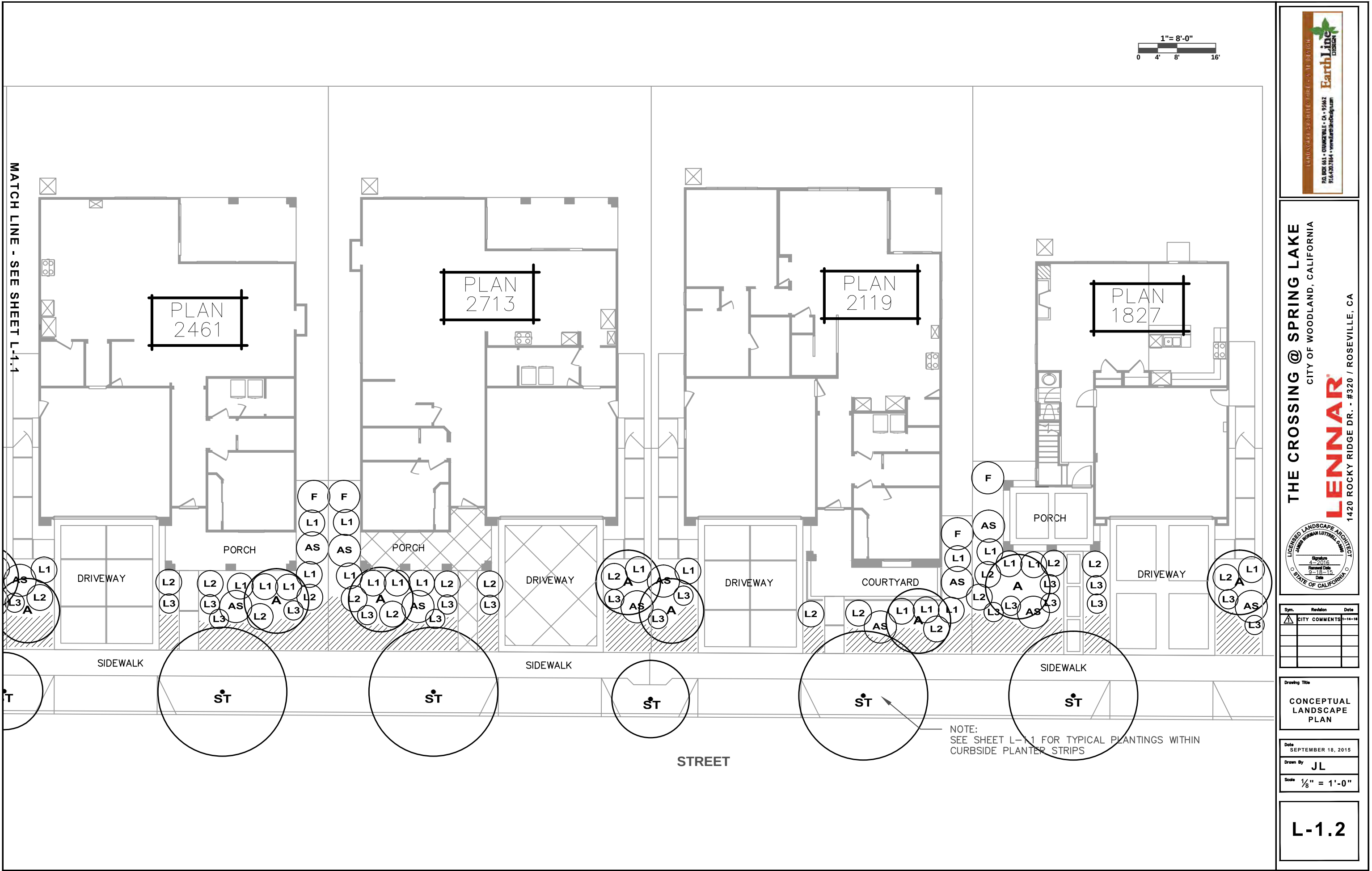
Drawing Title
**CONCEPTUAL
LANDSCAPE
PLAN**

Date
SEPTEMBER 18, 2015

Drawn By
JL

Scale
1/8" = 1'-0"

L-1.1



1" = 8'-0"
0 4' 8' 16'

MATCH LINE - SEE SHEET L-1.1

PLAN 2461

PLAN 2713

PLAN 2119

PLAN 1827

PORCH

PORCH

PORCH

COURTYARD

DRIVEWAY

DRIVEWAY

DRIVEWAY

DRIVEWAY

SIDEWALK

SIDEWALK

SIDEWALK

STREET

NOTE:
SEE SHEET L-1.1 FOR TYPICAL PLANTINGS WITHIN
CURBSIDE PLANTER STRIPS



THE CROSSING @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA
LENNAR
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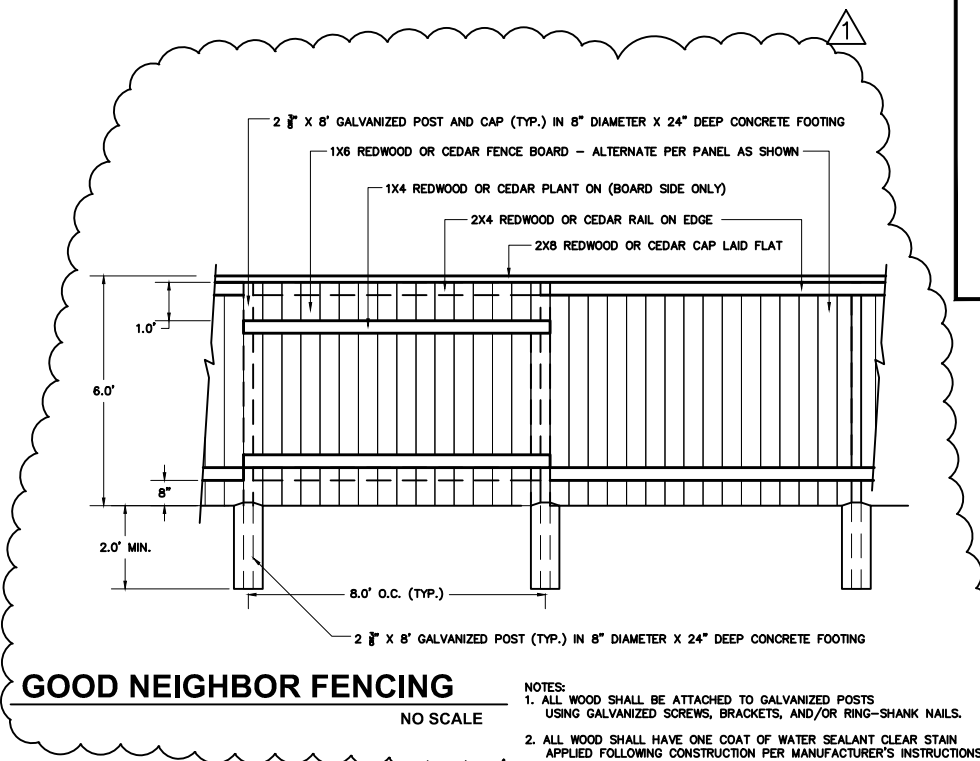


Sym.	Revision	Date
Δ	CITY COMMENTS	11-14-16

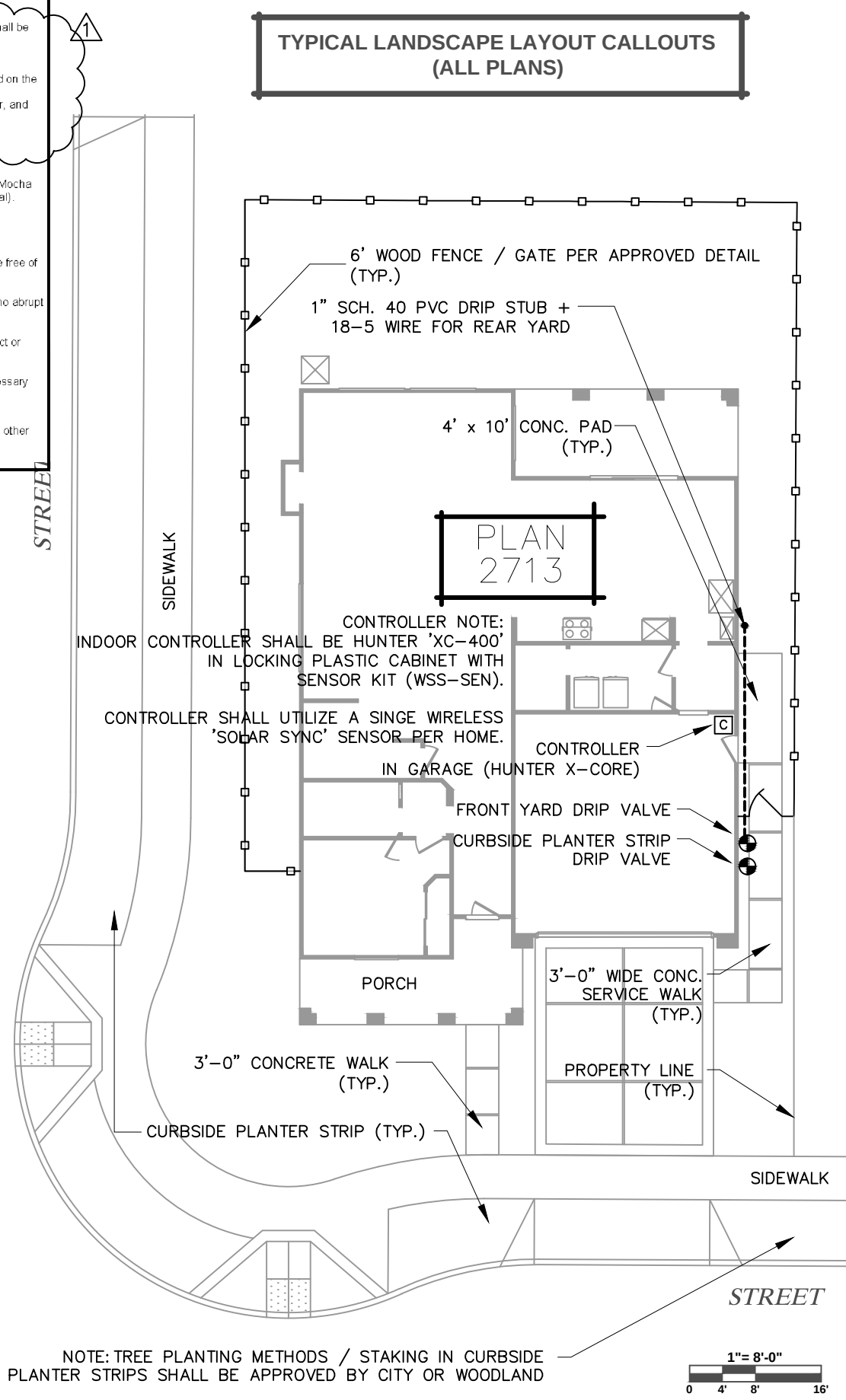
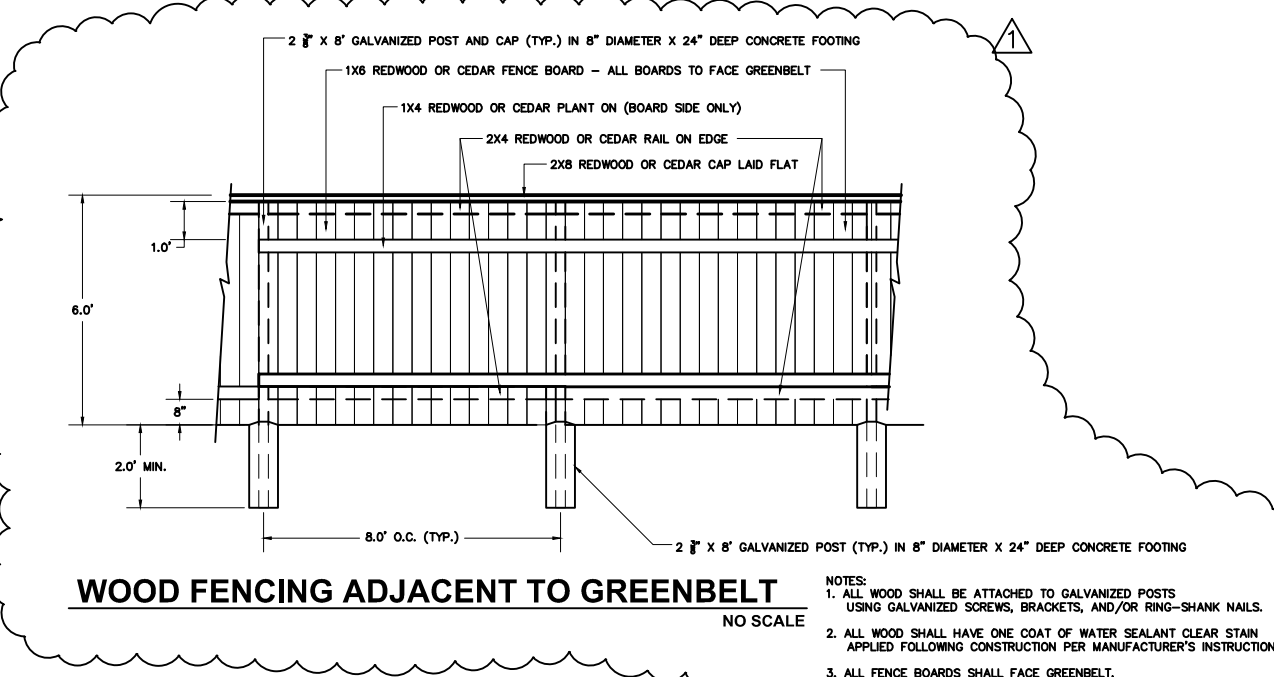
Drawing Title
**CONCEPTUAL
LANDSCAPE
PLAN**

Date
SEPTEMBER 18, 2015
Drawn By
JL
Scale
1/8" = 1'-0"

L-1.2



- GENERAL INSTALLATION NOTES**
- Prior to construction, final landscape plans shall be prepared by a licensed landscape architect and shall be certified in accordance with State water conservation requirements. Landscape Plans shall specify:
 - Planting and installation details and notes including soil amendments.
 - Existing trees on site shall be identified. Trees planned for removal or relocation shall be marked on the plans, methodology to preserve trees in place provided on plans.
 - Details of all irrigation (drip, sprinkler, bubbler) as well as equipment such as backflow, controller, and water meter devices identified.
 - For street tree selections and locations, see Landscape Plans and Street Tree Plans by Cunningham Engineering Corporation.
 - All shrub and groundcover areas shall receive a 2" minimum layer of bark topdressing. Bark shall be 'Mocha Chips' as available at Hastie's Sand & Gravel / Sacramento, CA (or equal - submit sample for approval).
 - Installer shall apply a pre-emergent herbicide to all shrub and groundcover areas per manufacturer's instructions.
 - For all tree planting installations, installer shall leave a 24" diameter area around the base of each tree free of any vegetation (including lawn). Bark topdressing may be applied in this area.
 - Installer shall make every effort to maintain smooth and even grades throughout contract areas, with no abrupt changes in grade where possible.
 - All plant material shall be of acceptable nursery quality. Landscape Architect reserves the right to reject or substitute unacceptable plant material.
 - Installer shall make adjustments to plant types and locations as needed if site conditions warrant necessary changes (planter size, sun exposure, etc.)
 - All trees (street trees and accent trees) shall be planted no closer than 60" to any water meter box. All other plant material shall be planted no closer than 30" to any water meter box. Distance measurements are from 'centerline to centerline' of meter box to tree / shrub trunk.



LANDSCAPE ARCHITECTURE - CIVIL DESIGN
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THE CROSSING @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA

LENNAR
1420 ROCKY RIDGE DR. - #320 / ROSEVILLE, CA

REGISTERED LANDSCAPE ARCHITECT
JAMES NORMAN LUTTRELL, C.A.S.
Signature: [Signature]
Date: 4-2016
Expiration Date: 9-18-18
State of CALIFORNIA

Sym.	Revision	Date
1	CITY COMMENTS	11-14-16

Drawing Title

CONCEPTUAL LAYOUT SCHEMATIC

Date

SEPTEMBER 18, 2015

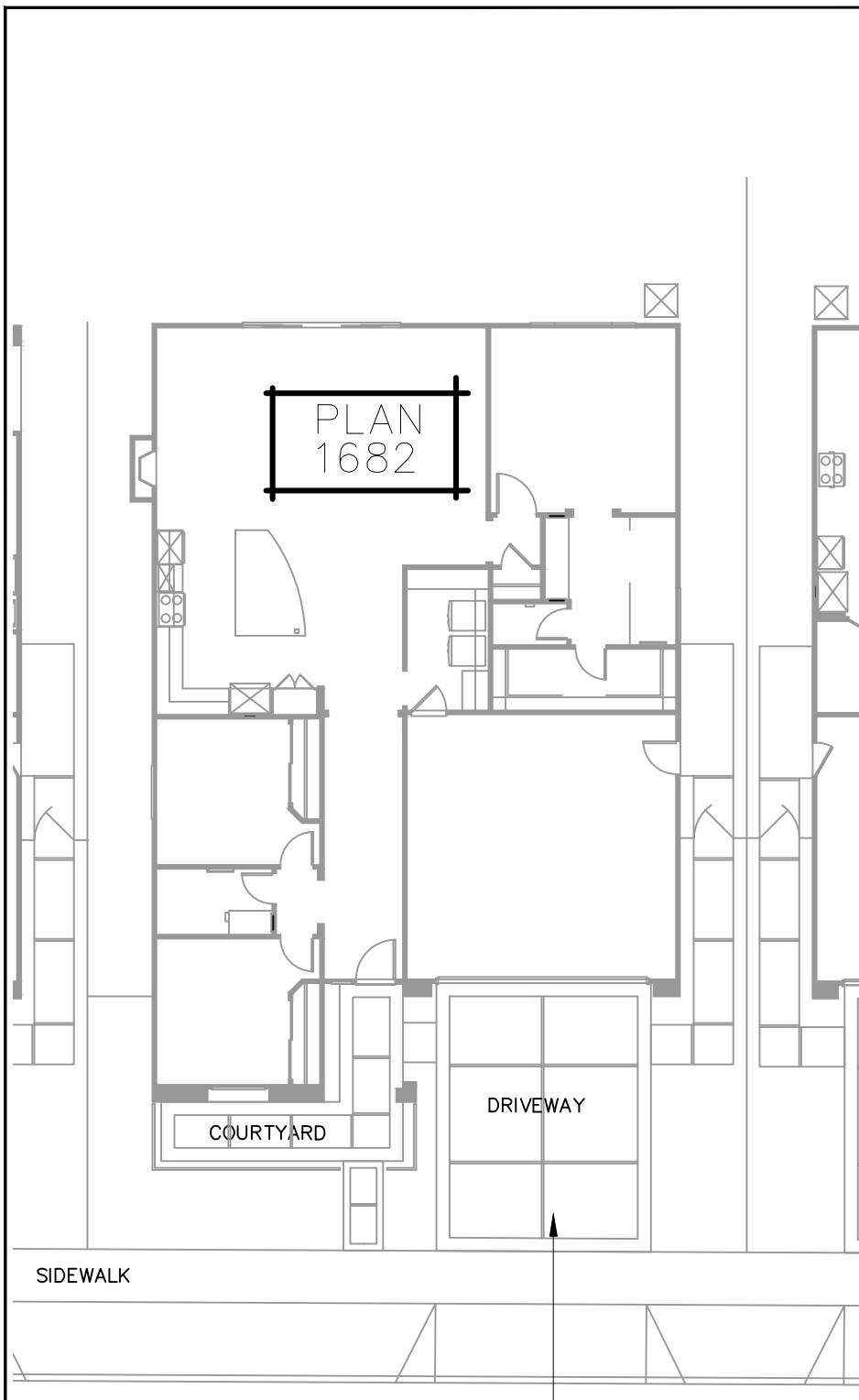
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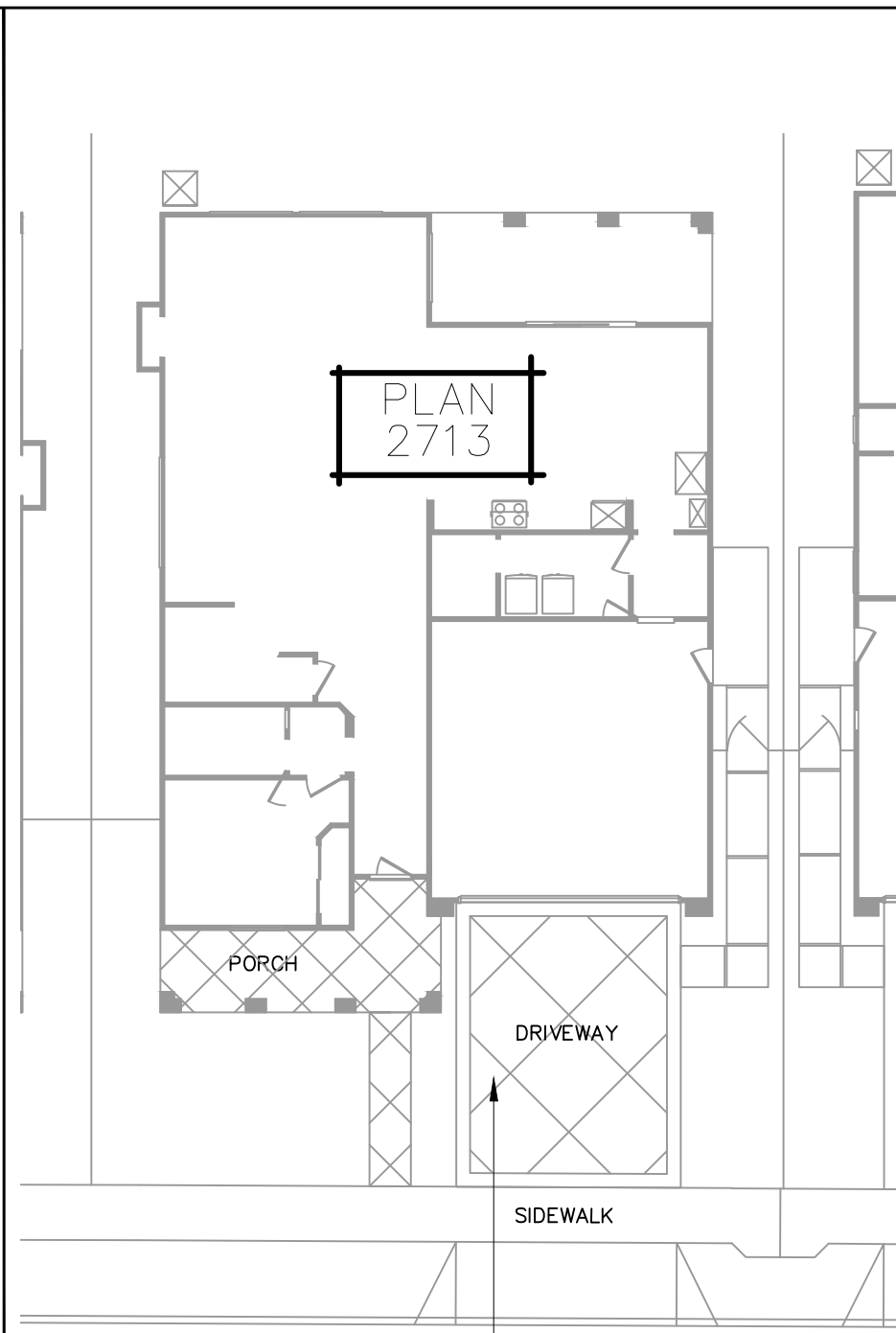
1/8" = 1'-0"

L-2.1



TYPICAL PLAN 1682 CONCRETE SPECIFICATIONS:

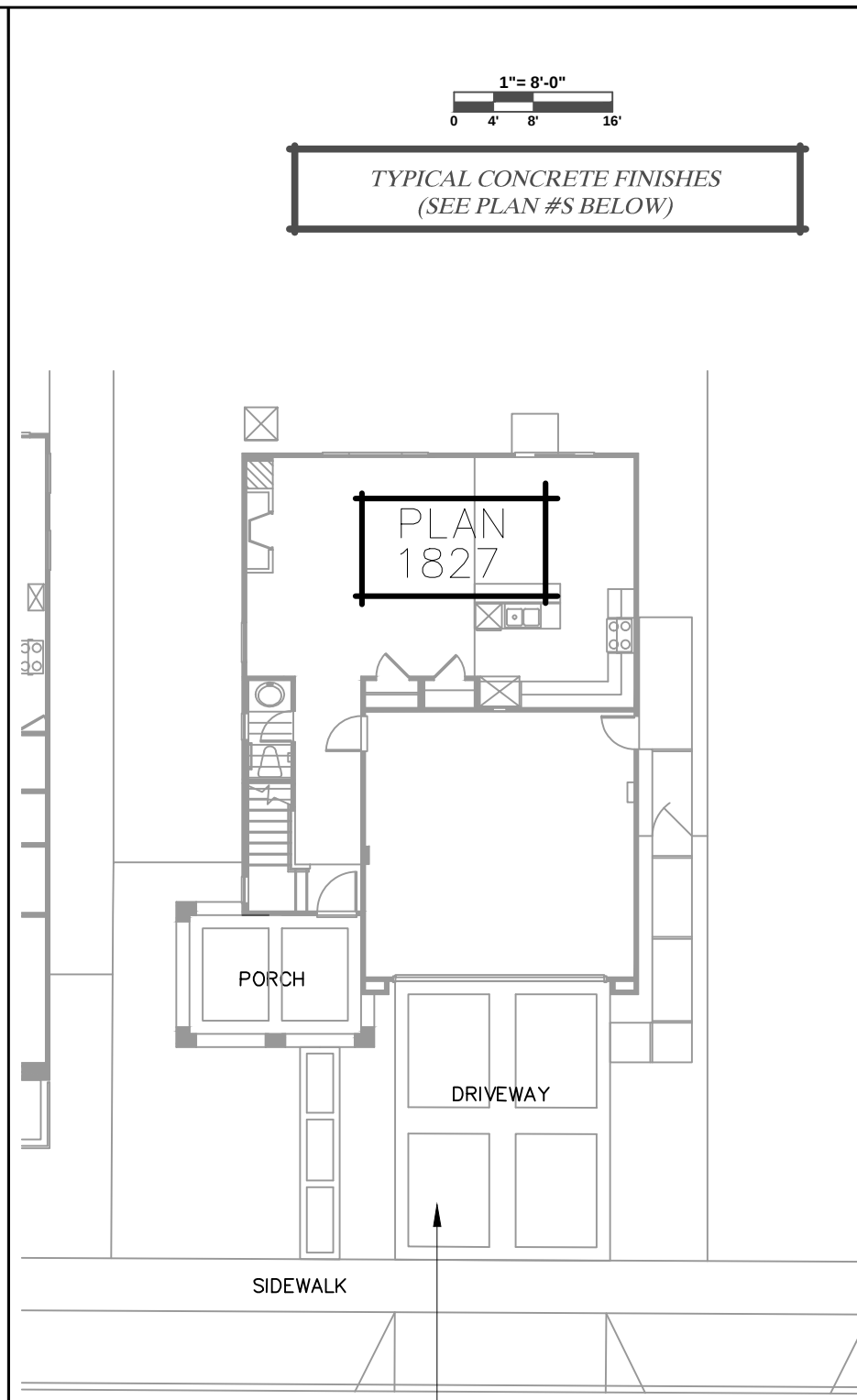
- DRIVEWAY / COURTYARD TO HAVE LIGHT ROCK SALT FINISH FIELD AREAS WITH 12" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN
- ENTRY WALKWAY TO HAVE MATCHING SALT FINISH FIELD AREAS WITH 6" WIDE LIGHT BROOM FINISH PERIMETER BANDS



TYPICAL PLANS 2461 & 2713 CONCRETE SPECIFICATIONS:
(PLAN 2713 SHOWN)

- DRIVEWAY TO HAVE BROOM FINISH FIELD AREAS WITH +/- 6" WIDE DIAGONAL SCORING - 12" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN (NO DIAGONALS EXCEPT AS NEEDED FOR CONTROL JOINTS)
- ENTRY WALKWAY TO BE LIGHT BROOM FINISH WITH +/- 3" WIDE DIAGONAL SCORING (NO PERIMETER BANDS)

STR



TYPICAL PLANS 1827 & 2119 CONCRETE SPECIFICATIONS:
(PLAN 1827 SHOWN)

- DRIVEWAY / PORCH TO HAVE LIGHT BROOM FINISH FIELD AREAS WITH 12" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN
- ADD 24" WIDE CENTER BANDS IN DRIVEWAY AS SHOWN
- ENTRY WALKWAY TO HAVE MATCHING LIGHT BROOM FINISH FIELD AREAS WITH 6" WIDE LIGHT BROOM FINISH PERIMETER BANDS AS SHOWN

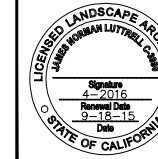
1"= 8'-0"

TYPICAL CONCRETE FINISHES
(SEE PLAN #S BELOW)



THE CROSSING @ SPRING LAKE
CITY OF WOODLAND, CALIFORNIA

LENNAR
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Sym.	Revision	Date
Δ	CITY COMMENTS	11-14-16

Drawing Title

CONCRETE FINISHES

Date
SEPTEMBER 18, 2015

Drawn By
JL

Scale
1/8" = 1'-0"

L-3.1



Bright Thinking in Solar

Component Specifications

- 6105-T5 aluminum extrusion
- SolarMount® rails
- Mounting clips and clamps
- Tilt legs and L-feet
- Two-piece standoffs

Severe Condition 4 (very severe)
zinc-plated welded steel

- One-piece standoffs

16-8 stainless steel

- Fasteners

Code Compliant

The SolarMount® system is PE certified. Call Unirac for documentation applicable to your building code.

Warranty

SolarMount® is covered by a 10-year limited product warranty and a 5-year limited finish warranty.

For complete warranties, download any SolarMount® installation manual from our web site.



UNIRAC®
A HILTI GROUP COMPANY



MDX
Paper from
recycled sources
FSC® C016324

Visit us online at www.unirac.com

Step 4: Insert the lag bolt through the components in the order shown in the illustration.



1. Lag Bolt (Installer Provided)
2. EPDM Washer
3. L-Foot (or other rail attachment piece)
4. Square Aluminum Piece (concave side down)

SolaDeck Installation Instructions

1. Determine the location for the SolaDeck on the roof surface.
2. Use the template from the SolaDeck Carton and position it 1/2" below the shingle line. Trace the outline on the roof (Fig. 1).
3. Use a pry bar to loosen the shingles and remove any nails that will interfere with the flashing sliding beneath the shingles (Fig. 2).
4. Cut the roofing material to the template shape.
5. Inside of the base there are three knockout sizes. Remove the one (s) needed for the conduit fitting (s).
6. Slide the SolaDeck with flashing beneath the shingles into place and trace the knockout hole (s) (Fig. 3).
7. Drill out the traced knockout hole (s) 1/3 larger than the knockout.
8. Slide the SolaDeck base back into place and fasten it to the roof deck with the 1" truss head screws provided. (Fig 4).
9. Use a quality roof sealant to seal the shingles to the SolaDeck flashing.
10. With the base installed, you have several options to wire the SolaDeck enclosure. Use either the sump built into the base or the predetermined centering dimples to knock out a hole for the fitting or conduit size you choose.
 - Dimples at the corners of the base allow for 1/2" or 3/4" fittings.
 - Dimples below the sump allow for 1/2" fittings.
 - These dimple positions accept conduit, liquid tight or strain relief fittings.
11. Peel off the tape on the foam Gasket and position it on the inside of the cover where it will contact the base sump.
12. When connections are complete, finish by fastening the cover to the base using the 8-32 screws with bonded seal washers provided.

*NOTE: Extra steel studs are provided for installing an isolated negative terminal or power distribution block



3

Requirements

- Use **minimum 75 C copper**
- Use only code approved, appropriately listed fuse holders and Fuses

Maximum Fuse Rating	30 AMP, 600 Volt
Total Maximum Current Rating	0783-41 / 0786-41 120 AMPS DC
Maximum Fuse Short Circuit Current	10ka
Fuse Holder Torque	13.6 in lb Flat or Phillips Head Driver
Din Rail Mounted Terminal Block Torque	9 - 14 in lb Flat Head Driver

Torque Data* for Box Lug

Wire Size		Torque	
AWG	mm2	in lbs	Nm
14-10	2.1-5.3	35	4
8	8.4	40	4.5
6-4	13.3-21.2	45	5.1
2	13.3-21.2	50	5.7

Torque Data* for Negative Power Distribution Block

Wire Size		Torque	
AWG	mm2	Screw Driver	External Drive Wrench
		in lbs	Nm
14-10	2.1-5.3	35	4
8	8.4	40	4.5
6-4	13.3-21.2	45	5.1
Main 2/0-14	13.3-21.2	0	5.7

Torque Data* for Ground Lug

Wire Size		Torque	
AWG	mm2	in lbs	Nm
14-10	2.1-5.3	35	4
8	8.4	40	4.5
6-4	13.3-21.2	45	5.1
2-2/0	13.3-21.2	50	5.7

5

[illegible]

EXHIBIT C

CONDITIONS OF APPROVAL FOR THE CAL WEST PROJECT, INCLUDING TENTATIVE SUBDIVISION MAP #5075

Conditions of Approval: The following conditions shall be fully satisfied prior to acceptance of Final Map (unless otherwise stated):

General Conditions

1. Project Approval. The Project shall be substantially (as determined by the City) developed as depicted on the maps and exhibits included in the August 20, 2013 City Council staff report, in the February 3, 2015 City Council staff report, and in the May 5, 2015 City Council staff report as approved by City Council, for the Cal West Investors, LLC and Optimistic Partners, LLC project, except as modified by these conditions of approval. Substantive modifications to the Project description may require modification of the Development Agreement, conditions and environmental documents.
2. Indemnification. OWNER shall defend, indemnify, and hold harmless the City of Woodland, its agents, officers and employees from any claim, action or proceeding against CITY or its agents, officers or employees to attack, set aside, void or annul an approval of the subject application by CITY, its legislative body, advisory agencies or administrative officers. CITY will promptly notify OWNER of any such claim, action, or proceeding against CITY, and OWNER will either, at CITY's discretion, undertake defense of the matter and pay CITY's associated legal costs, or will advance funds to pay for the defense of the matter by the City Attorney.
3. Deed Disclosures. Deed Disclosures that satisfy Development Regulation 2.1 (Disclosures) of the Spring Lake Specific Plan shall be submitted for review and approval by the Community Development Director and City Attorney. These approved disclosures shall be placed on deeds for final lots as specified by the Development Regulation. The deed disclosures for all lots shall include language that addresses Development Regulation 2.35.6 (Landscape Strips along local streets) within Spring Lake.
4. Responsibility to Inform. OWNER shall be responsible for informing all subcontractors, consultants, engineers, or other business entities providing services related to the Project of their responsibility to comply with all pertinent requirements of the City of Woodland Municipal Code, including the requirement that a business license be obtained by all entities doing business in the City as well as hours of operation requirements in the City in addition to applicable state and federal laws.
5. Construction Management Plan. Prior to issuance of any permit or inception of any construction activity on the site, OWNER shall submit a construction impact management plan including a project development schedule and "good neighbor" information for review and approval by the Community Development Department. The plan shall include, but is not limited to public notice requirements for periods of

significant impacts (noise/vibration/street closures, tree removal, etc.), special street posting, construction vehicle parking plan, phone listing for community concerns, names of persons who can be contacted to correct problems, hours of construction activity, noise limits, dust control measures, and security fencing and temporary walkways.

6. Fee Notice. The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and/or other exactions. Pursuant to Government Code, Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions.

OWNER is hereby notified that the 90-day protest period, commencing from the date of project approval, has begun. If OWNER fails to file a timely protest regarding any of the fees, dedication requirements, reservation requirements and/or other exactions contained in this notice, complying with all the requirements of Government Code, Section 66020, OWNER will be legally barred from later challenging such fees, dedications requirements, reservation requirements and/or other such exactions. Notwithstanding the foregoing, CITY does not waive any rights it may have to enforce any settlement agreement, memorandum of understanding or other agreement with the applicant which authorizes CITY to impose certain fees, and that may waive OWNER's right to challenge the imposition of some or all of the fees, dedication requirements, reservation requirements, and/or other exactions set forth in these conditions of approval.

7. Coordination of Plans. OWNER shall be responsible for coordinating all plans to ensure consistency throughout the various plan submittals including site, landscaping, and improvement plans, prior to submittal for review.
8. Affordable Housing. The Project is subject to the Spring Lake Affordable Housing Plan in effect at time of construction and/or applicable affordable housing in-lieu fees, and Ordinance 6A, CITY's Inclusionary Housing Ordinance. Where there is a conflict, the Spring Lake Affordable Housing Plan shall prevail. The Plan requires 10 percent (10%) of single-family units to be affordable to Low-Income households. This project requires 19 single family affordable units, based on a total unit count of 190 single family lots in Phases 1 through 3.

The affordable housing obligation for the 5.89 acre R-8 residential site located west of the park (Phase 4) has been met (see discussion in the February 3, 2015 City Council staff report).

9. Concurrent Construction. The affordable single family units shall be dispersed throughout the Project in terms of location and product type. Affordable dwelling units shall be constructed concurrently with, or prior to, market-rate units within the residential project. In phased developments, inclusionary units should be constructed and occupied in proportion to the number of units in each phase of the residential project. The Community Development Department and Housing Staff shall review and approve the location of the affordable sites prior to approval of the Final Map. If OWNER desires to

modify the approved locations of the Affordable dwelling units, the requested modifications shall be submitted along with a map review fee, with the final map.

10. Inclusionary Housing Agreement. Prior to CITY's approval of OWNER's first final map, OWNER and CITY shall enter into an Inclusionary Housing Agreement as required by the SLSP Affordable Housing Plan (AHP). This agreement shall be prepared by CITY, shall be consistent with all applicable provisions of the SLSP AHP, and shall contain language inclusive of, but not limited to, the checklist in the SLSP AHP.
11. SLSP AHP Compliance. Prior to approval of the map(s), OWNER shall show proof of compliance with the Spring Lake Specific Plan Affordable Housing Plan through preliminary designation of affordable housing lots, and/or payment of an in-lieu affordable housing fee as specified in the Development Agreement.
12. Offsite Affordable Fee. The off-site Affordable housing fee shall be paid at Final Map and at the rate in effect for each single family market rate unit.
13. Affordable unit size. There shall be an average of three bedrooms provided per affordable unit, and OWNER may provide more but not less than the average target, unless it can be clearly demonstrated that a different average is required in order for the units to be sold in the affordable marketplace. OWNER may request an exemption from the requirements of this condition if, based on substantial evidence and financial information, such a mixture would be economically infeasible, as determined by the Community Development Director. Affordable, for-sale single family units may be smaller in square footage than the Market-Rate units that trigger the affordable housing obligation, with a minimum living area of 850 square feet, however, a mix of bedroom numbers and square footage among for-sale single family house is desired.
14. Affordable quality of materials. The design of affordable units and the materials used in construction of affordable units shall be of an equal standard as those used for market rate units; however, affordable for-sale units may feature different interior amenities than those of the market rate units.
15. Fair Share Cost. OWNER agrees to fund on a fair share basis, as determined by CITY, a nexus study, public facilities, services, and improvements including transit capital and operating costs, design and construction of transit stops, fire station construction and operations (Development Regulations 4.7.3, 4.9.5, 6.22 and 6.23), police operations (Development Regulations 6.30 and 6.31), park development (Development Regulation 5.6), greenbelts/pathways/trails (Development Regulation 5.28), and library services (Development Regulation 6.42 and 6.43) pursuant to Development Regulation 2.7 (Fair Share fees and Financing).
16. Backbone infrastructure. Prior to occupancy within any subdivision, necessary backbone infrastructure and services to serve the subdivision, as determined by the City of Woodland, must be in place, and adequate fire service must be demonstrated, pursuant to

Development Regulation 2.8 (Infrastructure and service availability), 4.4 through 4.7 (roadway improvements), and 6.24 and 6.25 (fire station).

17. Nexus Study. OWNER shall comply with the requirements of the Spring Lake Specific Plan Nexus Study.
18. Funding Public Services. Prior to issuance of a building permit, the funding of public services shall be addressed pursuant to Development Regulations 2.7, 6.23 and 6.37.
19. SLIF Fee Revenue. Additional SLIF revenue generated by the additional residential units, as a result of the prior approved rezone of the Project site on December 14, 2010, shall provide benefit overall to the Spring Lake Plan, and allocation of those units to cover any funding shortfall, as determined by CITY shall be applied as follows, and in the following order: 1) Should the affordable multi-family project, (by Mutual Housing California) on the R-25 site in the Heidrick Ranch Phase 1 be developed, the difference between the maximum density of 125 units and the proposed unit density of 101 units, or 24 units, for that site may be made up through application of the Cal West Investor LLC and Optimistic Partner LLC project's additional fee revenue; 2) Any additional remaining fee revenue as a result of the Cal West Investors LLC and Optimistic Partners LLC development would be available should any possible future rezone applications on the Cal West Investors and Optimistic Partner project site be presented; and 3) Any remaining fee revenue would be utilized at CITY's discretion.
20. SLIF Credits. Certain projects, as specified throughout these conditions, include costs which are identified as eligible for SLIF Credits upon inclusion of those projects into the SLIF Capital Improvements Program (CIP). Owner shall provide City with an Engineer's Opinion of Probable Cost which includes these items. The City will then amend the CIP through addendum, prior to the first final map to include those projects, after which the costs will become SLIF reimbursable/creditable.
21. Building Unit Allocations (BUA)s. With the exception of affordable and multi-family housing, approval of a final map requires that all lots included in the final map, have a building unit allocation. No final map shall be recorded by CITY unless BUAs for that map are assigned with the final map. In this case, with respect to the site formerly zoned for a school site, Neighborhood Commercial and Multifamily Site, assignment may require requesting that additional BUAs be added to the Spring Lake Plan Area. If BUA's are transferred from another site, or if BUAs are requested to be added, either transaction shall be recorded to the satisfaction of the Community Development Department and in compliance with the BUA Ordinance.
22. Reservation of Lots for public sale. The requirements of Section 21-15-1 of CITY's Municipal Code relating to "Reservation of Lots for Public Sale" shall be met. Lots shall be offered at a fair market price. If the offered lots have not sold by the end of the 45-day period, OWNER shall be required to demonstrate that the lots were offered at a fair market price. This will entail the provision of an appraisal by a qualified professional

appraiser. If the appraiser indicates that the offered price unreasonably exceeded the fair market price, the lots shall be re-offered for an additional 45- days at a fair market value.

Finance Department

23. SL Maintenance Facilities District. Prior to recordation of each final map, with respect to that map, OWNER shall petition CITY to be annexed into the boundaries of the Spring Lake Maintenance Community Facilities District. OWNER agrees to provide any and all information necessary to complete such annexation within 45 days of making this petition.
24. SL Community Facilities District 2004-1. At OWNER's option, OWNER may petition CITY to be annexed into the boundaries of the Spring Lake Community Facilities District 2004-1 prior to the approval of each final map. OWNER agrees to provide any and all information necessary to complete such annexation within 45 days of making this petition. Alternatively, OWNER may instead meet its SLIF financial obligation by paying the then equivalent bond proceeds in cash at building permit, before applying fee credits or paying cash, at OWNER's option, for balance of the fee creditable portion of the SLIF.
25. Fee Credits. Any financing method employed that would allow additional proceeds to be raised to pay back the First Release Property Owners would then allow OWNER to use the fee credits associated with the Community Facilities District.

Community Development

26. Design Review. For all residential uses, final site plans, architectural plans, elevations, sound wall, and landscape plans shall be submitted for review and approval by the Planning Commission to ensure consistency with the Spring Lake Specific Plan and Spring Lake Design Standards. Additional design detail shall be provided on corner lots with emphasis on side elevations, porches and entries (Design Standard 2.7). (All mechanical equipment, whether roof mounted or on the ground, shall be fully screened from view (Development Regulation 2.21 Utility Facilities). All antennas shall be placed in building interiors. Satellite dish antennas are prohibited on roofs. Units shall be energy efficient pursuant to Development Regulation 2.25 (Energy Efficiency). Dwelling unit shall be oriented toward the street pursuant to Development Regulation 2.31 (street loading), Development Regulations 2.35.3 (separated entry walks), 7.5 (Fireplaces), 7.6 (air conditioning), 7.7 (wiring), 7.10 (energy efficiency), 7.16 through 7.18 and 7.20 and 7.21.1 and 7.21.2 relating to energy conservation.)
27. Prior to the start of any work on-site, OWNER shall request and attend a pre-construction meeting to include the Project superintendent, architect, subcontractors, as well as CITY representatives including Community Development and/or Public Works.
28. Lotting Considerations
 - a. Block Length on Street "A". In order to mitigate for the extended block length on the west side of Street A, the homes along this stretch shall be designed so that

there is variability provided through careful use of such elements as front setback, mix of one and two-story, and building architectural frontage design. All homes along this segment extending from lot 174 to lot 196 shall have either a full usable front porch or a separated front patio extension with low walls.

- b. Where lots are adjacent to open space, locate the garage and driveway on the opposite side of the lot. (Lots 10, 11, 22, 23, 34, 35, 54, 55, 64, 65, 82,83 and 208). This list is subject to the discretion of and final confirmation by the City Traffic Engineer.
 - c. With the final map containing lots 222 and 223, City to approve the house orientation and fencing (double street frontage lots.)
29. Architectural Diversity. Emphasis shall be placed on creating architectural diversity within the development as discussed in Sections 2.3, 2.4 and 2.5 of the Spring Lake Design Standards. Particular care will be required to create a diverse architectural appearance on lots that are fairly narrow (40 to 45 feet in width). Creativity and innovation will be encouraged.
30. Landscape Plan Submittal. Detailed Landscape and Irrigation Plans shall be designed and prepared by a licensed landscape architect and shall be certified in accordance with State water conservation requirements. Landscape plans shall be submitted and approved by the Community Development and Public Works Departments prior to issuance of building permits. Landscape plans shall specify the following:
- Locations, size and quantity of all plant materials.
 - A plant legend specifying species type (botanical and common names), container size, maximum growth habit and quantity of all plant materials.
 - Location of all pavements, fencing, buildings, accessory structures, parking lot light poles, property lines and other pertinent site plan features.
 - Planting and installation details and notes including soil amendments. A soil fertility test shall be prepared prior to approval of plans to determine planting and amendment requirements.
 - Existing trees on site shall be identified. Trees planned for removal or relocation shall be marked on the plans, methodology to preserve trees in place provided on plans.
 - Details of all irrigation (drip, sprinkler, bubbler) as well as equipment such as backflow controller and water meter devices identified.
31. Street Tree Master Planting Plan. Street Tree Master Planting Plan shall be approved prior to the issuance of the first building permit. The plan shall be reviewed for conformance with the Spring Lake Design Standards and shall be reviewed and approved by the Community Development Department and the City's Public Works Department – Urban Forestry division. A soils test shall be submitted that will assist in appropriate species selection.
32. Public Landscaping. Landscaping design, materials, installation and maintenance in roadways, medians, greenbelts, subdivision trails, and other public areas shall be

consistent with applicable CITY requirements. Landscaping shall satisfy and fully implement Development Regulations 2.15.1 and 4.16 (Tree Canopy), 2.22 (Drought – tolerant plantings), 4.17 (Timing of landscaping), 4.17.1 (landscaping at intersections), 4.18 and 4.19 (bikeway and landscaping) and 7.13 (public landscaping). Final landscaping plans for all areas to be maintained by the SLSP Lighting and Landscape District shall be submitted for review and approval by the Community Development and Parks Department. Due to poor soil conditions in the Project area, soil sample analysis shall be provided for publicly maintained landscaping areas and resulting recommendations shall be complied with to the satisfaction of the Community Development Director.

33. Tree Preservation and Replacement Planting

- Replacement. In accordance with Section 20A of the City of Woodland Municipal Code, OWNER shall comply with the following replanting schedule for removal of trees on and adjacent to the Project site:
 - A. Replacement planting is required for each heritage, specimen, and landmark tree removed at a rate of four 15- gallon trees for each six-inches, or fraction thereof, of trunk diameter removed. Removal of street trees requires replacement planting of approved species at a rate of two 15 –gallon trees for each six inches removed in accordance with Section 20A -1-100.
 - B. The approved species and locations of replanting shall be specifically shown on the Landscape and Development plans and shall be subject to review and approval by the Community Development and Public Works departments. Replacement planting shall be in addition to standard planting requirements.
 - C. Landscape Development plans shall be submitted concurrently with subdivision improvement plans prior to any grading on site and final map approval.
- Preservation. CITY's Tree Preservation Ordinance requires preservation of Heritage Trees to the extent possible. The two existing Heritage Oak trees shall be preserved. Prior to issuance of a grading permit that impacts each Oak Tree, OWNER shall submit a tree protection plan to be included in the improvement plans that shall indicate measures to be taken to protect the trees during construction.
 - A. The oak tree on Lot B shall be preserved in place. Lot B shall be dedicated to CITY to create a small pocket park around the existing tree. Park amenities, (such as a bench, DG/mulch, and drainage swale to support the oak tree) shall be provided and the design approved by the Community Development Department and Public Works Departments prior to acceptance of the final map which dedicates Lot B.
 - B. Upon approval of the park design and installation of all required amenities for Lot B, the OWNER shall receive the equivalent in park fee credits of \$10,000.

- C. The Heritage Oak tree located off-site, north of Lot B, shall also be preserved in place, unless it cannot be preserved in place due to infrastructure requirements. The “F” Street cross section may be modified subject to approval by the City Engineer, at that location to accommodate the preservation of this street tree (i.e. removing the planting strip and attaching the sidewalk at that location)
- D. The trees and pocket park shall be included in the Spring Lake Lighting and Landscaping assessment district.

- 34. Utility Design. The location of all utility structures shall be coordinated with and depicted on the landscaping plans. Location and installation of utility structures shall be to the satisfaction of the Community Development Director and City Engineer. Public utility lines, along public street frontages and /or landscaped areas shall be underground type unless otherwise approved by the Community Development Director and City Engineer. OWNER shall ensure consistency with Development Regulation 2.11 (Utilities), 2.13 (connectivity), 2.21 (utility facilities) and 6.17 through 6.19 (general utility requirements).
- 35. Light pole location. Light poles shall not be located so as to conflict with planting or future growth and shading of trees throughout the site. Review shall be provided prior to issuance of final map.
- 36. Street and Lot Lighting. Lights along local roads and in public use areas shall be consistent with SL Development Regulation 2.22.2.
- 37. Compliance with State Water Conservation Ordinance. OWNER shall comply with State Water Conservation Ordinance, as well as water conserving requirements in the Spring Lake Specific Plan and SL Design Standards. This applies to all yard and public landscaping. Plans shall be reviewed for compliance prior to issuance of building permits.
- 38. Sound Wall. A freeway adjacent sound wall is required in accordance with the Environmental Noise Analysis and shall be 10-feet in height. The sound wall design shall meet the SLSP Design Standards (Section 6.2.1). Access for required maintenance shall be provided via extension of Lot A connected to “A” Street and shall be 15 feet in width paved. Masonry walls may be required on the sides as part of comprehensive improvement plans. Gates shall be installed on both ends of Lot A (east and west sides of 15 foot access portion and including at the north and south ends of the 28 foot buffer area. Gates shall be submitted for review and approval of the City, Gate on the west end of the access point may also be subject to the approval of Caltrans. Access portion of Lot A (15 foot width) shall be relocated to the north, opposite 1 Court. The entire length of the Project sound wall shall be constructed at one time, with the earlier of Phase 3 or Phase 4 final map. The wall design, including freeway adjacent landscaping, shall be submitted for Design Review to the Community Development Department prior to acceptance of the earlier of Phase 3 or Phase 4 final map. The sound wall will need to be bonded for and included in the public improvements and are eligible for SLIF credits.

39. Sound Wall Landscaping. Landscaping shall be provided in accordance with 6.2.1 (d) to help screen the wall, minimize graffiti and provide shade on the west elevation. Landscaping shall include trees, shrubs and groundcover. The landscaping, predominately trees (fine needled such as pines or cedars depending on soil fertility report recommendations), will be planted in a fairly dense manner within a 28 foot easement on the west side of the wall. A reciprocal access and maintenance agreement will be established and recorded with the sound wall and landscaping in order to provide access for maintenance of the sound wall and landscaping. The landscape plans shall be reviewed and approved by the Community Development and Public Works Departments prior to issuance of permits for the wall. Landscaping shall be installed at the same time as the wall. Landscaping will need to be bonded for and included in the public improvements and are eligible for SLIF credits upon addition to the Spring Lake CIP.
40. Single Story Homes. Consideration shall be given to the extent possible that the units constructed on the lots backing to the HWY 113 freeway be single story, or that the second story portion be recessed from the back of the single story portion.
41. Interconnecting Walk and Pathway. Interconnecting walks and pathways shall be a minimum of 25 feet wide and landscaped consistent with Section 6.9 of the SL Design Standards.
42. Greenbelt Connector. “Lot F” shall be provided as a greenbelt and shall be constructed in conjunction with adjoining development and/or street improvements to serve as an extension of the greenbelt located on the east side of Harry Lorenzo Avenue along Farmer’s Central connecting the greenbelt trail system to the park. The greenbelt extension shall be designed and landscaped consistent with Section 7.1 and 7.2.1 of the SL Design Standards. The greenbelt extension shall be included in the Spring Lake Lighting and Landscaping assessment district.
43. Residential Fencing. All wood fence footings and foundations shall be constructed of galvanized steel, reinforced concrete, or masonry. No treated wood materials in contact with the ground will be permitted. All wood fencing shall be stained with a water sealant to prevent water damage and staining. Consideration shall be given to the use of wood with integral stain. All required notes/details shall be provided on plans prior to the issuance of permits. Fencing shall comply with Section 2.9 of the SL Design Standards and shall include decorative cap throughout the project.
- a. Rear yard fencing along Phase 4 southern property boundary (Lots 199-208) shall comply with Section 6.2.2 of the SL Design Standards (“Privacy Wall/Fence”), however, the fence height shall be 8 feet. Privacy fencing shall be constructed of an alternative wood product or masonry material, or combination thereof, and shall be submitted for review and approval by the Community Development Department, Planning Division and by the Public Works Department as part of the improvement plans. The eastern 128 foot side yard fence of Lot 208, adjacent the park, shall also comply with Section 6.2.2. The 35 foot cut from the rear yard

fence to “J” Street shall be open style, 6 foot tall decorative black tubular steel fencing.

44. Entry Signs. Per the Spring Lake Specific Plan and the Spring Lake Design Standards, OWNER shall establish neighborhood entry signs. A sign shall be provided at the southwest corner entry of Harry Lorenzo Avenue and “D” Street consistent with SL Design Standard 1.6.2. As an alternative second location and upon review and approval by the Community Development Director a sign may be provided at the southeast corner of “Lot F,”

A design specification for these signs shall be prepared for review and approval by the Community Development Director and City Engineer prior to acceptance of the final map. The signs shall be installed prior to the issuance of the first house permit for the phase in which they are located.

45. Prohibit RV Parking. Provisions in the CC&Rs shall be adopted that prohibit recreational vehicle parking in the front yard for longer than 24 hours. This provision shall be enforced through mechanisms established in the CC&Rs.
46. Energy Efficiency. All future development shall at a minimum meet the energy efficiency requirements included in Design Standard 2.11 and Development Standard 2.25. Five percent (5%) of all units shall have roof mounted photovoltaic energy systems or other alternate renewable energy generation systems. The method and number of homes to be identified with submittal of design review application. All homes shall be photovoltaic ready and have electric vehicle charging outlets in every garage on a dedicated circuit.
47. Prohibit Garage Conversions. Provisions in the CC& Rs for all residential development shall be adopted that prohibit garages from being converted to residential use except for a model home sales office. When the sales office is vacated, it must be converted back to a garage.
48. No Restriction on Color. Provisions in the CC&Rs shall be adopted that prohibit any restrictions of color on residential structures. This provision shall be enforced through mechanisms established in the CC & Rs.

SLSP Mitigation Measures:

49. Mitigation Requirements. OWNER shall comply with all mitigations required by the TOC EIR Mitigation Monitoring Program provided as Attachment A to the SLSP, as well as any further analysis provided through additional studies and evaluations required to ensure compliance with mitigations.
50. Environmental Noise Analysis. The design of the Project shall comply with the exterior and interior noise level requirements of the Noise Element of the City of Woodland General Plan and with the requirements specified in the Environmental Noise Analysis

prepared by Bollard Acoustical Consultants, Inc dated July 19, 2011. Additional noise conditions include:

- A 10-foot tall noise barrier shall be constructed along the western property line of the Project site. The barrier heights shown are those required to reduce future SR 113 traffic noise to 65 dB Ldn or less. Barriers shall be constructed of masonry block, concrete or earth berms. A combination of berms and walls is acceptable provided the combined height is sufficient to achieve satisfaction with CITY noise standards. Final design and wall height to achieve adequate protection shall be determined at earlier of the final Phase 3 or Phase 4 grading plan submittal.
- City of Woodland's interior noise standard is 45 dB Ldn. Exterior noise levels at second floor facades facing the freeway can be up to 77 dB Ldn. Recommendations to reduce interior noise as stated in the Environmental Noise Analysis, dated April 20, 2011, prepared by Bollard Acoustical Consultants shall be complied with. If two story units are proposed, the additional construction techniques identified shall be followed as well.
- When final site lot and grading plans are completed they shall be reviewed by an acoustical consultant to ensure that the conclusions of the acoustical study have not changed.
- Disclosure statements shall be provided to all prospective residences notifying them of the elevated projected future Hwy 113 noise environment and informing them that satisfaction with the City of Woodland 45 dB Ldn interior noise standard may only be achieved with windows in closed positions.

51. Ground Nesting Raptor Survey. Pursuant to Mitigation Measure 4.5-3, thirty (30) days prior to commencement of grading or any site work, OWNER shall have prepared and submitted a survey for ground nesting raptors (e.g. northern harrier and burrowing owl). This survey shall be prepared by a qualified raptor biologist using appropriate protocol acceptable to responsible agencies. If survey nesting raptor species are found, then Mitigation Measures 4.5-3 (b-d) of the Spring Lake Specific Plan Mitigation Monitoring plan shall be followed. Survey results shall be valid only for the season when construction activity occurs.
52. Mitigation Easements. Mitigation for loss of agricultural land and hawk habitat in the form of land set asides shall be fully executed (signed and recorded with Yolo County) and in place prior to final map approval or commencement of development activity, consistent with Development Regulation 2.2 (Land Set Asides) and 7.2 related to the 1:1 mitigation requirement.
53. Raptor Survey. OWNER shall conduct a pre-construction or pre-tree pruning or removal survey of trees greater than 30 feet tall during the raptor breeding season (March 1 through September 15). This survey shall be conducted for a half mile around the proposed site at which any construction activity is proposed. The survey shall be conducted by a qualified raptor biologist during the same calendar year that the proposed activity is planned to begin to determine if any nesting birds of prey would be affected.

54. Geotechnical. The recommendations contained in the Conclusions and Recommendations Section of the Geotechnical Engineering Report (Geocon Consultants, Inc. May 2011 – Geocon project no s9574-06-01 and the Geocon Consultants Inc. Supplemental letter dated February 2013 –Geocon project number s9574-05-02) shall be followed. Additional Geotechnical reports may be required by the City at the discretion of the Chief Building Official.
55. Air Quality Directives. OWNER shall comply with Air Quality Management District directives as specified in Development Regulation 2.12 for both off-road and on-road low-emissions heavy duty vehicles and construction equipment during all grading and construction. (SLSP page 7-4, Regulation 7.3).
56. Mosquito Vector Control. Prior to each construction season, if OWNER has a project under construction, OWNER shall consult with, and implement the recommendations of the Mosquito Vector Control District regarding control of mosquitoes, black gnats, and other vectors.
57. Construction Recycling. Prior to the commencement of construction on any project, OWNER shall ensure that the construction contractor has established construction recycling measures pursuant to the requirements of the Mitigation Monitoring Plan and all other CITY requirements. (MM 4.13-18)
58. Dust Suppression. OWNER shall comply with all dust suppression requirements during all grading and construction activities (SLSP Regulation 7.4)
59. Off-site improvements. Off-site improvements shall satisfy the requirements of SLSP and SLSP MM including but not limited to Development Regulation 6.13 and Mitigation Measure 4.5-7.
60. Cultural Resources. During grading or any site work, development must comply with Development Regulation 7.22 (MM 4.10-1).

Engineering Development Services

Roadways

61. Regarding “E” Street between phase 1 and phase 2 and “B” Street road between phases 2 and 3 and “D” Street between phases 3 and phase 4, this road may be revised to a partial street section (similar to cross section C on Sheet 4 with approval of the City Engineer).
62. Streets fronting the park: Subdivisions opposite the park shall complete corresponding street section including curb, gutter, sidewalk, landscaping, lighting, hydrants and appurtenances for the park. This requirement may be reduced or altered by the City Engineer, if, the appropriate portions of park frontage are added to the SLIF fee capital improvement program. Conditions regarding park frontage and valuation may be superseded by the Purchase and Sale agreement without Development Agreement Amendment.

63. OWNER shall revise partial street cross sections; partial street sections shall have 4' shoulders with 2' paved shoulders to the same structural section as the remainder of the road and 2' unpaved.
64. Unless constructed by others, OWNER shall construct Harry Lorenzo from "F" Street to Farmers Central Road (including park frontage with first final map without transition) in accordance with section E. If land fronting Harry Lorenzo Avenue is rezoned to residential lots prior to application for final map, the improvement plans may be modified to reduce fronting improvement requirements, with the approval of the City Engineer. Upon request of OWNER, CITY will enter into a third party reimbursement agreement to allocate fair share costs to the adjacent property owners. Fair share costs shall include 50% of the total cost less the west sidewalk, landscaping, water and sewer services. The third party reimbursement agreement shall be completed prior to the approval of the final map. The final cost determination shall be approved by the City Engineer.
65. Unless constructed by others, OWNER shall construct/extend Farmers Central Road from Pioneer Avenue to Harry Lorenzo Avenue with the first final map. If necessary for access, only the road section may be reduced to two twelve foot lanes plus four foot shoulders on each side with additional turn lanes as necessary at Harry Lorenzo Drive. Design of the interim/partial road improvements shall be compatible with the ultimate design of the roadway. Upon request of OWNER, CITY will enter into a third party reimbursement agreement to allocate fair share costs to the adjacent property owners. The third party reimbursement agreement shall be completed prior to the approval of the final map.
66. Along the alignment of Farmer's Central Extension there shall be a 20 foot landscaped greenbelt corridor including a 10 foot bike path, and 10 foot landscaping component. Bike path shall include steel reinforcement. The path alignment will be determined at time of park design and may be north or south of the PG&E poles as determined by the City. Path design and alignment shall be subject to the approval of CITY. At a minimum, the corridor shall include a 10 foot path and shall: be reinforced to support maintenance/emergency vehicles, include 10 foot of landscaping, parkway level lighting along the length of the corridor, two, 4 inch conduits for future broadband constructed to fiber standards, and connect to "B" Street as well as align ultimately for the SR 113 overcrossing and connect to conduits under SR 113 placed by others. 4 inch fiber conduits are to be SLIF reimbursable. Property descriptions and easements shall be to the satisfaction of the City Engineer. The greenbelt corridor shall be constructed with 4 the associated 8 acre park improvements. 8 acre Park construction timing will be based on the availability of funds as determined by the City. Owner shall fund greenbelt costs and fair share payments are made on a per unit basis for phases 1, 2 & 3 into a CITY held escrow account. For purposes of third party reimbursement, a fair share shall be determined by the following process:
- A. With the first final map application OWNER shall prepare a preliminary design with a cost estimate for the greenbelt corridor including the fiber conduit, and all other

appurtenances above. Cost Estimate shall include estimated item types and quantities. For cost estimating purposes alignment shall be approved by the City and connect to Lot F , B Street and the SW corner of the park adjacent to lot 208. The cost estimate shall include a 20% contingency and 7.5% in plan check and inspection rate, 10% design costs, and a 7% CM overhead rate. Cost estimate for the greenbelt corridor shall be itemized separately so that SLIF credits may be applied towards that portion of the cost separate from the balance of the remainder of the subdivision improvements. Payments collected towards construction and construction costs are eligible for SLIF credits and reimbursements. The calculation shown below is an example based on the anticipated number of units in the map. The calculation shall be updated as needed.

- B. Then the total cost shall be divided by 176.
 - C. Then each final map shall pay the amount at time of final map on a per unit basis. Once paid, a fee credit in an amount equal to the amount paid in cash will be added to the property's fee reimbursement account and used subject to the Administrative Guidelines for Allocation and Distribution of BUA's in the Spring Lake Specific Plan adopted by the City Council on March 5, 2013 and as subsequently amended, and in accordance with the Funding and Reimbursement Agreement
 - D. Upon request, CITY will enter into a third party reimbursement agreement to seek a proportional share reimbursement from the adjacent residentially zoned benefitting property owner.
 - E. Cash payments and construction costs may be reimbursable or creditable from the SLIF if the facility is included in the SLIF CIP subject to restrictions of the Administrative Guidelines for Allocation and Distribution of BUA's in the Spring Lake Specific Plan, adopted by the City Council on March 5, 2013, and as subsequently amended and in accordance with the Funding and Reimbursement Agreement.
67. Prior to approval of the first final map OWNER shall submit for approval of the City Engineer a traffic calming plan for the entire tentative map area. The plan shall generally conform to recommendations made in the traffic study. Traffic calming features may vary from those shown on the tentative map. OWNER shall construct components of the traffic calming plan as part of the public improvement program.
68. Underground overhead distribution utilities on the property. Transmission lines in the PG&E easement may remain overhead.
69. With the first final map and the extension of Farmers Central Road from Pioneer Avenue to Harry Lorenzo Drive, OWNER shall construct roundabouts at the intersection of Farmers Central Road and Harry Lorenzo Avenue and at "F" Street and Harry Lorenzo Avenue. Upon inclusion in the Spring Lake SLIF CIP, the cost of the roundabout shall be SLIF reimbursable/creditable.

70. Details for the construction of "F" Street shall include a tree preservation plan for the Heritage Oak(s) required to remain on site. Design of the pre-preservation plan, fencing materials, and all other components shall be approved at the sole discretion of CITY.
71. OWNER shall provide paved access with bollard or gate control to CITY approved openings in the sound wall for maintenance access. Paved access and access control design shall be subject to the approval of CITY.
72. Cross section J shall have a 4.5 foot sidewalk adjacent to curb and 10' PUE behind the monolithic curb.
73. Cross sections 2/C01 and 3/C02 shall be removed from Sheet C05 of the Tentative Map.
74. Subdivision trails (Lots C, D, & F) shall include ramps at each curb on each end.
75. Lot F improvements for landscaping, pathway and monument sign, lighting and appurtenances shall be completed with first final map.
76. Complete roundabout at Harry Lorenzo Avenue and "F" Street is to be constructed the with phase 1 improvement plans.

Easements and Right of Way

77. A seven (7) foot (or ten (10) foot if adjacent to monolithic sidewalk) public utility easement shall be provided at back of (separated) sidewalk, adjacent to all public streets within the development and shall be dedicated to CITY and may be required elsewhere as requested by the utility companies and approved by CITY.
78. Prior to approval of the first set of improvement plans and final map, OWNER shall acquire all rights of way and easements necessary to construct off-site and on-site improvements associated with the tentative map. Final determination of Right of Way Requirements shall be made by the City Engineer.
79. The earlier of Phase 3 or Phase 4 final map shall include dedication of a 28 foot strip between the tentative map edge and Caltrans Right of Way.
80. Lots 174 through 198 shall include a general access easement to CITY for repair and maintenance of the sound wall.
81. OWNER shall acquire or dedicate 15' maintenance access easements along the north edge of the Property (may be on adjacent property), adjacent to lot 174 and pave the same. Bollards may be required at the end of F Street. Paving section will be as determined by the City. Along the south edge of the project, City may access

maintenance area via City property and utility maintenance road. Applicant may be required to extend or modify utility access road to reach Lot A. The access roads are eligible for SLIF credits.

82. If, after a good faith effort based on a MAI Appraisal, OWNER is unable to obtain offsite right of way, OWNER may request that CITY obtain the land at OWNER'S sole cost and expense. OWNER shall deposit estimated cost of land, staff time and attorney time to obtain the land. After land has been obtained CITY shall relinquish balance of funds on hand.
83. OWNER shall acquire by deed or lot line adjustment the right of way for the knuckle on "B" Street, with the final map that includes this portion of "B" Street prior to sale of the Park site, unless mapping of that corner can be made without expanded corner, subject to the approval of the City Engineer.

Wastewater and Sewer Collection System

84. The Property shall be connected to the City of Woodland's sewer system, with a separate sewer lateral required for each parcel, in accordance with City of Woodland standards.
85. The Tentative Map Sewer Plan showing sewer routing, pipe slopes and sizing and locations, are preliminary only and do not constitute approval in any way. Final approval for the Sewer Plan shall occur with the final improvements based on the requirements set forth in these conditions of approval.
86. Construction of deep sewer mains shall be connected to laterals by a parallel main and connections at manholes.
87. OWNER shall obtain a groundwater discharge permit from the State Board of Reclamation prior to ground dewatering.
88. Any onsite septic tanks shall be to Yolo County Health Department standards, prior to the final map within which boundary it is contained.

Storm Water

89. A comprehensive storm drainage plan shall be prepared by a registered civil engineer for project watershed(s), including the plan area. The plan shall identify specific storm drainage design features to control increased runoff from the Project site. The drainage plan shall demonstrate the effectiveness of the proposed storm drainage system to prevent negative impacts to existing downstream facilities and to prevent additional flooding at off-site downstream locations. All necessary calculations and assumptions and design details shall be submitted to the City Engineer for review and approval. The design features proposed by OWNER shall be consistent with the most recent version of the CITY's Storm Drainage Master Plan criteria and CITY Standard Specifications and Details. The plan shall incorporate secondary flood routing analysis and shall include final sizing and location of on-site and off-site storm conduit channels, structures and

detention basins if required. The Storm Drainage Plan shall be submitted for approval prior to submittal of the first final map and/or construction drawings for checking. OWNER shall pay the cost associated with all improvements required by the plan, and an appropriate reimbursement agreement shall be drafted to reimburse OWNER for oversized improvements on a pro rata basis per Development Agreement.

90. A topographic survey of the entire site and a comprehensive grading plan prepared by a registered civil engineer shall be required for the Project. The plan shall include topographic information on adjacent parcels. In addition to grading information, the grading plan shall indicate all existing trees and trees to be removed as a result of the proposed development, if any. A statement shall appear on the site grading and drainage plan, which shall be signed by a registered civil engineer or land surveyor and shall read, "I hereby state that all improvements have been substantially constructed as presented on these plans". Reference the City of Woodland Engineering Design and Construction Standards for additional requirements.
91. The Tentative map Grading and Drainage plan showing grading and drainage information including topographic information, drainage routing, pipe slopes and sizing and locations and including topographic information, and overland drainage routing are preliminary only and do not constitute approval in any way. Final approval for the grading and Drainage Plan shall occur with the final improvements based on the requirements set forth in these conditions of approval.
92. Unless constructed by others the first final map shall construct the extension of the 72" storm drain line along Farmers Central Road from Pioneer Avenue to Harry Lorenzo Avenue.
93. Construction of the 60" Storm Drain between SR 113 and Harry Lorenzo Avenue may be completed in three phases as shown below or consolidated into fewer phases.
 - Phase 1 shall construct the extension of the Storm drain Line from Farmers Central Road/Harry Lorenzo Avenue along the alignment of Farmers Central Road extension west to the projected extension line of the western edge of E street.
 - Phase 2 shall construct the line from the extension of the western edge of E street to the extension of the lot line between lots 207 and 208
 - The portion of the Storm drain line between the extension of the lot line between lots 207 and 208 and connection with the SR 113 storm drain under crossing shall be constructed with the first to construct between phase 3 or phase 4.
 - Each phase of pipe construction shall include inlet structures/treatment areas to be submitted to the City and reviewed for approval by the City.
94. Prior to first final map applicant shall submit a revised tentative map showing the SD line and removing the temporary ditch fence and gates that are proposed (except what is necessary for phasing). Access to manhole areas of the Storm drain shall be provided by

extending or modifying sections of the existing access road, in a manner approved by the City.

Storm Water Quality Control

95. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit. Applications/projects disturbing less than one acre of soil shall implement BMP's to prevent and minimize erosion. The improvement plans for construction of less than 1 acre shall include a BMP to be approved by the City Engineer. Projects of this size shall also prepare a SWPPP (Storm Water Pollution Prevention Plan).
96. OWNER shall comply with Storm Water Quality Ordinance, for site specific, general, and treatment control measures.
97. OWNER shall create a storm water phasing plan to be approved by the City Engineer prior to a grading permit or final map, unless otherwise determined unnecessary by the City Engineer.

Water Infrastructure Conditions

98. All materials and installation of the water system shall be at OWNER's expense per City of Woodland Standard Specifications and Details; except that the 12" in HLA north of "F" Street connecting to Gibson Road may be reimbursed by the City, not to exceed funds previously deposited to the City for 12" main along the alignment of FCR less payment made to the Heidrick Ranch project. Owner and City shall enter into a reimbursement agreement, prior to or coincidental to the approval of the final map.
99. Until such time as actual service connections are approved for the subdivision, the water agency may withhold water service due to a water shortage declared by the water agency.
100. If not constructed by others, the first final map shall construct a water line in Harry Lorenzo Avenue connecting to the water mains in Farmers Central Road and Gibson Road and extend the 12" main in Farmers Central Road from Pioneer Avenue to Harry Lorenzo Avenue. The water main shall be 12" from Gibson Road to the split connection south of the "F" street round about and an 8" main may be constructed south from there to the connection of the 12" main constructed in HLA by the Heidrick development. Upon request, CITY may enter into a third party reimbursement agreement to seek a proportional share reimbursement from the adjacent residentially zoned benefitting property owner, if determined applicable to the adjacent development.
101. Owner shall construct 8" recycled water line main with Harry Lorenzo Drive from 20' north of the F Street roundabout to 5' south of north crosswalk for the Farmers Central Road roundabout. An eight inch landscape irrigation main shall be extended across HLA and stubbed to serve Lot F and the park (terminating in the park). Ends of the main shall be capped in a manner approved by the City. Materials for the recycled main shall be

C900 pipe constructed to the standards for water mains in chapter 7 of the City standards, except that the pipe shall be purple. Alternatively this condition may be met by a City approved alignment that connects to HLA at “F” Street, proceeds south along “H” Street, serves the park and Lot F and terminates back in Harry Lorenzo Avenue. The recycled water will be SLIF reimbursable.

102. The Tentative Map Water Plan showing water routing, sizing and locations, are preliminary only and do not constitute approval in any way. Final approval for the Water Plan shall occur with the final improvements based on the requirement set forth in these conditions of approval. OWNER shall comply with making changes to water system distribution pipe sizes and alignments based on the results of the specific water modeling performed for the Project. OWNER shall pay for all required water modeling for identifying water infrastructure needs to serve its development and shall construct offsite water improvements to connect to CITY’s water distribution system.
103. Per City of Woodland Cross Connection Control Program, all types of commercial buildings and landscape irrigation services are required to maintain an approved backflow prevention assembly, at OWNER’s expense. Service size and flow-rate for the backflow prevention assembly must be submitted. Location of the backflow prevention assembly shall be per the City of Woodland Standard Specifications and Details. Prior to the installation of any backflow prevention assembly between the public water system and OWNER’s facility, OWNER shall make application and receive approval from the City Engineer or his/her designated agent.
104. Any fire hydrant installed will require, in addition to the blue reflector noted in Standard Drawings, an additional blue reflector and glue kit that is to be supplied to the City of Woodland Fire Department for replacement purposes.
105. One Water Sampling Station shall be installed with the first final map.
106. OWNER shall abandon all on site private wells with the demolition of existing structures served by the wells prior to final map within which the well is located.

Landscaping

107. Landscaping of public areas is a public improvement. Design and construction of public landscaping areas shall proceed concurrently with adjacent development. Public improvements will not be formally accepted by CITY until a 90-day maintenance period on landscaping improvements is completed. This requirement may be waived at time of acceptance of other public improvements with approval of the Parks, Public Works and Community Development departments, but if waived shall require submittal of a separate security to ensure landscaping completion.
108. The entire sound wall along the western edge of the tentative map shall be constructed as a part of the earlier of Phase 3 or Phase 4 of the final map for the Project. Sound wall design and construction costs are eligible for SLIF credits.

109. A 28' landscape strip shall be constructed along the western boundary of the Property as a part of the earlier of Phase 3 or Phase 4 of the Project. OWNER shall bond for landscaping and include the landscaping in the public improvements, which are eligible for SLIF credits upon addition to the Spring Lake CIP.

Grading

110. A topographic survey of the entire site and a comprehensive grading and drainage plan prepared by a registered civil engineer, shall be required for the Project. The plan shall include topographic information on adjacent parcels. In addition to grading information, the grading plan shall indicate all existing trees and trees to be removed as a result of the proposed development, if any. A statement shall appear on the site grading and drainage plan, which shall be signed by a registered civil engineer or land surveyor and shall read, "I hereby state that all improvements have been substantially constructed as presented on these plans". Reference the City of Woodland Engineering Design and Construction Standards for additional requirements.
111. The Tentative Map Grading and Drainage plan showing grading and drainage information including topographic information, drainage routing, pipe slopes and sizing and locations and excluding topographic information, and overland drainage routing are preliminary only and do not constitute approval in any way. Final approval for the Grading and Drainage Plan shall occur with the final improvements based on the requirements set forth in these conditions of approval.
112. The differential in elevation between rear and side abutting lot lines shall not exceed twelve inches (12") without construction of concrete or masonry block retaining walls.

Fees

113. OWNER shall pay all required fees for processing final maps (technical check) with final map submittal.
114. Prior to approval of improvement plans, OWNER shall pay all fees for plan check and inspection of offsite infrastructure improvements, as approved by City Council and defined in the CITY's Fee Schedule. If OWNER pays a deposit only at improvement plan submittal, the balance shall be paid prior to improvement plan approval by the City Engineer.
115. At building permit issuance OWNER shall pay applicable Development Impact Fees or connection fees in effect at the time of building permit issuance.
116. The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and/or other exactions. Pursuant to Government Code, Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions.

117.If existing buildings are demolished, OWNER shall document size and type of buildings prior to demolition to determine if there is a credit for impact fees, If there are no sewer or water service connections no sewer or water impact fees will be credited.

Engineering General Conditions

118.Prior to final map, OWNER shall submit and have approved a revised tentative map in compliance with these conditions. The revised tentative map is subject to the approval of the City Engineer and Community Development Department.

119.OWNER shall document and show evidence that all tentative map conditions are met with submittal of final map.

120.OWNER shall enter into a (Subdivision) Improvement Agreement for the construction of public improvements prior to construction of any improvements, approval of improvement plans, approval of final map, or building permits.

121.OWNER shall prepare improvement plans for any work within the public right-of-way and submit them to the Engineering Division for review and approval. The improvement plan sheets shall include the title block as outlined in the City of Woodland Standard Specifications. This submittal is separate from the building permit submittal. All public improvements shall conform to the current City of Woodland Standard Specifications.

122.OWNER shall submit proposed street names to CITY's Fire Department for approval with a copy to Engineering prior to improvement final map submittal.

123.Public improvements, in addition to roadway construction, shall include water, sewer and storm drain mains, fire hydrants, street lights, and appurtenances.

124.All non-single family water services to this Project shall include backflow prevention devices and water meters, with meters located within the Public Utilities Easement (P.U.E.) adjacent to the public road, in a location approved by the Public Works Department.

125.OWNER shall submit an application for reapportionment of assessments with the parcel map or subdivision map.

126.OWNER shall obtain a Caltrans encroachment permit for construction of the sound wall and landscaping if necessary. A copy of the permit shall be provided to CITY prior to approval of the final map and start of construction.

127.All utility poles that are to be relocated in conjunction with this Project shall be identified on the improvement plans, with existing and proposed locations indicated.

128.All public landscape areas shall include a separate point of connection for water laterals with meters and PG&E power service points for automatic controllers.

- 129.If improvements are constructed and/or installed by a party or parties other than OWNER, which improvements benefit OWNER's property, OWNER shall pay a proportionate share of the costs of said improvements, including interest, prior to the issuance of building permit(s) (approval of the final map) to the other party or parties that constructed or installed the improvements.
- 130.If conditions for the Project require OWNER to construct improvements that benefit parties other than OWNER, and are subject to reimbursement by others as determined by the City Engineer, OWNER may request to enter into a reimbursement agreement drafted by the CITY. CITY shall endeavor to collect reimbursements from the benefiting party(ies) including requiring payment prior to approval of any entitlements for benefiting party(ies). All reimbursement agreements shall be executed prior to final map approval.
- 131.If greater than 640 square feet, second units shall pay single family dwelling unit development fees.
- 132.All second units shall have separate water service and meter.
- 133.This Project is subject to the Construction and Demolition Debris Recycling and Diversion Ordinance (Ordinance No. 1469).
- 134.Joint trench/utility plans shall be submitted to the City Engineer for review, prior to approval of the final map and improvement plans.
- 135.U.S. Post Office mailbox locations shall be shown on the improvement plans subject to approval by the City Engineer and Postmaster.
- 136.A registered landscape architect shall design landscape and sound wall and privacy wall improvements, and improvements shall be per the SLSP and other CITY Standards, as applicable.
- 137.OWNER shall include in the disclosure document for each house that the future park does not have a scheduled date for construction and that future construction will be subject to available funds. OWNER shall include in the disclosure document for lots 197-208 that the City plans for a greenbelt, path, and pedestrian overcrossing to connect to a path on the west side of Hwy 113, and that future construction will be subject to available funds.

Fire Department

- 138.Weed Abatement. OWNER shall comply with the City of Woodland Weed Abatement Ordinance. OWNER shall maintain the Property throughout the year so that all dead trees or any vegetation growing upon the streets, sidewalks, or upon private property which bears seeds of a wingy or downy nature shall be removed and maintained so as to meet the City of Woodland standards.

139. Fire Flow- The minimum fire flow required shall be determined as specified by the City of Woodland Municipal Code, Chapter 9, 2010 California Fire Code and the City of Woodland Standard Specifications and Details, 2010 edition. Given the present plans and information, the required fire flow is approximately 1,500 gallons per minute at 20 psi for a minimum 2 hour duration. OWNER shall meet the required volume and duration at the Project site prior to obtaining a building permit.

140. Water Supply and Hydrants. Water supply and fire hydrants shall be installed in accordance with CFC Article 9 (903). When any portion of the facility or building is in excess of 150 feet from a water supply on a public street, on site fire hydrants will be required. A plan shall be submitted to the Fire Department to determine the location of the fire hydrants. Plans shall be approved prior to the installation.

Building Division

141. OWNER shall comply with the current codes that are in effect at the time of plan submittal.

142. Plans will need to be complete at the time of submittal as CITY does not accept deferred submittals.

143. All sub-contractors/companies working on the Project will be required to obtain a City of Woodland Business Registration ("Business License").

144. OWNER shall comply with FEMA regulations.

145. Other City and County Agencies (Health, Fire, Public Works, and Planning) may be required to approve the project prior to a building permit being issued.

146. All plans, computations and specifications to be prepared and designed by an architect or engineer licensed by the state of California.

147. A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others.

148. A soils investigation report shall be provide as specified in section 1803.5.3 of the 2013 CBC.

149. Because this project is located in an area known to contain expansive soils and per *Woodland General Plan Policy Document, Part II, Policy 8.A.9, "The City shall require the use of special bending-resistant designs where foundations must be slab-on-grade in areas with expansive soil."* and per *CBC 1808.6*, footings or foundations for buildings founded on expansive soils shall be designed in accordance with *CBC 1808.6.1* **and for concrete slab-on-ground foundations** the design shall be in accordance with *CBC 1808.6.2 and PTI Standard Requirements for Design of Shallow Post-Tensioned Concrete Foundations on Expansive Soils or WRI/CRSI Design of Slab-on-Ground Foundations*

*and the specific recommendations as noted in the geotechnical engineering report. **Please submit plans and calculations stamped and signed by a California registered Civil or Structural Engineer or Architect** showing compliance. Woodland General Plan Policy Document, Part II, Policy 8.A.9, CBC 1803.5.3 and CBC 1808.6*

Yolo Solano Air Quality Management District (“District”)

150. Portable diesel fueled equipment greater than 50 horsepower (HP), such as generators or pumps, must be permitted with the District, or under specific circumstances as approved by the District, may be registered with the Air Resources Board’s (ARB’s) Portable Equipment Registration Program (PERP) (<http://www.arb.ca.gov/perp/perp.htm>).
151. Dust emissions shall be prevented from creating a nuisance to surrounding properties as regulated under District Rule 2.5 Nuisance.



Legislation Details (With Text)

File #: 16-373 Version: 1 Name:
Type: Staff Report Status: Agenda Ready
File created: 2/18/2016 In control: Planning Commission
On agenda: 3/3/2016 Final action:
Title: SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar for informational purposes only.

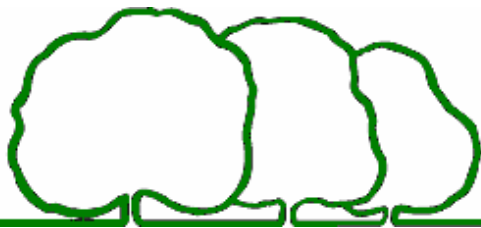
Sponsors:

Indexes:

Code sections:

Attachments: [A - PC Long Range Calendar Prepared February 19, 2016](#)

Date	Ver.	Action By	Action	Result
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City of Woodland

MEMORANDUM

TO: Members of the Woodland Planning Commission
DATE: March 3, 2016
SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar for informational purposes only.

Staff Contact

Debbie Flemmer, Admin. Secretary - (530) 661-5818, debbie.flemmer@cityofwoodland.org

BACKGROUND:

This calendar is being provided for planning purposes only and is intended to keep the Commission apprised of upcoming agenda items and better plan for upcoming Planning Commission items.

ATTACHMENTS:

Attachment A - Planning Commission Long Range Calendar Prepared February 19, 2016

PLANNING COMMISSION LONG RANGE CALENDAR

Items subject to removal and/or rescheduling

February 19, 2016

February 18, 2016	10-Day Notice	Report Due
Day Care Commerce Drive CUP	Yes	
Produce Market Public Art review		
March 3, 2016	10-Day Notice	Report Due
Cal West Design Review/Lennar(?)		2/17
March 17, 2016	10-Day Notice	Report Due
Digital Signs CUP ?	Yes	3/2
Prudler FEIR/GPA/TM (?)	Yes	3/2
Spring Lake Central Large Lot Map	Yes	3/2
Pioneer High Cel Tower CUP	Yes	3/2
April 7, 2016	10-Day Notice	Report Due
Affordable Housing Amendments	Yes	3/30
Auto Dismantler IS/MND and CUP	30-Day	3/30
April 21, 2016	10-Day Notice	Report Due
Ashley and Main 9 lot parcel map	Yes	
May 5, 2016	10-Day Notice	Report Due

FUTURE AGENDA ITEMS – DATE TO BE DETERMINED:

General Plan Updates
Public Art Ordinance
Affordable Ordinance amendments (April?)
Marijuana Cultivation (April?)
Oyang N GPA/SP/TM/DA (March/April?)
Oyang S GPA/SP/TM/DA (March/April)
Kamilos 150
Woodland Commerce Center Annexation and EIR?
Zoning updates, small code clean ups

SUBCOMMITTEES

General Plan
Zoning Subcommittee
Public Art
Design Liaison

CITY COUNCIL

PLANNING COMMISSION LONG RANGE CALENDAR

Items subject to removal and/or rescheduling

GP Update – 3rd progress report update

Cultivation Ordinance Urgency Ordinance– 2/16

Mercy Housing - 3/1

Hotel DDA/CUP – 3/15?

Bullseye – continued

HISTORIC PRESERVATION

Work Program

Pearson's Exterior Remodel

Heritage Home Awards