



City of Woodland

Meeting Agenda - Final

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695

530-661-5820

Thursday, December 1, 2016

6:30 PM

Council Chambers

Please Note: The numerical order of items on this agenda is for convenience of reference; items may be taken out of order. No new items shall begin after 10:30 pm unless unanimous consent exists to continue.

A. Call to Order

B. Roll Call

C. Pledge of Allegiance

D. Staff and Commissioner Comments

This is an opportunity for the Planning Commission members and staff to make comments and announcements to express concerns, or to request Commission's consideration of any items a Commission member would like to have discussed at a future Commission meeting..

E. Subcommittee Reports

F. Communications from the Public

This is an opportunity for the public to speak to the Commission on any item other than those listed for public hearing on the agenda. Speakers are requested to use the microphone in front of the Commission and to begin by stating their name, whether they reside in Woodland and the name of the organization they represent if any. The Commission may impose a time limit on any speaker depending on the number of people wanting to speak and time available for the rest of the agenda. In the event comments are related to an item scheduled on the agenda, speakers may be required to wait to make their comments until that item is considered.

G. Approval of Minutes

[16-843](#)

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meeting of October 20, 2016.

Attachments: [A - October 20, 2016 Meeting Minutes](#)

[B – October 20, 2016 Comment Hearing Staff Notes](#)

[16-844](#)

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning

Commission receive the Staff meeting notes of the Planning Commission meeting of September 1, 2016.

Attachments: [A - Staff Notes of Woodland PC GP Meeting 9-1-16](#)

H. Public Hearing

[16-834](#)

Dutch Brothers Conditional Use Permit/Design Review: Request for a Conditional Use Permit to allow the construction of an 800 square foot drive-thru coffee kiosk on 0.81 acres at 2030 Trade Court in the Entry Overlay - Highway Commercial Zone.

Location: 2030 Trade Court

Applicant/Owner: Alan Chambers, Third Shoe Inc. / Hiten Suraj, Q Investments LLC

Environmental Report: Class 3 Categorical Exemption (CEQA Guidelines, §15303)

APN 027-851-003

Project Planner: Jeff Ballantine, Associate Planner and Chase Dariso, Planning Intern

Staff Recommendation: Approval with Conditions

Attachments: [1 - Resolution & EXH A & B](#)

[2 - General Application](#)

[3 - Supplemental Plans](#)

I. Business Items

Items for Planning Commission discussion and/or action that do not require public hearing.

[16-841](#)

SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar for informational purposes only.

Attachments: [A - Planning Commission Long Range Calendar Prepared 11-21-16](#)

J. Staff or Commissioner Comments

Continued as needed.

Receive Absence Requests.

K. Adjournment

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



Legislation Details (With Text)

File #: 16-843 **Version:** 1 **Name:**
Type: Minutes **Status:** Agenda Ready
File created: 11/21/2016 **In control:** Planning Commission
On agenda: 12/1/2016 **Final action:**
Title: SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meeting of October 20, 2016.

Sponsors:

Indexes:

Code sections:

Attachments: [A - October 20, 2016 Meeting Minutes](#)
[B – October 20, 2016 Comment Hearing Staff Notes](#)

Date	Ver.	Action By	Action	Result
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Planning Commission Minutes

TO: Members of the Woodland Planning Commission

DATE: December 1, 2016

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission adopt the minutes of the Planning Commission meeting of October 20, 2016.

STAFF CONTACT: Debbie Flemmer, Administrative Clerk, Community Development Department

ATTACHMENTS:

Attachment A - October 20, 2016 Meeting Minutes

Attachment B - October 20, 2016 Comment Hearing Staff Notes



City of Woodland

Meeting Minutes - Draft

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695
530-661-5820

Thursday, October 20, 2016

6:30 PM

Council Chambers

A. Call to Order

Meeting was called to order at 6:31 pm

Staff present:

Ken Hiatt, Director

Cindy Norris, Principle Planner

Heidi Tschudin, GP Consultant

B. Roll Call

Present 7:

*Chairman Kirby Wells, Vice Chairman Chris Holt, Commissioner Steve Harris,
Commissioner Marco Lizarraga, Commissioner Fred Lopez, Commissioner John
Murphy, Commissioner Elodia Ortega-Lampkin*

C. Pledge of Allegiance

D. Staff and Commissioner Comments

E. Subcommittee Reports

F. Communications from the Public

G. Approval of Minutes

H. Public Hearing

[16-781](#)

SUBJECT: Public Comment Meeting on Draft Environmental Impact
Report for the 2035 General Plan and Climate Action Plan

DATE: October 20, 2016

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Receive a staff report summarizing the Draft Environmental Impact Report (DEIR) for the 2035 General Plan and Climate Action Plan (CAP); and

2. Provide an opportunity for the public to provide verbal comments on the DEIR (released September 15, 2016 under separate cover).

Staff notes taken.

[16-768](#)

SUBJECT: Public Comment Meeting on the Draft 2035 Climate Action Plan

DATE: October 20, 2016

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Receive a staff report summarizing the Draft 2035 Climate Action Plan (CAP); and

2. Provide an opportunity for the public to provide verbal comments on the CAP (released September 15, 2016 under separate cover)

Attachments: [Summary Table for 2020 and 2035 CAP rc.docx](#)

Staff notes taken.

I. Business Items

J. Staff or Commissioner Comments

K. Adjournment

Meeting adjourned at 8:27 pm

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.

WOODLAND CITY COUNCIL
OCTOBER 20TH, 2016 COMMENT HEARING

Draft EIR and CAP
Notes

PRESENT

Planning Commission Members: K. Wells, S. Harris, M. Lizarraga, C. Holt, J. Murphy,
E. Ortega-Lampkin, F. Lopez
Staff and Consultants: Ken Hiatt, Cindy Norris, Roberta Childers, Heidi Tschudin

Draft EIR Comments (Legistar 16-781)

Commissioner Questions

Commissioner John Murphy: When the environmentally superior method is chosen, in that case we do not consider the no project alternative right?

Response, Heidi Tschudin: When the environmentally superior project is the no project then the next environmentally superior project is considered environmentally superior. That alternative was the south alternative.

Commissioner Chris Holt: Is the council still choosing which general plan the city will move forward with?

Response, Ken Hiatt: Yes, the council will choose which plan or a combination of two.

Commissioner Chris Holt: How does the streamlining process work if a developer wants to develop a different mix of properties or more properties in the east or south alternative? What if they want to change that balance?

Response, Heidi Tschudin: When a project is consistent with general plan it can rely on general plan EIR itself and climate action plan to move forward. The extent of streamlining depends on the project.

Commissioner Chris Holt: What is the process if we go with one alternative and 5 years later the other one comes back and says "We want to go", the others are not moving?

Response, Heidi Tschudin: The general plan is not a static document which is why we have a generous amount of general plan amendments. If an opportunity wishes to explore an opportunity you can have a general plan amendment. If a dramatic change happens in a few years, a large amendment can take place.

Response, Ken Hiatt: We would evaluate the amendment and do an additional project EIR.

Commissioner Chris Holt: As we decide whether to go south or east does the EIR get stripped of irrelevant information?

Response, Ken Hiatt: The EIR is static.

Commissioner Chris Holt: If we go with south but in a few years we go with east, will east be able to use the EIR?

Response, Ken Hiatt: Yes, we will know that we have got some initial analysis.

Commissioner Marco Lizarraga: We have done this before, where we phased and promised amendments for projects before so the answer is in our history already.

Public Comments

CHRISTINE SHEWMAKER

- She is interested in climate change and sustainability. She is also concerned that the No-Project Alternative is stated as worse for the CAP. Slower growth should not be bad. (Table 5-24)
- Surprised by the closeness of the air quality impacts for the two alternatives (Chapter 4-3 and 4-5). In the east construction of the new interchange and new flood work should be considered in the construction impacts analysis. In the east alternative, construction impacts must be considered.
- Table 4-2-8 comparing Ag acres for SP-A1 looks incorrect.

EVELIA GENERA

- Focused her comments on hydrology, water quality and flooding review.
- Pg 4.9-23 AB 162- amend land use to address flood related matters. Make sure we are consistent for government, regional (county), and local code. Limit development in flood prone areas. There are huge implications in accepting a plan that develops into 100-year flood zone, especially for a land owner who pays flood protection insurance.
- 4.9-25 to 27 county policies. No development in deep flood (Policy 8.B.3)

Commissioner Comments

COMMISSIONER CHRIS HOLT

- Quite a document, very long but very well written. Concerned with the equal weight analysis of East and South. It is dangerous for us to go so low for the east.
- Concern about the low development assumption for SP-2

- Would like the EIR to show realistically that if they go east, that growth could exceed 7,000 dwelling units. It was the will of the community to cap it at 7,000 units but east would likely exceed that. 14,000 is more realistic and would still keep us below neighboring communities.
- He listed growth numbers for other communities between 2000 and 2010
 - o Davis 60,308 – 65,322 – 8.8%
 - o Folsom – 7100+ units 39%
 - o Rocklin – 7,470+ units, 56%
 - o Roseville – 14,000 units, 49%
 - o Elk Grove (33,000 units)

COMMISSIONER MARCO LIZARRAGA

- Development will be based on current market and resources. Numbers from other communities are irrelevant. We cannot compare ourselves to Folsom. We thought spring lake would explode and it did not. He is not fearful of explosive growth.

COMMISSIONER JOHN MURPHY

- Everything is within our control. Commissioner Holt's comment has merit. East assumes 25% of the area developed. 25% may not be enough to support the necessary infrastructure costs.

Climate Action Plan Comments (Legistar 16-768)

Commissioner Questions

Commissioner John Murphy: Our climate action plan is a city wide plan, so if we had zero size change we would still need to meet a reduction even if the population does not change?

Response, Cindy Norris: Yes, that is correct

Commissioner John Murphy: You lost me when you began talking about goals on a per capita basis as opposed to net basis for the city. Will the per capita rate achieve the city wide goal at the same 2020 and 2035 periods? We cannot know what the land use decisions are going to be so how do we make those predictions?

Response, Roberta Childers: In the 2020 scoping plan, the state has laid out many different sector and admins related to those structures. Many of those, we have no control over, such as mining for example. However, the city does have control over land use. The state looked at state wide population and jobs related to the land uses. The state looked at the GHG emissions related to 2035. That is where the number comes from. That number (2.25 per service area) remains regardless of our local or service job growth. The city of woodland is aiming for certain total numbers for population and job growth. The number will be adjusted accordingly.

Commissioner Marco Lizarraga: AB 32 codifies a goal to reduce GHG emissions. Are we considering that at all?

Response, Roberta Childers: We are considering all the goals including statewide goals all the way to 2050.

Commissioner Marco Lizarraga: The city could be far more aggressive. We should have more solar power and electric vehicles.

Commissioner Chris Holt: Regarding the calculations of metric tons for GHG emissions, we estimated closely for east and south alternatives in our general plan. Is the estimation based on population?

Response, Roberta Childers: Estimation is based on population and job growth assumptions.

Commissioner Kirby Wells: When we went through the items for the ab 32, we went through two different time frames. 1990 and 2005. Do we use 2005 across the board or does it vary for which document we are referring to?

Response, Roberta Childers: 2005 is the standard.

Comments

CHRISTINE SHEWMAKER

- Interested in climate action plan and renewable energy. I noticed the renewable energy target for 2020 is 16 percent instead of 35 percent in the preliminary target and that is a big difference. It should be emphasized as a positive thing that we are aiming for megawatts. As woodland explores becoming a part of the CCE, our renewable energy goals should be specific and apart of the discussion.
- Chapter 5 implementation and monitoring chapter is good. I suggest you add someone to identify all agenda with climate action impact. Example: purchase of new fleet vehicles should be flagged and brought up at city council meeting.
- I urge the city to step up and be a role model and say that 2035 the city will be using 100 percent renewable energy instead of 80 percent.

COMMISSIONER CHRIS HOLT

- Yes, it is very readable. When you look at the east alternative and remove the 7000-unit cap, the GHG difference between the two alternatives goes up very quickly. Despite our best efforts to get complete neighborhoods developed and a second town center, it may not happen. If it does not happen these numbers get even more disparate. We are not over reacting. The elements laid out of the table for us to make these decisions make a huge difference.

COMMISSIONER MARCO LIZARRAGA

- Mr. Holt and I disagree a lot here. We cannot predict things. Technology has incredible potential. The market will help up cap GHG. We need to focus on electric cars and solar panels like many developers have been.



Legislation Details (With Text)

File #: 16-844 Version: 1 Name:
Type: Minutes Status: Agenda Ready
File created: 11/21/2016 In control: Planning Commission
On agenda: 12/1/2016 Final action:
Title: SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission receive the Staff meeting notes of the Planning Commission meeting of September 1, 2016.

Sponsors:

Indexes:

Code sections:

Attachments: [A - Staff Notes of Woodland PC GP Meeting 9-1-16](#)

Date	Ver.	Action By	Action	Result
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Planning Commission Minutes

TO: Members of the Woodland Planning Commission

DATE: December 1, 2016

SUBJECT: Planning Commission Minutes

RECOMMENDATION: Staff recommends that the Planning Commission receive the Staff meeting notes of the Planning Commission meeting of September 1, 2016.

STAFF CONTACT: Debbie Flemmer, Administrative Clerk, Community Development Department

ATTACHMENTS:

Attachment A - Staff Notes of Woodland Planning Commission General Plan Meeting 9-1-16

**Woodland Planning Commission General Plan Meeting
September 1, 2016 – Meeting Notes**

Discussion is by Chapter in the General Plan in reverse order.

8. Housing Element (2013 – 2021)

Planning Commission Questions:

John Murphy: What is the period to meet the Regional Housing Needs Allocation (RHNA)?

Response: Every 8 Years

Elodia Ortega-Lampkin: What is the difference in this element from previous Housing Element?

Response: Density and designation of land uses

Chris Holt: Can we accommodate all of RHNA under SP – 1A and other infill, projected at 7,000 dwelling units?

Response: Yes

Chris Holt: Is the 2,000 units in additional to the total?

Response: Yes, it is based on vacant and underutilized parcels

Public Comments:

Christine Shewmaker: I want to keep housing at Zero Net Energy (ZNE). Section 9-5 talks about reducing energy usage, but I would like the goal to be ZNE, and consistent throughout the document.

Evelia Genera: The Urban Limit Line (ULL) was determined prior to the General Plan. I am concerned with housing moving east because there is no flood solution. Office commercial is an option for this area, but it is not realistic for the next 10-15 years. I recommend going with plan to south as this land was already designated for future growth.

Planning Commission Comments:

John Murphy: Supportive of this document. Interested in senior and affordable housing sprinkled throughout the City.

Chris Holt: This is a good chapter, and does a decent job of accommodating for new housing units.

7 Safety Element

Planning Commission Questions:

Fred Lopez: What is the timeframe for regulating rail storage of hazardous materials? There is no fencing or protection for the public and needs to be addressed.

Marco Lizarraga: Are downtown buildings retrofitted for seismic protection?

Response: Current stock is largely not compliant but as they are redeveloped, they are required to be brought up to current Building Code requirements.

Chris Holt: That is required as part of a building permit, right?

Response: Yes

Public Comments

Tim Tarron: Policy 8.B.3 (Page 8.25) is workable but is not consistent with the Land Use Element. State Law indicates that you can approve a Specific Plan as long as you condition it before building development occurs. However, this policy states that a Specific Plan cannot be approved unless a flood solution is approved and funded. I recommend avoiding placing unnecessary constraints on development.

Planning Commission Comments:

John Murphy: On page 8-40, suggest encourage storage, tank farm, and truck ladder facility to relocate away from Main Street and to move out of high tax areas.

Conservation and Open Space Element**Planning Commission Questions:**

Chris Holt: Section 7-4 on page 7-26, when were the farmland maps prepared? Where did the definitions come from?

John Murphy: Farmland maps are updated for the entire state every 2 years, and they provide information on irrigation patterns.

Public Comments

Phil Hogan: I work with the USDA Soil Conservation Service. The farmland map for Yolo County was prepared in 2014. The soil survey for Yolo County can be accessed on an online database.

Yolo latest data: soil survey for Yolo – all data database

Glen Barton: Generally supportive of the General Plan, but cannot support the odor buffer between County Road 102 and the Water Pollution Control Facility. This puts my entire property in the buffer and I would like the buffer to be narrowed. I have owned this property since 1949. Winds generally travel from north or south. Policy 2.L.5 requires me to pay for an odor study for the City or provide odor mitigation. City should have provided the mitigation during the plant upgrade.

Glen Barton: Objects to rail relocation within 0.5 mile of County Road 102 as it is too close to the City.

Glen Barton: Is it the intent of the City to surround my property without the benefit of my property being in city limits?

Christine Shewmaker: City should discourage fossil fuel and natural gas consumption. Policy 7.F.5 – (“Encourage electricity on exterior of new homes”) does not discourage the use of natural gas. There are no active natural gas wells in the City but there wells in the planning area. Page 7-43 – GHG’s “emitted as a result of fossil fuel”

Cesar? – Family works at PCP, supportive of the SP that protects prime agricultural land. Developers should pay for any needed improvements.

Planning Commission Comments:

John Murphy

- Clarify – not allowing gas outlets would be to discourage gas barbecues? Isn't gas better than charcoal?
- Treated wastewater can be used as a resource for habitat development, and other City benefit.
- Urban Forest. Same standard does not hold throughout the entire City. Standard needs to reflect the fact that tree spacing differs based on underlying soil.
- Open space – why is open space located in this Chapter and also in the parks section. Open space is not parkland and all open space discussion should be located here and not in the parks section.

Chris Holt – Figure 7-4 farmland

- Placing undue value on prime farmland versus farmland of state wide importance. The only difference between these two designations is active irrigation or active crops. SP-2 also has important soils.

Healthy Communities (Ch. 6)

Planning Commission Questions:

John Murphy: Map on p. 6-29 is incorrect for land on east side, shows complete center and sport park (east end not developed), double check acreage numbers.

Public Comment:

Lorili Ostman – California Agriculture Museum, would like it to be considered under the arts.

Planning Commission Comments:

John Murphy: Try to get students to walk to and from school, “guarantee a safe trip home (Berkeley).” Maybe seniors or volunteers could assist.

John Murphy: Question on p.6-23 what is the definition of supermarket?

John Murphy: Arts – We have a policy for arts; Community Development should require developers to provide the art or pay in lieu fees. This policy should apply to larger more centrally placed art, not piecemeal. We should do better with in lieu fees.

Fred Lopez: In-lieu fee for art places undue pressure on small buildings. We should discuss this another time.

Chris Holt: agrees with John Murphy regarding the art in-lieu fee. We are currently working on the ordinance.

John Murphy: P. 6- 31 Yolo County Fairgrounds – we should actively say relocation of the fairgrounds is a goal of the city but it won't happen unless the city wants it to. It would be an ultimate infill opportunity.

Fred Lopez: Environmental Justice, where does this comment come from?

Response: It is a planning and a legal term.

Steve Harris: Fairgrounds would be great opportunity for infill development, state property, used to be on the outskirts of the town, now in the middle.

Public Services and Facilities (Chapter 5)

Planning Commission Questions:

Steve Harris: Schools have digital signs but they don't need to consider City requirements. We should have them come through the same process as everyone else.

Marco Lizzaraga: How extensive is the city's broadband network?

Response: City has average speeds. We have identified strategies to try to get better speeds, but it is ultimately up to the private sector, as it is not municipal infrastructure.

Chris Holt: Safety facility for police and fire – let's discuss east versus south.

Response: growth in East would require a fifth fire station. Other growth proposed in the General Plan could be served with a fourth fire station. For Police, no new headquarters would be needed for any of the growth scenarios. SP-2 would require an addition Police beat, however.

Public Comment:

Christine Shewmaker: prepared a table that compares East versus South for Fire and Police. She favors South as East require extra Police and Fire. Also, Goals 5F through 5L only mention energy efficiency; Zero Net Energy should apply to both public and private projects.

Planning Commission Comments:

John Murphy

- For Parks and Recreation, ratio of 6 to 5 acres per 1,000 people is fine but grossly misrepresents acreage by including undeveloped area, such as regional parks.
- Policy 5.C.2, add language to assure City is committed to completing those facilities.
- Policy 5.C.9, greenbelts should not be included in park calculations. Also, remove cemeteries.
- 5.C.12 Add "drinking fountain"
- Schools - Why is the Woodland classroom load so much higher than state? Suggests an overabundance classrooms is not optimal.
- Policy 5.E.1 – P.37 Suggests that the school district work with city and developers for infill opportunities at school sites, and potentially relocate schools.
- Public utilities, is it legal to explore uses of recycled water in other parts of town
 - o Response: it can be used for parks but not fire suppression (pressure issue)
- 5.K.3 – Undergrounding– broaden to existing parts of town, including high tension wires on County Road 102.
- City to set a target for percent energy used/developed, would like to see more targets

Chris Holt: who bears cost for up front install and maintenance of infrastructure?

Response: developer funds roads, etc. through financing and we require ongoing maintenance costs be largely born by those that benefit. Police and Fire are often covered through facilities districts in new development for incremental cost. We could use fiscal impact analysis to analyze this.

Chapter 4 Economic Development

Planning Commission Questions:

Steve Harris – going back to roots regarding agriculture is important

John Murphy – Figure 4-3 (Tax Rate)

- What tax? City to target high value areas?
 - o Response: Property tax. Yes.
- Any difference for sales tax?
 - o Response: No
- Annexation agreements that have TOT tax sharing

Planning Commission Comments:

John Murphy – Figure 4.3

- Seems like city should affirmatively state that they want high value properties in those high tax areas. North of Main Street and East of East Street.
- Potential for infill – relocate low value areas outside high tax areas
- Housing authority – why sandwich them next to industrial area?
- P.4-20 L&L & Facility Districts, unfair that old part of town does not pay into these.
- Goal should be to extend districts to City wide districts to have everyone pay
- Attract businesses – businesses want standardized test scores, coordinate with school to improve underperformance
- What can the city do regarding schools?
 - o Response: Cities do not have jurisdiction over schools. There are creative opportunities to partner and tell stories, need to send the message that quality education is out there. Need to share the same focus and be more efficient. Woodland has a perception issue with their schools. We need to give kids work force skill set. It takes good leadership.

Elodia Ortega-Lampkin – proud of the local schools and they are a reflection of the community. Need to work on mental health, affordable housing, and stronger economy.

Marco Lizarraga - agrees with Elodia Ortega-Lampkin, schools are doing well

Steve Harris – Clarification

- helping to message better
- help to invest, takes a lot of effort and meaningful partnerships
- workforce development – partnering – curriculum development

Chris Holt -

- Figure 4-1, lack of contrast, where is key to the map, highlight the labels
- ED 4-9 wants to support full growth of jobs, this is a very robust number, very optimistic
- # of jobs in each alt very close
- Figure 4-3 – 25 % tax area correlates with the new mixed use corridor

Fred Lopez – Vocational education training has gone away and there is little skilled labor available now.

Steve Harris – Yes, those opportunities have gone away. Not every child has to go to college.

Elodia Ortega-Lampkin – common core is about getting kids ready for college and career. Values aligning businesses with schools and collaborating with businesses.

Chapter 3 Transportation

Planning Commission Questions:

Fred Lopez

- Is there any budget for the rail relocation?
 - o Response: No. City did an economic impact assessment if rail was relocated and identified economic benefits. Funding strategy cities and county might pursue. Very long-term and complicated. West Sac benefits the most.
- Yolo County Transit Authority completed short term transit analysis and will be doing a study to assess the location in downtown for a multi-modal transit center.

Public Comment:

Christine Shewmaker – Next Gen transportation – focused on zero emissions

- Priority alternative transport with cars as the last alternative
- Bikeways and bike infrastructure important and need to be strengthened
- Bikes as commuting (how we get to work), bike paths on 113 to Davis
- Easy access to Amtrak on public transportation not currently available
- P 3.34 ED on alternative fuels for trucks, greening the City
- Need aggressive goal on EV charging station

Planning Commission Comments:

Elodia Ortega-Lampkin – likes talk on environmental issues, younger generation more open to alternative transportation

John Murphy

- He has no problem with slowing traffic more on Main Street
- Likes bike path versus bike lanes. Prefer bike path because no one uses bike lanes. (safer)

Steve Harris – does not ride because there is nowhere to park bikes, downtown not accommodating to bike parking. People have forgotten how to walk, re-educate about walking. Relocation of tracks, feel the tracks divide our community.

Chris Holt – we should keep pushing on rail relocation. Bike path/trail (separated bike path best). Policy 3.A.13 – only mention of connection between 113 N to 550.

Chapter 2 Land Use

Planning Commission Questions:

Steve Harris – Code Enforcement, some properties need attention. Fencing around houses/ boarded up/ weeds.

Chris Holt

- Pg. 2.10 2.B, how do we define substantially complete?
 - o Response: intended to be general to allow for evaluation at time and allow flexibility.
- Pg. 2-69, Policy 2.L.5 and 6, requiring SP3A to finance infrastructure upgrades and not the same requirement for SP-2?

- o Response: we can fix the language

Public Comment:

Tim Tarron

- 2.B.2 – Allow project to apply with conditions to be consistent with SB5
- 2.B.1 – Feel it should be deleted, artificial trigger, many other policies allow consideration of other impacts
- 2.L.1 – Triggers should be deleted

John – Work that might be done

- SP Plan needs a 404 permit and consultation with F & G (Federal and state permits)
- Feels you have to let things run concurrently

Jim Gillette – Chamber – general feedback – very positive

- Ratio 1:1 for mitigation of like for like or 2:1 depending on location
- Sliding scale needed, concept included in general plan
- Fairgrounds – overlay to encourage trade, have it shown with a land use that adds value
- South versus East, time to process entitlements, no need for artificial barriers to development. 7000 unit cap with EIR is all we need.

Christine Shewmaker – zero net energy – consistent throughout, G2.C, apply to all SPs

- Gave SP 2 a green leaf, not others
- South versus East – referred to her table, she is a scientist, she supports south slowly
- Sustainability, sense of community, maintain core of woodland, take care of what we have
- Think it is good to have phasing
- Infill and SP 1A is 6150 units, that is enough
- SP 2 would be a separate town, keep us all together
- DIER will tell use more
- Sense of community – walkability
- Sustain – more emissions driving at interchange

John Hodgkin – Hodgkin (brief update on SP 1A woodland research park, 350 UC, Designer AE COM

- In both alternatives, infrastructure already provided in ULL and SOI
- Research park mixed use: campus setting, innovation, retail, etc.
- Take advantage of ag tech, and potential of UCD (5 miles away), great jobs, 1000's of high tech jobs, will provide revenue to City and County
- Specific Plan consistent with current and General plan 2035

Mona Schulman – PCP –

- PCP jobs may be at risk, but not due to spray fields, drought, market, other factors
- Keep working with city on long term place for growers of crops

Planning Commission Comments:

John Murphy –

- Orderly growth, small town character at odd with having ultimate flexibility.
- East st corridor, west main corridor
- 2 -51 drive through windows

- o Response General Plan can go beyond SACOG, How we grow – blueprint supports job housing balance

Chris Holt – out of the joint meeting – idea of total flexibility, what are the legal issues?

Response: None, more likely to be CEQA issues, we built flexibility into the EIR

Steve Harris – Wants option for City to make decisions for future. Lets not miss an opportunity that makes us better. Options are important. Up to City to control them.

Chris Holt – do not feel that SP-2 is in line with our goals, east is sprawl, not sustainability, satellite city, infrastructure cut off

Introduction

Public Comment

Christine Shewmaker – I like Ch.1 1.2

- Extend climate change or add sustainability to more of the guiding principles

Implementation Table

John Murphy – in every case, need to describe how action will be funded



Legislation Details (With Text)

File #: 16-834 Version: 1 Name:

Type: Public Hearing Item Status: Agenda Ready

File created: 11/17/2016 In control: Planning Commission

On agenda: 12/1/2016 Final action:

Title: Dutch Brothers Conditional Use Permit/Design Review: Request for a Conditional Use Permit to allow the construction of an 800 square foot drive-thru coffee kiosk on 0.81 acres at 2030 Trade Court in the Entry Overlay - Highway Commercial Zone.

Location: 2030 Trade Court

Applicant/Owner: Alan Chambers, Third Shoe Inc. / Hiten Suraj, Q Investments LLC

Environmental Report: Class 3 Categorical Exemption (CEQA Guidelines, §15303)

APN 027-851-003

Project Planner: Jeff Ballantine, Associate Planner and Chase Dariso, Planning Intern

Staff Recommendation: Approval with Conditions

Sponsors:

Indexes:

Code sections:

Attachments: [1 - Resolution & EXH A & B](#)
[2 - General Application](#)
[3 - Supplemental Plans](#)

Date	Ver.	Action By	Action	Result
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City of Woodland

Planning Commission

Dutch Brothers Conditional Use Permit/Design Review: Request for a Conditional Use Permit to allow the construction of an 800 square foot drive-thru coffee kiosk on 0.81 acres at 2030 Trade Court in the Entry Overlay - Highway Commercial Zone.

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Staff Recommendation: Approval with Conditions

General Plan Designation: Highway Commercial (HC)

Current Zoning: Entry Overlay - Highway Commercial (EOZ-CH)

Specific Plan Designation: Not applicable

Existing Land Uses: Remainder development pad currently used for parking within an existing commercial shopping center.

Flood Zone: AE - Flood hazard areas subject to inundation by the 1% annual chance flood, FIRM Community Panel Number - 06113C0465H Revised May 16, 2012.

Street Access: Trade Court

Adjacent Land Uses & Zoning:

<u>DIRECTION</u>	<u>LAND USE</u>	<u>ZONING</u>
North	Gas station and Restaurant	EOZ-CH
South	Interstate 5	EOZ-CH
East	Vacant	EOZ-CH
West	Gas station	EOZ-CH

Pending/Potential Action

Staff recommends that the Planning Commission adopt the attached resolution (Attachment 1):

1. Approving the proposed Conditional Use Permit for an 800 square foot drive-thru restaurant at 2030 Trade Court; and
2. Approving the Site Plan and Design Review application as depicted in the plan dated 11/18/2016 based on the findings and subject to the conditions of approval.

Project Site Description

The project site is currently a vacant parcel with a utility tower located onsite. The Interstate 5 interchange is located south of the project site. An Arco gas station and the Gateway Crossing commercial center are each located west of the project site. North of the project site consists of a Jack in the Box restaurant and a Chevron gas station. East of the project site consists of a vacant parcel. The project site consists of 0.81 acres of land that is accessed from Freeway Drive.



Project Proposal

The applicant is requesting approval of a Conditional Use Permit, including site plan and design review, to allow the construction and operation of a drive-thru restaurant (Dutch Brothers) at 2030 Trade Court in the Entry Overlay - Highway Commercial Zone. The proposed restaurant will include a service area, cooler, drive-thru window, storage rooms, and bathroom.

Public Notification

Public notice advertising for the public hearing on this project was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Woodland's Municipal Code and State Planning Law. Two methods of public notice were used:

- Legal notice was published in the Woodland Daily Democrat on or before Friday, November 18, 2016.
- Notices were mailed to all property owners within 300 feet of the project site on Thursday, November 17, 2016.

Copies of the factual staff report for the proposed project have been on file at City Hall since Wednesday, November 23, 2016.

Applicable Laws, Codes & Ordinances

The project is subject to several laws, codes, and ordinances:

- The California Environmental Quality Act (CEQA)
- The City of Woodland General Plan
- The City of Woodland Zoning Ordinance
- The City of Woodland Community Design Standards

Environmental Assessment Status

The project qualifies for a categorical exemption from the provisions of CEQA as the project is considered a Class 3 exemption (CEQA Guidelines, §15303). CEQA identifies this as a Class 3, New Construction or Conversion of Small Structures and is listed in Title 14, Division 6, Chapter 3, Article 19 §15303 of the California Code of Regulations. Item (c) within §15303 applies to restaurants not exceeding 2,500 square feet in floor area and not involving the use of significant amounts of hazardous substances. The proposed drive-thru restaurant meets the requirements of this exemption since it is 800 square feet and does not propose using significant amounts of hazardous substances. In addition, the project is located within Woodland City Limits and is surrounded by urban development.

Reviewing Agency Comments

The project has been circulated to other City divisions and departments for review. All reviewing comments have also been integrated into the conditions of approval.

Staff Analysis

Staff supports this project based on the attached conditions of approval and provides the following analysis for the conditional use permit request:

GENERAL PLAN CONSISTENCY

The 2002 General Plan (GP) designation for the site is Highway Commercial (HC) which provides for areas adjacent to freeway interchanges for uses which serve the traveling public and other limited commercial uses that need freeway exposure or enhance the entrances into the city. The maximum allowable Floor Area Ratio (FAR) applicable to Highway Commercial land uses is 0.50. The project has a FAR of 0.07. The proposed project is consistent with the City's General Plan.

ZONING CONSISTENCY

Land Use

The zoning designation for the site is Entry Overlay - Highway Commercial (EOZ-CH), which provides standards for properties located within the Entry Overlay as well as the Highway Commercial zones. The purpose of both the Entry Overlay and the Highway Commercial zones is to provide areas adjacent to freeway interchanges for uses which serve the traveling public and other limited commercial uses that need freeway exposure or which enhance the entrances into the city. In addition, the Entry Overlay zone is meant to encourage a creative and more efficient approach to the use of land and to provide for greater flexibility in the design of integrated developments than otherwise possible through strict application of zoning regulations. Drive-thru establishments are allowed with a conditional use permit in the EOZ-CH zone. The proposed restaurant is consistent with the Zoning Ordinance.

Parking

Drive-thru restaurants are required to provide one parking space for each fifty square feet of gross floor area. Since the proposed drive-thru restaurant has 800 square feet of floor area, it would be required to provide 16 parking spaces. The proposal includes 24 parking spaces and complies with this minimum requirement.

Setbacks

The site plan for the proposed drive-thru restaurant shows the following proposed setbacks:

	Minimum Required Setbacks	Proposed Setbacks
Front Yard	20'	20'
Rear Yard	10'	30'
West Side Yard	0'	100'
East Side Yard	0'	30'

The proposal meets all of the zoning setback requirements.

Lot Coverage

Maximum lot coverage is fifty percent. This project will have seven percent lot coverage and complies with this requirement.

Landscaping

Article 22 of the Zoning Regulations addresses landscaping. The site plan indicates that perimeter landscaping is proposed surrounding the northern, eastern, and southern portions of the site with planters proposed adjacent to the building. The proposal includes a vegetated swale with 2 percent slope surrounding the parking area; a retention basin; and trees, shrubs, and groundcover dispersed throughout the project site. The applicant does not demonstrate that landscaping provides 40% shade coverage for the parking lot. However, the applicant is close to meeting this requirement, proposing 38% shade coverage for the parking lot, and the site is severely restricted because most of the parking lot is within a PG&E utility easement, due to an adjacent utility tower, which requires that trees no taller than 15 feet can be planted within this easement. Staff finds that the project meets the intent and substantially complies with the Zoning Regulations pertaining to landscaping.

Signage

Article 24 of the Zoning Regulations addresses signs. The project will require a separate sign application because details regarding area, materials, and colors of signage have not yet been provided.

COMMUNITY DESIGN STANDARDS

The proposed project includes a drive-thru lane and a walk-up service area. The building walls will be stucco, and will be painted grey with trim accents painted white. The roof parapet stucco will vary between blue and grey paint and will be topped by metal cap flashing painted blue. The drive-thru window and the walk-up window will be covered with roof overhangs. The applicant worked with City staff to incorporate the following additional elements: a trellis overhang on the north side of the building; brick on the bottom 2'6" of the building and covering the columns supporting the building overhangs; and trim on the roof line to add visual interest. The applicant has also included an outdoor seating area, per the request of City staff.

Staff finds that the proposed building design meets the spirit and intent of the Community Design Standards through the use of a variety of materials, colors and textures. The building design includes wall articulation and relief and incorporates large windows at the street level. Staff recommends approval of the proposed building design.

This design approval does not include analysis and review of proposed signs or public art. Public art shall be an original design. As this project involves new construction, public art is required and is to be approved by the Planning Commission and installed prior to Certificate of Occupancy. The applicant will be required to submit a proposed sign plan for review prior to installation of any future signage. Conditions have been added to address these review requirements.

Conditional Use Permit

Article 27 of the Zoning Regulations commencing with Section 25-27-01 addresses conditional use permits. The Planning Commission may approve, conditionally approve or deny an application for a conditional use permit; and in authorizing a conditional use, may impose such requirements and conditions with respect to location, construction, time period, maintenance, and operation, as deemed necessary for the protection of adjacent properties and the public interest, when reasonably related to the use of the property. Before granting any conditional use permit the Planning Commission shall be satisfied that, the proposed structure or use conforms to the requirements and the intent of this chapter and the General Plan.

Appeals

Any party adversely affected by the decision, the City Council, an individual city council member, or the city manager, may appeal any action of the Planning Commission to the City Council within fourteen (14) days after the action of the Planning Commission. No conflict of interest shall exist solely by reason of the filing of an appeal by the City Council, an individual city council member, or the city manager. Any such appeal shall be filed with the city clerk and, except an appeal by the City Council, a City Council member, or the city manager, shall be accompanied by a filing fee as prescribed by City Council resolution. Upon the filing of an appeal, the city clerk shall set the matter for hearing. Such hearing shall be held within thirty days after the date of filing the appeal. Within ten days, or at its next regular meeting following the conclusion of the hearing, the City Council shall render its decision on the appeal. (Ord. No. 1203, § 1 (Exh. A)(part); Ord. No. 1235, § 2 (part); Ord. No. 1261, § 2 (part); Ord. 1339, § 1 (part); Ord. No. 1350, § 1.).

Recommendation

Staff recommends approval of the project by making an affirmative motion as follows:

Motion #1: Move that the Planning Commission adopt Resolution No. PC 16-_____ in support of a Conditional Use Permit to allow the construction of an 800 square feet drive-thru restaurant on 0.82 acres at 2030 Trade Court in the Entry Overlay - Highway Commercial Zone.

ATTACHMENTS:

Attachment 1 - Planning Commission Resolution

Exhibit A - Conditions of Approval

Exhibit B - Site Plan and Elevations

Attachment 2 - General Application

Attachment 3 - Supplemental Plans

RESOLUTION NO. PC 16 - _____

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WOODLAND APPROVING A CONDITIONAL USE PERMIT,
INCLUDING SITE PLAN AND DESIGN REVIEW, FOR THE
CONSTRUCTION OF AN 800 SQUARE FOOT DRIVE-THRU
RESTAURANT ON 0.81 ACRES AT 2030 TRADE COURT IN THE
ENTRY OVERLAY – HIGHWAY COMMERCIAL ZONE.**

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on December 1, 2016, to review and consider a request for a Conditional Use Permit to allow the construction of an 800 square foot drive-thru restaurant on 0.81 acres at 2030 Trade Court in the Entry Overlay – Highway Commercial Zone.

WHEREAS, the proposed project conforms to the City of Woodland General Plan and Zoning Ordinance, in that use is conditionally permitted in the Entry Overlay – Highway Commercial Zone, is consistent with the zoning and general plan, and appropriate conditions have been made part of the approval; and

WHEREAS, the proposed use will not constitute a nuisance or be detrimental to the public welfare of the community, in that the intensity of the use is modest and the use would be consistent with existing and permitted uses in the area; all conditions and requirements deemed necessary and in the public interest have been or will be met as they have been imposed on the application approval to reduce the impact of the use on adjacent properties in the vicinity; and there are no significant privacy, noise, traffic, or parking concerns raised by the use; and

WHEREAS, the nature, intensity and condition of the proposed use is compatible with existing and adjacent uses and structures and appropriate for the site, in that the project is for a drive-thru restaurant, in the vicinity of another drive-thru restaurant and a retail shopping center; the project meets all applicant development standards; and appropriate conditions have been made part of the approval; and

WHEREAS, the proposed project substantially satisfies the design requirements and intent of the Community Design Standards for the development in the City of Woodland; and

WHEREAS, pursuant to the California Environmental Quality Act (“CEQA”), the proposed modified use is categorically exempt from further environmental review pursuant to CEQA Section 15303 which exempts new construction or conversion of small structures and includes restaurants not exceeding 2,500 square feet in floor area and not involving the use of significant amounts of hazardous substances.

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Woodland, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby recommend:

1. Approval of the proposed Conditional Use Permit for an 800 square foot drive-thru restaurant on 0.81 acres at 2030 Trade Court, based on the findings and subject to the conditions of approval, attached hereto as Exhibit A and incorporated by this reference; and
2. Approving the Site Plan and Elevations as depicted in the plans dated 11/18/2016, attached hereto as Exhibit B and incorporated by this reference, and as conditioned in Exhibit A.

PASSED AND ADOPTED by the Planning Commission of the City of Woodland at a regular meeting on the 1st day of December, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Kirby Wells, Chairperson

ATTEST:

Cindy Norris, Principal Planner

Exhibit A – Conditions of Approval
Exhibit B – Site Plan and Elevations

Exhibit A

Conditions of Approval

PLANNING

General:

1. The project is as described in the staff report prepared for the December 1, 2016, Planning Commission meeting to approve a Conditional Use Permit to allow the construction of an 800 square foot drive-thru restaurant on 0.81 acres at 2030 Trade Court in the Highway Commercial Zone. The project shall be completed in substantial conformance to the plans dated November 18, 2016, except as modified herein. The minimum number of required off-street parking spaces is 16. The minimum shading requirement for the parking area is 35% because of the PG&E easement on the site. Design changes that require modifications to uses, elevations, or site features shall be submitted for review and approval.
2. Secure approval and satisfy requirements of all agencies that have jurisdiction.
3. The applicant shall be responsible for informing all subcontractors, consultants, engineers, or other business entities providing services related to the project of their responsibilities to comply with all pertinent requirements herein in the City of Woodland Municipal Code, including the requirement that a business license be obtained by all entities doing business in the City.
4. The applicant shall defend (by counsel reasonably satisfactory to the City Attorney), indemnify, and hold harmless the City of Woodland, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul an approval of the subject application by the City, its legislative body, advisory agencies, or administrative officers. The City will promptly notify the applicant of any such claim, action, or proceeding against the City, and the applicant will either, at the City's discretion, undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City Attorney.
5. The site shall be developed and maintained in accordance with the approved plans which include site plans, architectural elevations, exterior materials and colors, landscaping and grading on file in the Community Development Department, the conditions contained herein, and Municipal Code regulations.
6. Outside storage of solid wastes, containers, merchandise or other items or goods awaiting pickup, sale or other distribution shall be prohibited except when screened to the satisfaction of the Community Development Director.
7. Applicant shall provide the Community Development Department with a check for the sum of \$25.00 made out to Yolo County to record the environmental document with Yolo County.

8. New business signage shall be subject to review and approval by the Community Development Director to ensure conformity with applicable Zoning Ordinance and Community Design Standards and shall be subject to all applicable building permit requirements prior to the commencement of work. Please be aware that signage is typically required to consist of individual letters.
9. The Conditional Use Permit shall not be issued until the appeal period has expired or final action on an appeal has been rendered.
10. The Conditional Use Permit must be exercised within one year of issuance, or it shall be null and void by act of law (Section 25-27-70).
11. Adequate lighting shall be provided at all building entrances and pedestrian walkways pursuant to the City Code and the requirements of the Police Department.

Required prior to Building Permit Issuance

12. At the time of submittal for building permit, Site Plan Review shall be performed by the Planning Division to ensure substantial compliance with the approved set of plans, pursuant to the requirements of Section 25-21-60 of the Zoning Ordinance. The building design, colors and materials of construction of all visible structures shall be reviewed and approved by the Planning Division prior to building permit issuance.
13. Prior to the issuance of building permits, the applicant shall include a Final Plan Set, with all conditions of approval incorporated or clearly listed on the plans. The conditions shall be printed on a full-size plan sheet(s). All plans, including site, grading, and civil, mechanical, and architectural elevations shall be coordinated for consistency prior to issuance of permits.
14. The site/ landscape plan shall be modified with the following which shall be shown on the Final Plan Set prior to the issuance of building permits subject to review and approval by the Community Development Director:
 - A. Accent paving (integral colored stamped concrete) shall be used to define and provide a more attractive entrance to the project site for the first ten feet of the entrance driveway. Accent paving shall also be used for the pedestrian walkway that connects the sidewalk to the restaurant.
 - B. Stucco shall have a light sand finish texture.
 - C. Demonstrate that landscaping and/or a low wall is sufficient to screen cars queued in line for the drive-thru from public Rights of Way and adjacent properties.
 - D. Provide outdoor seating adjacent to restaurant and show outdoor seating location and type on site plan. Outdoor furniture shall consist of high quality and durable material suitable for outdoor use. Faded and or damaged furniture shall be replaced in a timely manner. Provide manufacturer sheets for proposed furniture for Community Development Department approval prior to installation.
 - E. Revise proposed trees so that proposed trees that are adjacent to a street are on the City's Street Tree list and that other proposed trees for the parking lot to meet shade requirements are on the City's Tree List.

- F. Trees shall meet specifications described by PG&E for trees planted in the PG&E easement, mentioned subsequently in these Conditions of Approval.
 - G. Landscaping shall be provided to screen and visually subordinate parking areas from any public Right of Way or adjacent property.
15. Prior to issuance of a building or grading permit, Applicant shall submit detailed landscape plans that comply with the City's Water Conservation Ordinance and the State of California's Water Efficient Landscape Ordinance. The landscape architect shall document and attest to the compliance with the State ordinance on the final landscape plans.
16. If any trees are planned for removal, prior to issuance of a building or grading permit, and **prior to removal of any trees on site**, applicant shall provide a tree plan consistent with Section 20A-1-090 of the Municipal Code, which shall contain the following information:
- a. Contour map showing the location, size, species and condition of all existing trees which are located upon the property proposed for development;
 - b. Identification of those trees which the applicant proposes to preserve and those which are proposed to be removed and the reason for such removal;
 - c. A program for the preservation of street trees, heritage, specimen, landmark trees and trees with aesthetic value (trees with a nine-inch diameter or larger, measured fifty-four inches above the ground, in healthy condition) during and after completion of the development project, as required in the city standard specifications, engineering design standards, Section 8, grading and erosion control;
 - d. A program for the replacement of any trees proposed to be removed, as required by Municipal Code Section 20A-1-100; and
 - e. Any change in the trees to be saved and/or removed as designated on the approved development plan shall only be permitted upon the written approval of the director.
17. All roof mounted equipment shall be completely screened from view. If necessary, visual assessment of equipment and screening methods shall be provided to illustrate the visual impacts from public ways.
18. Trash receptacles shall be fully enclosed with materials that are architecturally compatible with the design of the main buildings. Enclosure(s) shall contain a roof to cover the enclosure to prevent rainfall from entering into containers and shall be of sufficient size and dimensions to accommodate recycling containers. Design elevations shall be provided to the Community Development Department for review and approval prior to issuance of building permit. Trash enclosures shall be landscaped and screened on three sides and built to City specifications.
19. A detailed on-site lighting plan shall be reviewed and approved by the Community Development Department prior to the issuance of building permits. Such plan shall indicate style, illumination, location, height, and materials of all lighting fixtures. Such plan shall also indicate photometric data that demonstrates that the parking area will meet one (1) foot-candle of minimum maintained illumination per square foot of parking surface, over the entire paved area. Lighting shall be constructed using sufficient poles and fixtures so that the lighting is evenly distributed over the surface area of the parking lot(s) and does not impact adjacent public and/or private properties.

The parking area shall be illuminated from dusk until the termination of business every operating day. Lighting shall be shielded from neighboring properties and directed at a specific task or target. Exposed bulbs are prohibited.

20. Prior to issuance of a grading permit or any ground disturbance, or building permit or other improvement activities on the site the applicant shall submit a final grading plan concurrent with the initial building plan check submittal to the Community Development Department. All accessibility features and access routes are to be clearly shown on the site and grading plan. Coordination with the concurrent city improvement project will be necessary.

Required Prior to Construction

21. Prior to the start of any work on-site, the applicant shall request and attend a pre-construction meeting to include the project superintendent, architect, subcontractors, as well as City representatives including Community Development and/or Public Works.

During Construction

22. The applicant shall be responsible for the ongoing maintenance and upkeep of the site. The site shall be kept free of trash or debris at all times.
23. If perimeter fencing is installed during construction/development, it shall consist of chain link or better.
24. An effective dust control program should be implemented whenever earth moving activities occur on site.
25. In order to minimize the release of Ozone precursors associated with construction, the following standard requirements developed by the Yolo/Solano AQMD shall be implemented:
 - A. Construction equipment and engines shall be properly-maintained.
 - B. Vehicle idling shall be kept below ten minutes.
 - C. Construction activities shall utilize new technologies to control ozone precursor emissions, as they become available and feasible.
 - D. During smog season (May through October), the construction period shall be lengthened so as to minimize the number of vehicles and equipment operating at the same time.

Required Prior to Certificate of Occupancy

26. Prior to issuance of Certificate of Occupancy, Applicant shall provide a public art installation that consists of an original design, which shall be reviewed and approved by the Planning Commission and installed on-site or in a location within close proximity to the project site. Or, alternatively, the Applicant shall pay an in-lieu fee in an amount acceptable to the Community Development Director to be utilized by the City towards the provision of public art in the City.

27. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Community Development Department. The site and buildings shall be inspected for compliance prior to the Certificate of Occupancy.

BUILDING

28. This This project must meet all criteria and mandates for these City adopted codes or the most current code:
- A. 2013 California Building Code
 - B. 2013 California Plumbing Code
 - C. 2013 California Mechanical Code
 - D. 2013 California Electrical Code
 - E. 2013 Building Energy Efficiency Standards
 - F. 2013 California Green Building Code
 - G. The Code of the City of Woodland
 - H. **NOTE: If project plans are submitted after January 1, 2017 design shall comply with the 2016 California Code**
29. Other City and County Agencies (Health, Fire, Public Works, and Planning) may be required to approve the project prior to a building permit being issued.
- A. Yolo County Environmental Health review is submitted directly to County Offices.
 - B. Recycle plan is required at time of permit issuance along with a \$1000 deposit.
30. Any deferred submittals that are not a part of the initial permit application must be listed on the cover sheet of the plan at the time of application for the project.
31. All plans, computations, and specifications to be prepared and designed by an architect or engineer licensed by the state of California.
32. A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the building and project area.
33. NOTE: Site is located within the Special Flood Hazard Area. Determination of exact flood elevation will be required for this project. *Development impacts to adjacent project sites and surrounding non-project areas shall be evaluated for flood impact.*
34. FEMA Flood Certificate for final slab shall be at or above Base Flood Elevation.
35. A soils investigation report shall be provide as specified in section 1803.2 of the 2013 CBC or a review of an existing report by a license soils engineer.
36. Entire area of development and the path of travel from sidewalk [public way] shall comply with the California Building Code for Accessibility. When conflicts exist between the ADA and the California building Code the standard that provides the greatest degree of accessibility shall comply.

DEVELOPMENT SERVICES ENGINEERING

General Conditions:

37. Applicant shall prepare improvement plans for all work within the public right-of-way and submit them to the Development Engineering Division of Community Development Department with encroachment permit application for review and approval. Prior to building permit issuance, applicant shall obtain encroachment permit, post security for the full cost of the public improvements, and enter an Improvement Agreement if the estimated cost of the public improvements is greater than \$50,000. This submittal is separate from the building permit submittal. All public improvements shall conform to the current City of Woodland Standard Specifications.
38. A portion of the site is currently within the 100 year flood plain, and building pad elevation shall comply with City Code and FEMA requirements.
39. All development projects disturbing more than an acre of soil are required to submit a Storm Water Pollution Prevention Plan prepared per the State Water Resources Control Board (SWBC) Construction General Permit, prepared by a Qualified SWPPP Developer (QSD).

Fees:

40. Prior to approval of improvement plans, the Owner shall pay all fees for plan check and inspection of offsite infrastructure improvements, as approved by City Council and defined in the City Fee Schedule. If Owner pays a deposit only at improvement plan submittal, the balance shall be paid prior to improvement plan approval by the City Engineer.
41. Applicant shall pay development impact fees prior to issuance of building permit, and shall pay fees in effect at the time of permit issuance.

Fee credits may be available for any buildings demolished with the project. Please provide adequate documentation of demolished square footage and building use.

42. The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and/or other exactions. Pursuant to Government Code, Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of project approval, has begun. If the applicant fails to file a timely protest regarding any of the fees, dedication requirements, reservation requirements and/or other exactions contained in this notice, complying with all the requirements of Government Code, Section 66020, the applicant will be legally barred from later challenging such fees, dedications requirements, reservation requirements

and/or other such exactions. Notwithstanding the foregoing, the City does not waive any rights it may have to enforce any settlement agreement, memorandum of understanding, or other agreement with the applicant which authorizes the City to impose certain fees, and which may waive the applicant's right to challenge the imposition of some or all of the fees, dedication requirements, reservation requirements, and/or other exactions set forth in these conditions of approval.

Site Design and Frontage Improvements:

43. Project shall meet low impact development and hydro-modification requirements through compliance with City's newly adopted Post Construction Standard Plan to reduce post-runoff in compliance with the City's Phase II MS4 permit with the State Water Resources Control Board. Prior to approval of site plan owner shall submit calculations for storm water quality measures.
44. Owner shall enter into a Storm Water Treatment Device Access and Maintenance Agreement prior to the issuance of a building permit or encroachment permit that connects the onsite storm drain system to the public system.
45. The project shall connect to the existing City utility connections, which shall conform to City of Woodland Standards and Specifications. If existing services are proposed to be used, they shall be inspected by the City prior to use, and, if necessary, brought up to current City Standards. This may include but is not limited to installation of new meter boxes, backflow prevention, cleanouts, and/or laterals in a location approved by the City.
46. Backflow devices are required on the commercial, fire flow, and landscape irrigation water services for the project. Backflow devices shall be installed under the encroachment permit and tested by a City-approved tester and results provide to the City prior to occupancy.
47. Applicant shall install ADA compliant commercial driveway per City standards. Driveway locations and widths shall be subject to the approval of the City Engineer.
48. Applicant shall construct 8 foot sidewalks along property frontage and relocate utility services, hydrants and street lights per City standards and as necessary for ADA compliance.

PG & E

49. All trees, shrubs, and other vegetation within the easement area shall not exceed a height of fifteen (15) feet at maturity, and no trees or shrubs shall be planted within twenty-five (25) feet of any tower or pole structure or located within a fifteen (15) foot horizontal distance from the conductors at rest.
50. Access to the electrical tower facilities shall be maintained at all times.
51. All parking spaces need to be a minimum of twenty-five (25) feet away from the tower structure.
52. All vehicles parked within said easement area shall be on wheels and capable of immediate movement and shall be moved from the easement area upon receiving 24 hour notice from PG&E

to do so. PG&E further reserves the right to move all vehicles from said easement area in the event of either non-removal pursuant to said notice or in an emergency.

53. Any vehicles which by law or regulation must carry signs with words such as “Flammable”, “Explosives”, or “Corrosives”, on its exterior shall not be parked within the easement area.
54. Any overhead lighting installed within the easement area shall not exceed fifteen (15) feet in height. Overhead lighting shall not be located within twenty-five (25) feet from any tower structure and shall be a minimum of a fifteen (15) foot horizontal distance from the conductors at rest.
55. The grading and pavement plans provided have been reviewed and are approved. Outside of the plans that have been provided no cuts, fills, or grading are to be done within the electric transmission easement area without written approval from PG&E.
56. Buildings and structures are prohibited within PG&E’s easement area. Please note that trash enclosures and block walls are considered structures.
57. For safety and compliance with the law, there are a couple of things of which the developer should be aware. When operating any equipment or tools in proximity to our electric transmission lines, they must not erect, handle, or operate any such equipment or tools, closer to any of PG&E’s overhead high-voltage electric conductors than the minimum clearances set forth in the High-Voltage Electrical Safety Orders of the California Division of Industrial Safety, but in no event closer than ten feet.
58. General Order No. 95 of the California Public Utilities Commission sets forth certain clearance requirements for the construction and operation of electric lines. Therefore, you must control your excavations and digging, including spoils, in such a manner as not to decrease the ground-to-conductor clearance below thirty feet.
59. Underground Service Alert (USA) must be used prior to any excavation, grading, or paving activity near gas pipelines.

Water Distribution

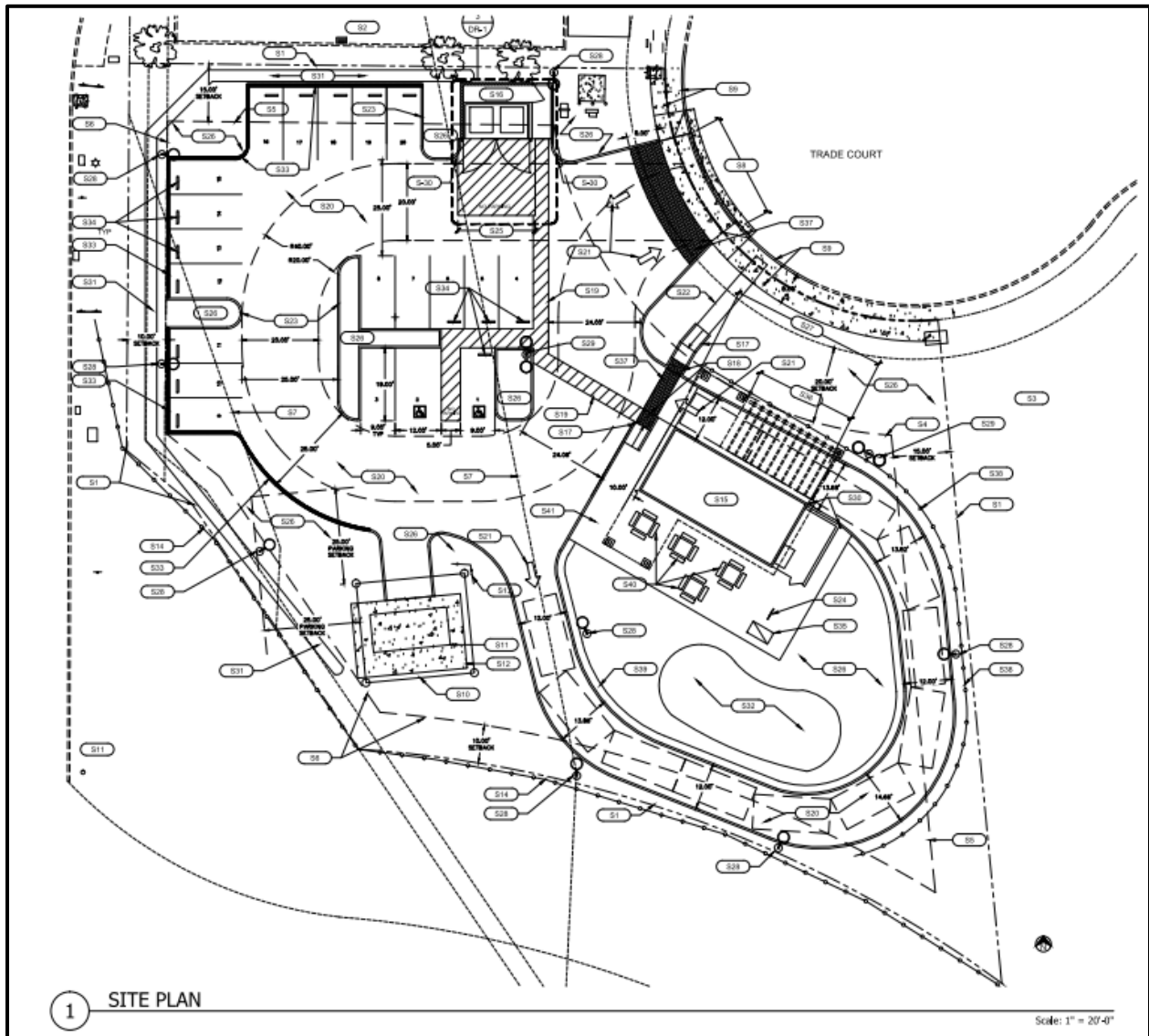
60. Backflows shall be Reduced Pressure Principle assemblies and the landscape service shall be upsized from $\frac{3}{4}$ inch to 1 inch per City of Woodland Standards. The service line can be reduced to $\frac{3}{4}$ inch after the 1 inch water meter service.

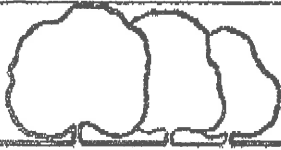
Wastewater System

61. Applicant shall confirm with the City’s Public Works Department that the private sewer lines that will connect to the City’s sewer line, are appropriately sized.

Exhibit B

Site Plan and Elevations





City of Woodland

Community Development Department

300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER:

Hiten Suraj- Q Investments, LLC

MAILING ADDRESS:

2110 South El Camino Real

CITY STATE ZIP CODE:

San Mateo, CA. 94403

PHONE NUMBER:

650-799-9636

E-MAIL ADDRESS:

hsuraj@aol.com

PROJECT APPLICANT

Alan Chambers- Third Shoe Inc.

MAILING ADDRESS:

349 Silver Lake Drive

CITY STATE ZIP CODE:

Chico, CA. 95973

PHONE NUMBER:

530-898-0123

E-MAIL ADDRESS:

achambers112@yahoo.com

2. Application Requested

- | | | |
|--|---|---|
| ☐ General Plan Petition | ☐ Zoning Amendment | ☐ General Plan Amendment |
| ☐ Tentative Subdivision Map | ☐ Tentative Parcel Map | ☐ Lot Line Adjustment |
| ☒ Site Plan Review <i>2357</i> | ☒ Design Review <i>1222</i> | ☐ Sign Design Review |
| ☒ Conditional Use Permit (CUP) <i>\$3422</i> | ☐ Zoning Administrator Permit | ☐ Variance |
| ☐ Public Convenience or Necessity | ☐ Other <i>Cat. #529</i> | |

Is this request part of another application? ☐ Yes ☒ No If so, what? _____

3. Project Description

Project Name:

Dutch Brothers

Total Acres or Square Feet

.81 acres- 35,284 SF

Site address or location:

2030 Trade Court

Assessor's Parcel Number:

027-851-003

Is Your Project Located in a Flood Zone?

☒ Yes

☐ No

Does this request include signage?

☐ Yes

☒ No

4. Justification for Request



On a separate sheet, explain in detail your request and why you believe your request is justified.

PLNG-16-00055

5. General Plan Amendment

Existing General Plan Designation

Gross Acres

Proposed General Plan Designation

Gross Acres

6. Zoning Amendment

Existing Land Use Zone

Gross Acres

Proposed Land Use Zone

Gross Acres

7. Residential Development

No. of residential units are being requested? _____

No. of lots will be created by this project? _____

Single Family _____ Half-plex _____

Do you intend to market the units for sale?

Duplex _____ Apartments _____

☐ YES ☐ No

Condominiums _____ Other _____

Do you intend to market the units for rent?

Townhomes _____ Total Units _____

☐ YES ☐ No

8. Commercial/Industrial Development

Indicate the type of commercial/industrial development proposed:

Dutch Bros Coffee Drive Thru

Indicate the gross and leasable square footage for each type of development:

800 SF gross

9. Authority to File Application

Check one:

☐ Property Ownership ☐ Power of Attorney*

☐ Contract to Purchase* ☒ Other

Specify Architect- Alan Chambers

*Attach Evidence of Authority

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

APPLICATION WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT



7/21/2016

Applicant:

Date

Legal Owner:

Date

Legal Owner:

Date

DEPARTMENT USE ONLY

Amount Paid: _____

Project No: _____

Amount Due: _____

Logged by: _____ Date: _____

GP / Zoning Designation: _____

Planner: _____ Date: _____

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1

SITE PLAN

Scale: 1" = 20'-0"

OCCUPANCY LOAD					
ROOM NAME	FUNCTION	SQ. FT.	OCC. GROUP	NO. OF OCCUPANTS	MAX NO. EXIT NO. OCC. REQ'D
RECEIVING/ STORAGE/ SERVICE AREA	KITCHEN/COMMERCIAL	600	B	4	<49 1
RESTROOM	NONE	70	B	NONE	1
WALK-IN COOLER	BUISSINESS	130	B	NONE	1
TOTALS		800		4	
SITE PLAN KEYNOTES					
KEY	DESCRIPTION		KEY	DESCRIPTION	
S1	(E) PROPERTY LINE		S22	(N) CONCRETE WALK	
S2	JACK-IN-THE-BOX ADJACENT PROPERTY		S23	(N) 6" CONCRETE CURB, SEE CIVIL DWGS	
S3	VACANT LOT		S24	(N) BIKE RACK, SEE 2/DR-1	
S4	20'-0" STREET SETBACK		S25	(N) CONCRETE APRON	
S5	15'-0" SIDE SETBACK		S26	(N) LANDSCAPE AREA, SEE LANDSCAPE DWGS	
S6	10'-0" REAR SETBACK		S27	(N) CONCRETE PAVING AT DRIVEWAY, SEE CIVIL DWGS	
S7	TOWER EASEMENT		S28	(N) SINGLE LIGHT POLE	
S8	(N) DRIVE WAY		S29	(N) DOUBLE LIGHT POLE	
S9	(E) CURB, GUTTER, W/ PROPOSED (N) 8' SIDEWALK		S30	(N) BOLLARD, SEE 2/DR-1	
S10	(E) HIGH VOLTAGE TOWER		S31	N) VEGITATIVE SWALE	
S11	(E) COMMUNICATION SHACK TO REMAIN		S32	(N) RETENTION BASIN, SEE LANDSCAPE DWGS	
S12	(E) BLDG PAD TO REMAIN		S33	(N) CONCRETE CURB, TOP FLUSH W/ AC PAVING (SHOWN SHADED), SEE CIVIL DWGS	
S13	(E) 6' WOOD FENCE TO REMAIN		S34	(N) CONCRETE WHEEL STOP	
S14	(E) 8' CHAIN LINK FENCE TO REMAIN		S35	(N) EMPLOYEE BIKE PARKING, DERO BIKE LOCKER, #352 SERIES, COLOR: CAFÉ, SPACE FOR 2 BIKES	
S15	(N) KIOSK BUILDING		S36	(N) TRELLIS OVER DRIVE THRU	
S16	(N) CMU TRASH ENCLOSURE		S37	STAMPED CONCRETE - SCOFIELD SYSTEMS, RUNNING BOND PATTERN, COLOR: NEW RED BRICK	
S17	(N) ACCESSIBLE RAMP, SEE CIVIL DWGS		S38	(N) WIRE SCREEN FENCE, SEE 1/DR-1	
S18	(N) TRUNCATED DOMES, SEE CIVIL DWGS		S39	(N) 6" CONCRETE CURB W/ 24" WIDE CONCRETE RUNNER PATH	
S19	(N) PAINTED CROSSWALK FOR ACCESSIBLE PATH OF TRAVEL, SEE CIVIL DWGS		S40	OUTDOOR SEATING	
S20	(N) AC PAVING		S41	(N) CONCRETE PATIO	
S21	(N) PAINTED DIRECTIONAL ARROWS				

SHEET INDEX

DR-0 COVER, SITE PLAN
DR-1 SITE DETAILS & ACCESSORY STRUCTURE
DR-2 FLOOR PLAN
DR-3 EXTERIOR ELEVATIONS
DR-4 COLOR EXTERIOR ELEVATIONS
C-1 CIVIL SITE PLAN
C-2 CIVIL GRADING & UTILITY PLAN
C-4 STORM WATER PLAN
L-1 LANDSCAPE PLAN
E1.2 SITE LIGHTING & PHOTOMETRIC PLAN

APPLICABLE CODES	
2013	CALIFORNIA BUILDING CODE (TITLE 24 - PART 2)
2013	CALIFORNIA MECHANICAL CODE (TITLE 24 - PART 4)
2013	CALIFORNIA PLUMBING CODE (TITLE 24 - PART 5)
2013	CALIFORNIA ELECTRICAL CODE (TITLE 24 - PART 3)
2013	CALIFORNIA FIRE CODE (TITLE 24 - PART 9)
2013	BUILDING ENERGY EFFICIENCY STANDARDS
2013	CALIFORNIA GREEN STANDARD BUILDING CODE
CODE OF THE CITY OF WOODLAND	

GENERAL NOTES

- CURBS REQUIRING RED PAINT AND "NO PARKING - FIRE LANE" STENCILING SHALL BE DETERMINED BY THE FIRE CODE OFFICIAL. A SITE VISIT SHALL BE SCHEDULED AT A TIME CONSISTENT WITH THE CONSTRUCTION PROCESS TO MAKE THIS DETERMINATION.

PROJECT DESCRIPTION

THE CONSTRUCTION OF A NEW DUTCH BROS. COFFEE KIOSK BUILDING, DRIVE THROUGH, WALK-UP WINDOW, OUTDOOR PAVED AREA, PAVED PARKING AREAS AND NEW LANDSCAPE.

PARKING PROVIDED

PARKING REQUIRED (RESTAURANT/DRIVE-THRU)
1 SPACE PER 50 FT OF FLOOR AREA
800 SF / 50 SF = 16 STALLS REQUIRED

MAXIMUM # OF EMPLOYEES AT ANY SHIFT 8 EMPLOYEES

PARKING PROVIDED

STANDARD	18 STALLS
COMPACT	1 STALLS
ACCESSIBLE	2 STALLS
DRIVE THRU	12 STALLS

TOTAL PARKING PROVIDED 33 STALLS

NEW BICYCLE PARKING - COMMERCIAL

BICYCLE PARKING REQUIRED 4

BICYCLE PARKING PROVIDED 4

APPLICABLE CODES

2013	CALIFORNIA BUILDING CODE (TITLE 24 - PART 2)
2013	CALIFORNIA MECHANICAL CODE (TITLE 24 - PART 4)
2013	CALIFORNIA PLUMBING CODE (TITLE 24 - PART 5)
2013	CALIFORNIA ELECTRICAL CODE (TITLE 24 - PART 3)
2013	CALIFORNIA FIRE CODE (TITLE 24 - PART 9)
2013	BUILDING ENERGY EFFICIENCY STANDARDS
2013	CALIFORNIA GREEN STANDARD BUILDING CODE
CODE OF THE CITY OF WOODLAND	

SEPARATE PERMIT REQUIRED

- ALL SIGNAGE SHALL BE PROVIDED AND INSTALLED UNDER SEPARATE PERMIT. ALL SIGNAGE SHOWN WITHIN THESE DRAWINGS ARE FOR LOCATION OF SIGNS. SEPARATE DRAWINGS SHALL BE PART OF SUBMITTAL FOR SIGNAGE PERMIT.
- ALL WORK SHALL BE IN CONFORMANCE WITH CALIFORNIA FIRE CODE CHAPTER 33 "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION" AND NFPA 241 "SAFEGUARDING CONSTRUCTION ALTERATIONS AND DEMOLITION OPERATIONS".
- EXTERIOR SIGNS SHALL BE SUBMITTED AND PERMITTED SEPARATELY.

PROJECT DATA

ASSESSOR PARCEL NUMBER: 027-851-003

SITE ADDRESS:
2030 TRADE COURT
WOODLAND, CALIFORNIA

GENERAL PLANNING DESIGNATION: HIGHWAY COMMERCIAL

ZONING: E02 - CH / PD

OCCUPANCY GROUP: B

INTENDED OCCUPANT USE:
NEW COFFEE AND BEVERAGE DRIVE-THRU SERVICE

EXISTING RETAIL BUILDING
CONSTRUCTION TYPE: V-B

FIRE SPRINKLERS: NO

BLDG HEIGHT: 24' - 10" / 1 LEVEL

PROJECT INFORMATION

EXISTING SITE AREA	35,284 SF	100%
NEW BLDG AREA	800 SF	
NEW TRASH ENCLOSURE	266 SF	3%
TOTAL BLDG & TRASH AREA	1,066 SF	
NEW CONCRETE AREA	4,048.91 SF	11%
NEW AC PAVED AREA	15,419.71 SF	44%
NEW LANDSCAPE AREA	14,969.91 SF	42%

ABBREVIATIONS

ABV ABOVE	INSUL INSULATION
ADJ ADJUSTABLE	INT INTERIOR
BLKG BLOCKING	MECH MECHANICAL
BM BEAM	MIN MINIMUM
CAB CABINET	(N) NEW
CC CENTER TO CENTER	NTS NOT TO SCALE
CI CAST IRON PIPE	O OVER
CLG CEILING	O.C. ON CENTER
COG CLEAN OUT TO GRADE	PLMBG PLUMBING
CONC CONCRETE	POC POINT OF CONNECTION
CW COLD WATER	SIM SIMILAR
DN DOWN	SQ SQUARE
DR DOOR	SS SANITARY SEWER
(E) EXISTING	STRUC STRUCTURAL
ELEC ELECTRICAL	(TYP) TYPICAL
ELEV ELEVATION	UNO UNLESS NOTED
EQUIP EQUIPMENT	OTHERWISE
EXT EXTERIOR	VENT VENTILATION
FF FINISH FLOOR	W/ WITH
FLR FLOOR	W/O WITH OUT
FOF FACE OF FINISH	WC WATER CLOSET
FRM FRAMING	WH WATER HEATER
FTG FOOTING	
GYP BD GYPSUM BOARD	
HDR HEADER	
HORZ HORIZONTAL	
HT HEIGHT	
HW HOT WATER	

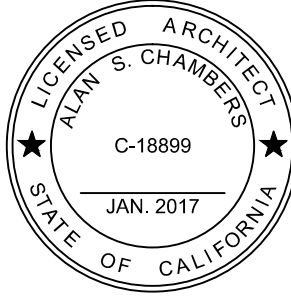
VICINITY MAP



THIRD SHOE, INC.

349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS. COFFEE
2030 TRADE COURT
WOODLAND, CA

Project Location:

No.	Description	Date

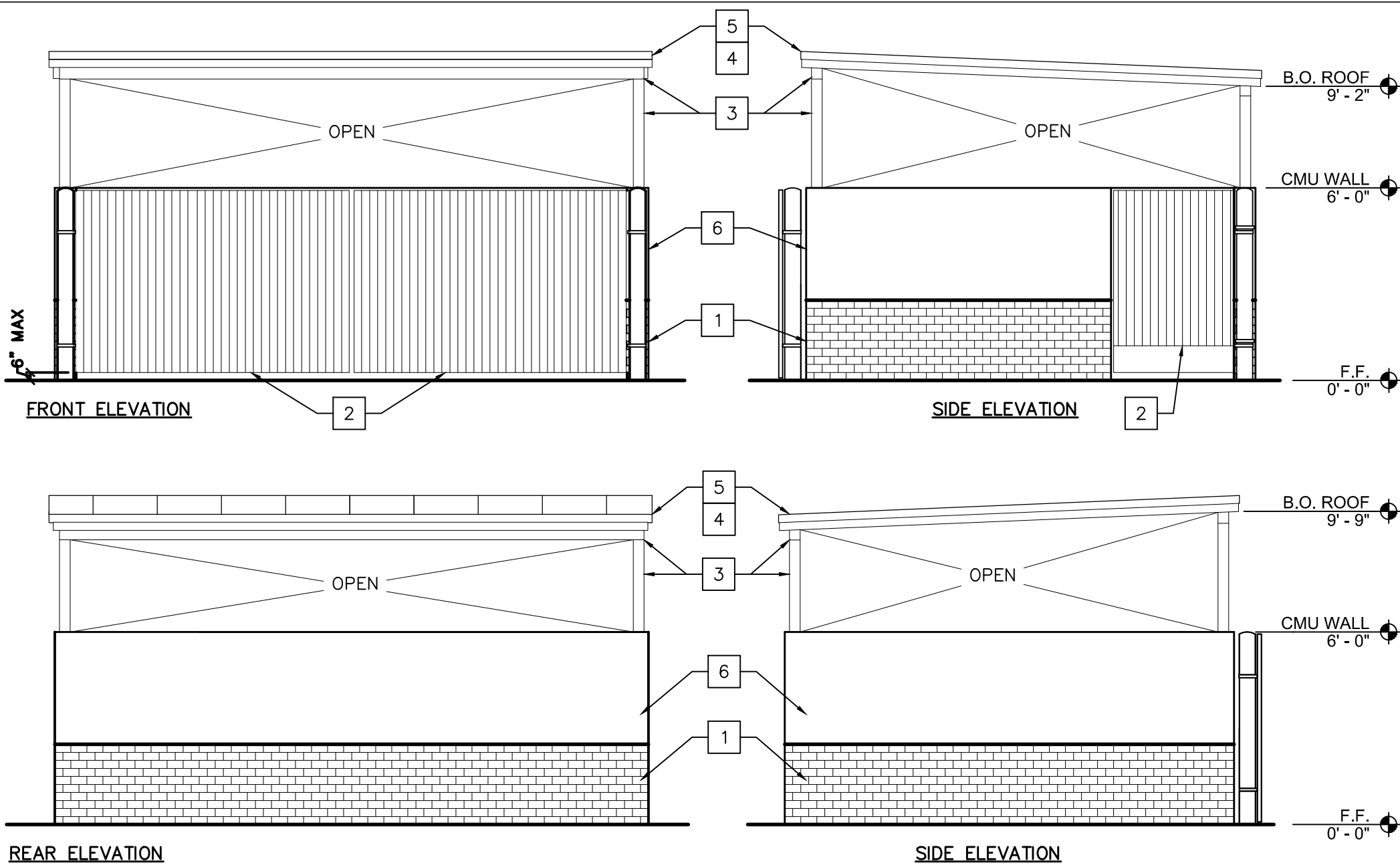
COVER SHEET,
SITE PLAN

Project number 1517
Date 11/18/16
Drawn by KC
Checked by AC

DR-0

Scale 1/4" = 1'-0"

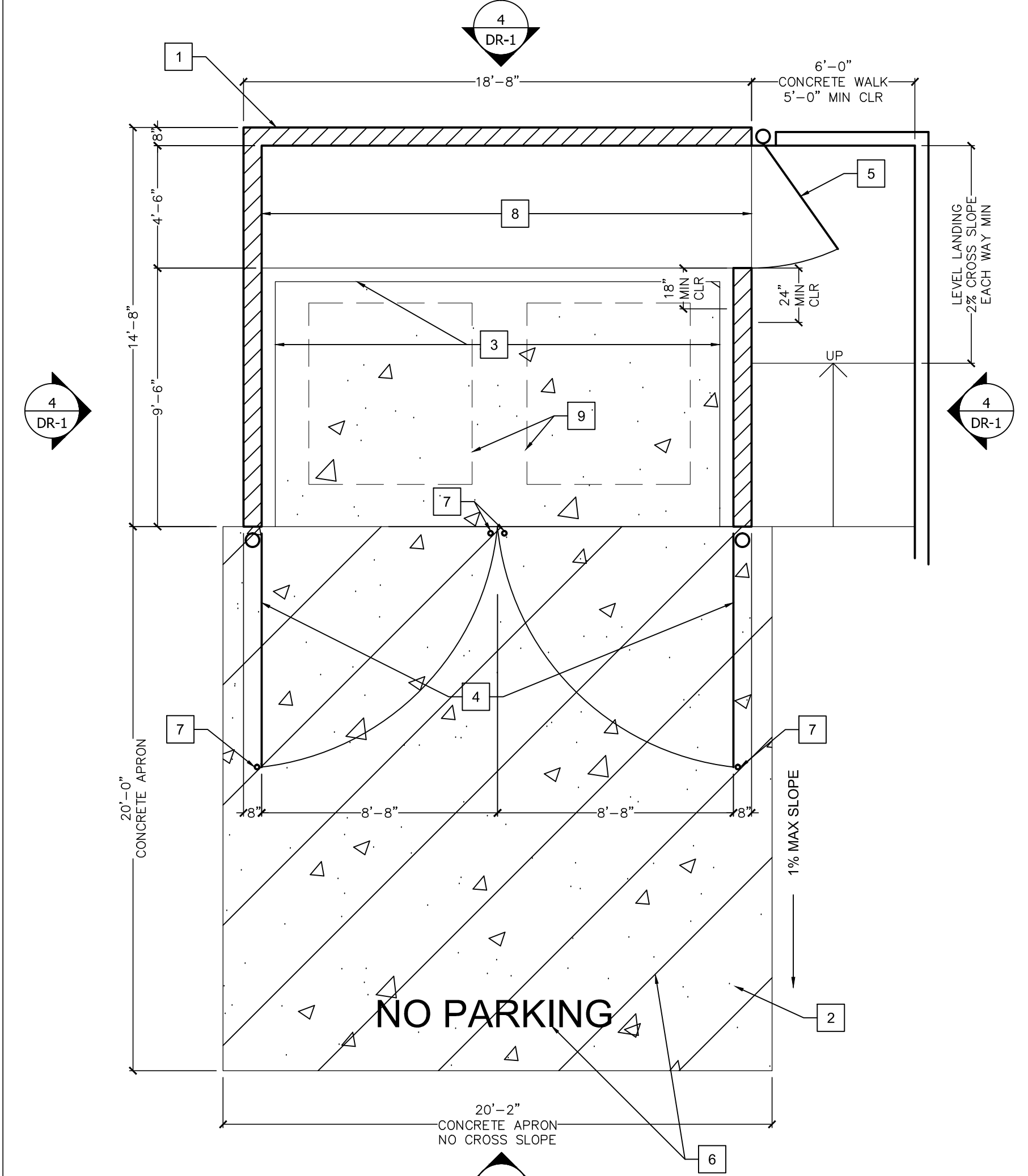
TRASH ENCLOSURE ELEVATION KEYNOTES	
KEY	DESCRIPTION
1	BRICK VENEER- HC MUDDOX NORMAN THIN BRICK 2 1/2"x11 1/2"x1/2", COLOR: OLD TOWN RED
2	CORREGATED METAL PANEL TRASH ENCLOSURE DOORS, PAINT COLOR: GRAY
3	STEEL TRASH ENCLOSURE COLUMNS & BEAMS - PAINTED COLOR: GRAY
4	STANDING SEAM METAL ROOF - BLUE
5	METAL ROOF COPING TRIM - BLUE
6	8" CMU WALL, STUCCO FINISH COLOR, PAINT COLOR #3, GRAY



4 TRASH ENCLOSURE ELEVATION

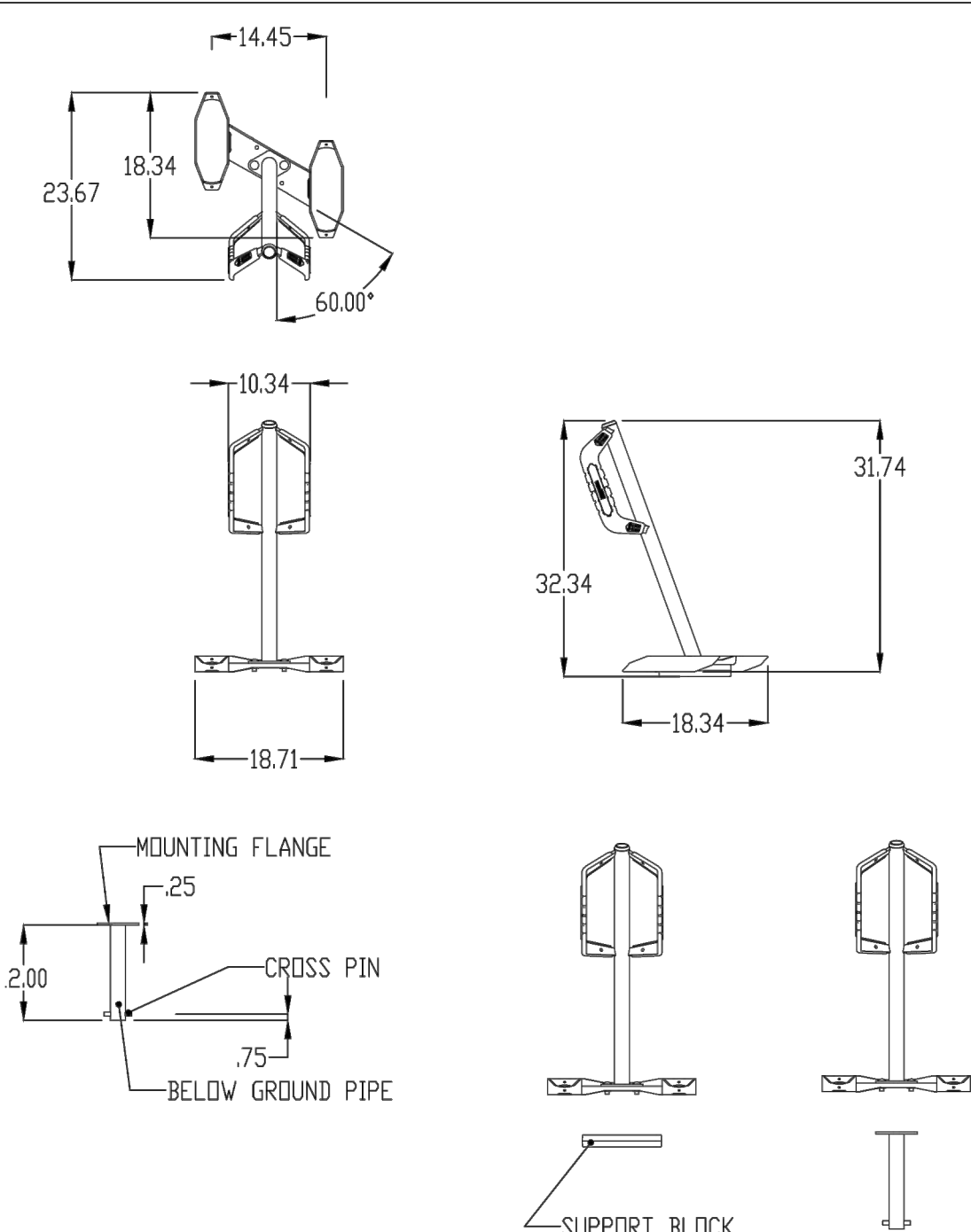
Scale: 1/4"=1'

TRASH ENCLOSURE PLAN KEYNOTES			
KEY	DESCRIPTION	KEY	DESCRIPTION
1	8" SPLIT FACE CMU WALL-BASALITE NATURAL FINISH #225 AND FOOTING, SEE 1/S1	6	"NO PARKING" 12" LETTERS W/ 4" DIAGONAL LINES
2	6" REINFORCED CONCRETE SLAB W/ #3 REBAR @12" O.C. EA WAY. COMPRESSIVE STRENGTH SHALL BE 3,000 PSI @ 28 DAYS. MINIMUM 4# CLEAN GRAVEL BASE, COMPACTED	7	1 1/4" DIA X 1'-0" DEEP CRANE BOLT RECEIVING SLEEVE
3	6" WIDE X 6" CONCRETE CURB	8	(N) CONCRETE, FLUSH W/ TOP OF CONCRETE CURB
4	(N) PAIR 8'-0" GATES & POSTS	9	4 YARD BIN, TYP
5	(N) METAL MAN GATE		



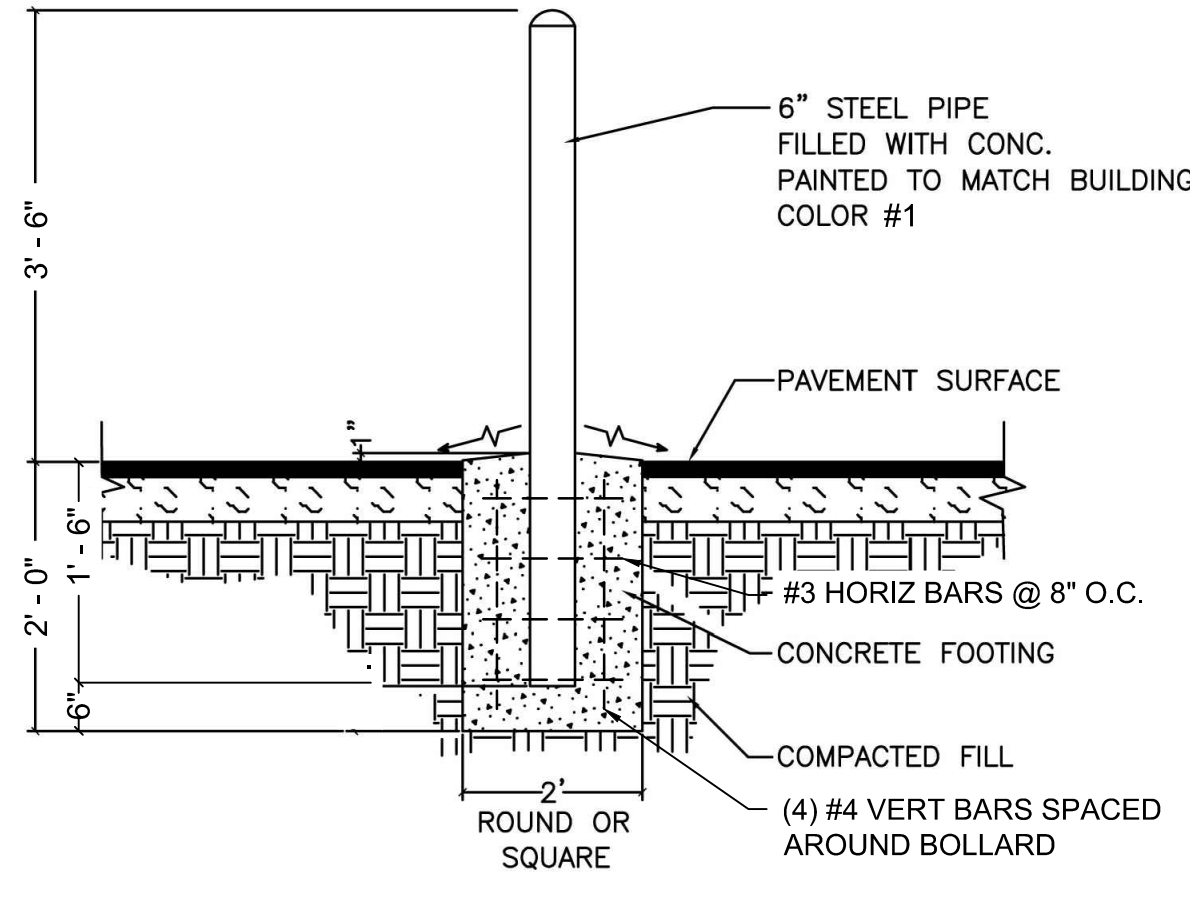
3 TRASH ENCLOSURE PLAN

Scale: 1/4"=1'



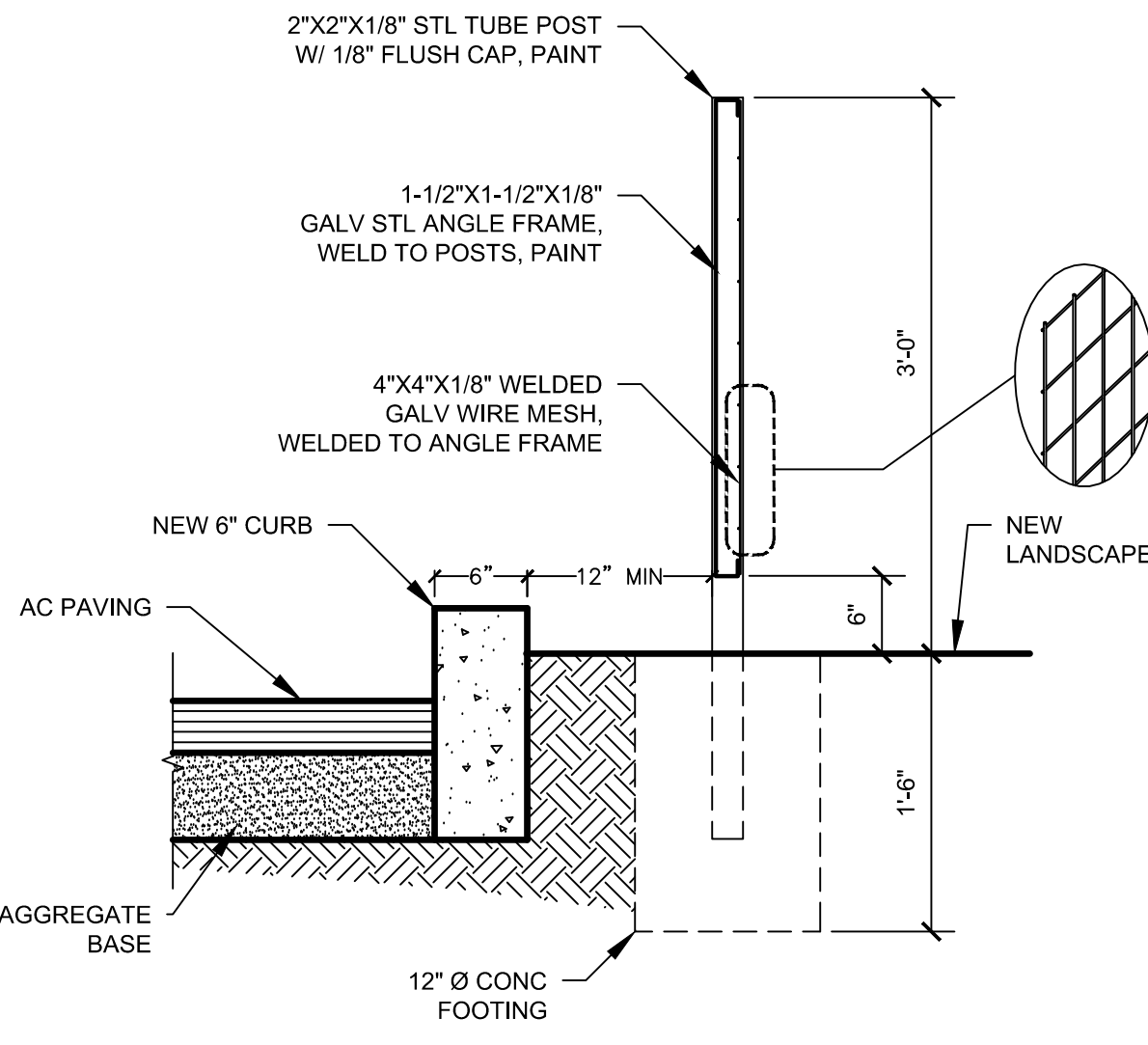
3 DV215 - VARSITY® BIKE DOCK

Scale: 1/2"=1'



2 GUARD POST

Scale: 3/8"=1'



1 WIRE SCREEN FENCE

Scale: 1"= 1'-0"

THIRD SHOE, INC.
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS. COFFEE
2030 TRADE COURT
WOODLAND, CA

Project Location:

No.	Description	Date

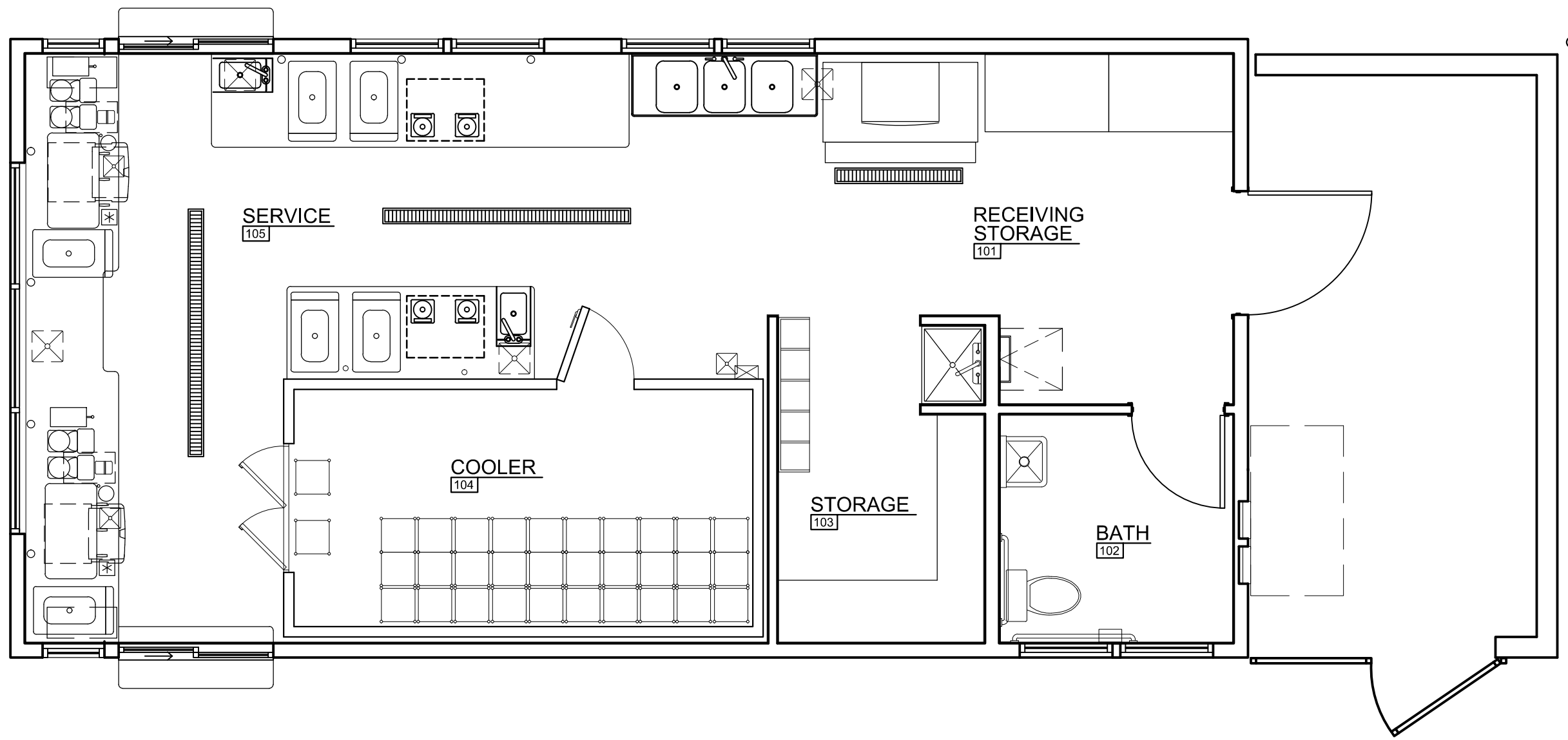
SITE DETAILS,
ACCESSORY
STRUCTURE PLAN
& ELEVATIONS

Project number	1517
Date	11/18/16
Drawn by	KC
Checked by	AC

DR-1

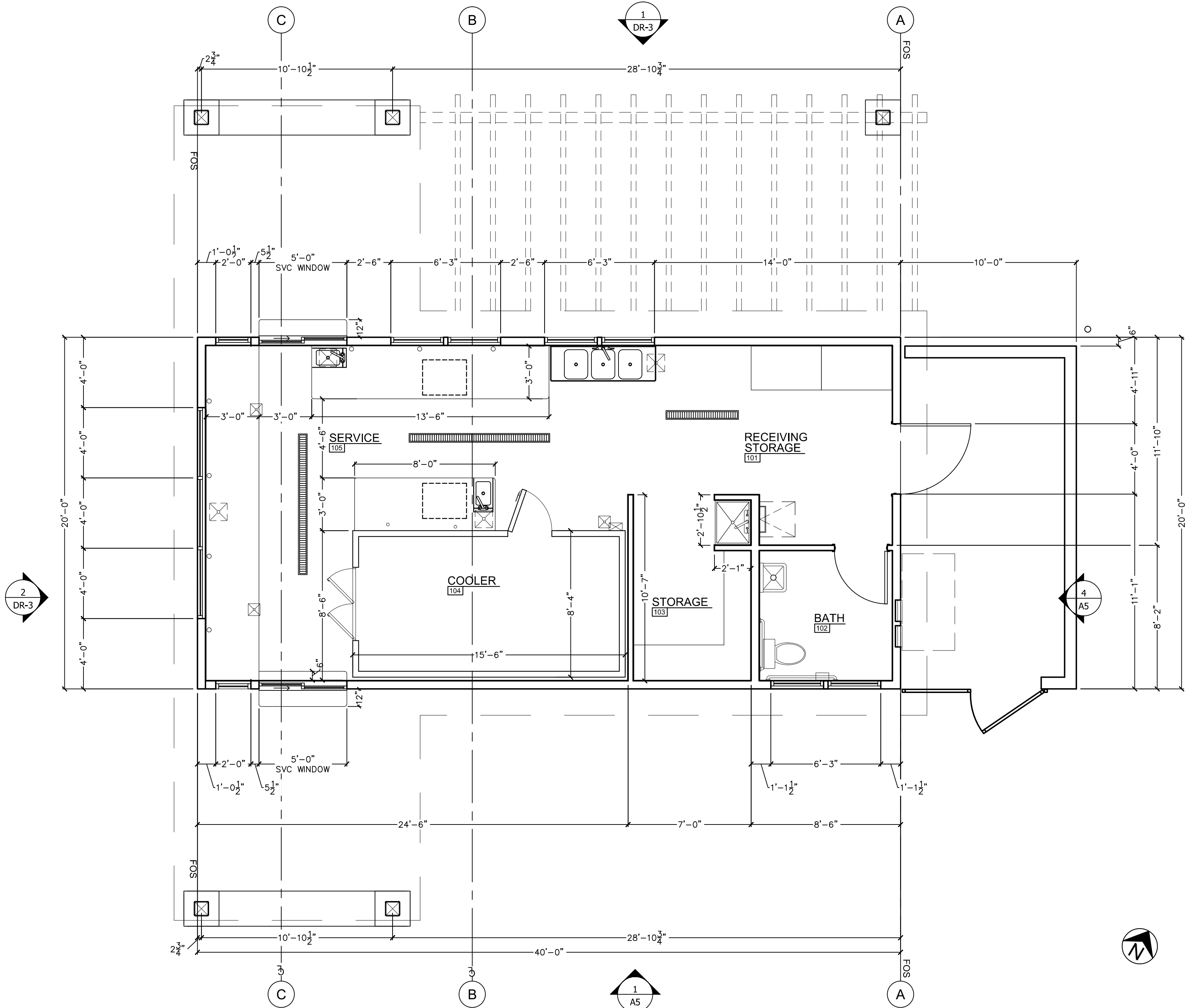
Scale 1/4" = 1'-0"

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2 EQUIPMENT PLAN

Scale: 1/4"=1'

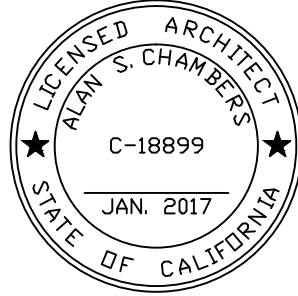


1 KIOSK FLOOR PLAN

Scale: 1/4"=1'

THIRD SHOE, INC.
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS. COFFEE
2030 TRADE COURT
WOODLAND, CA

Project Location:

No.	Description	Date

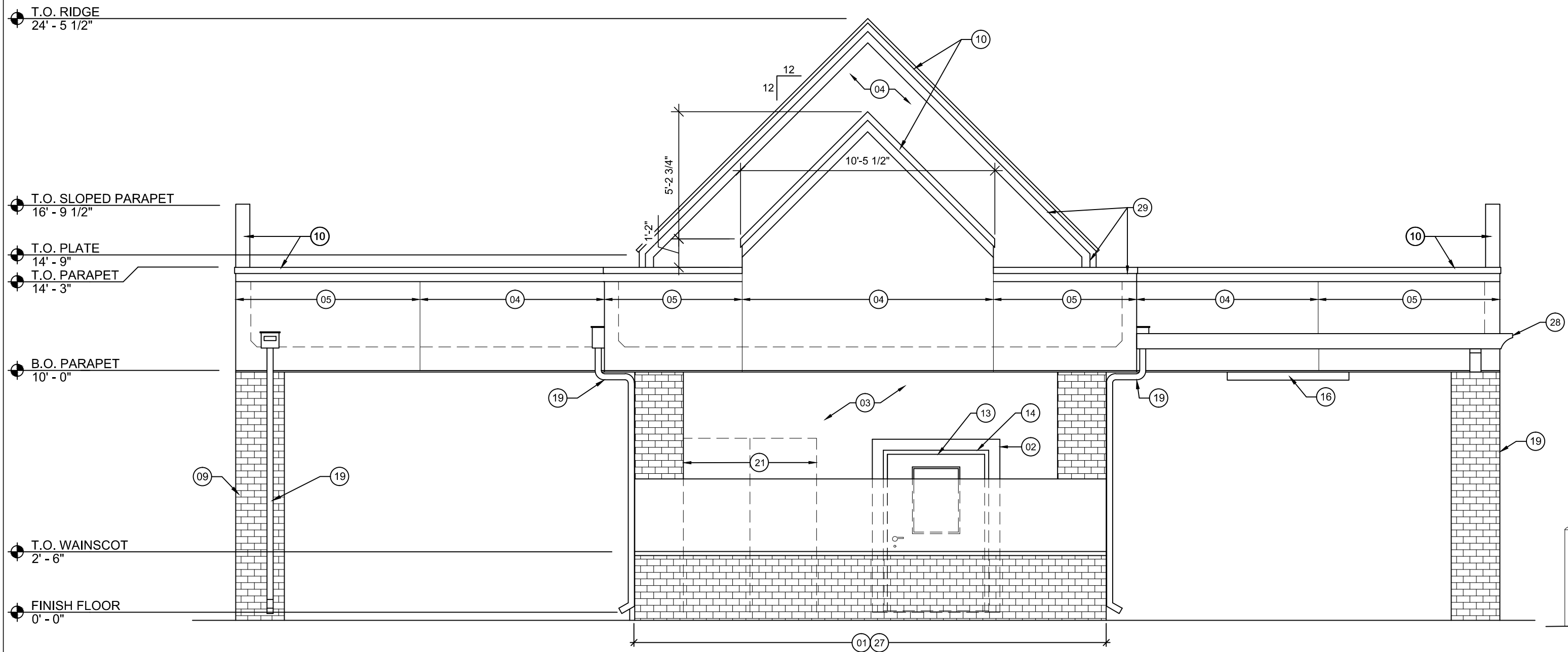
FLOOR PLAN

Project number	1517
Date	11/18/16
Drawn by	KC
Checked by	AC

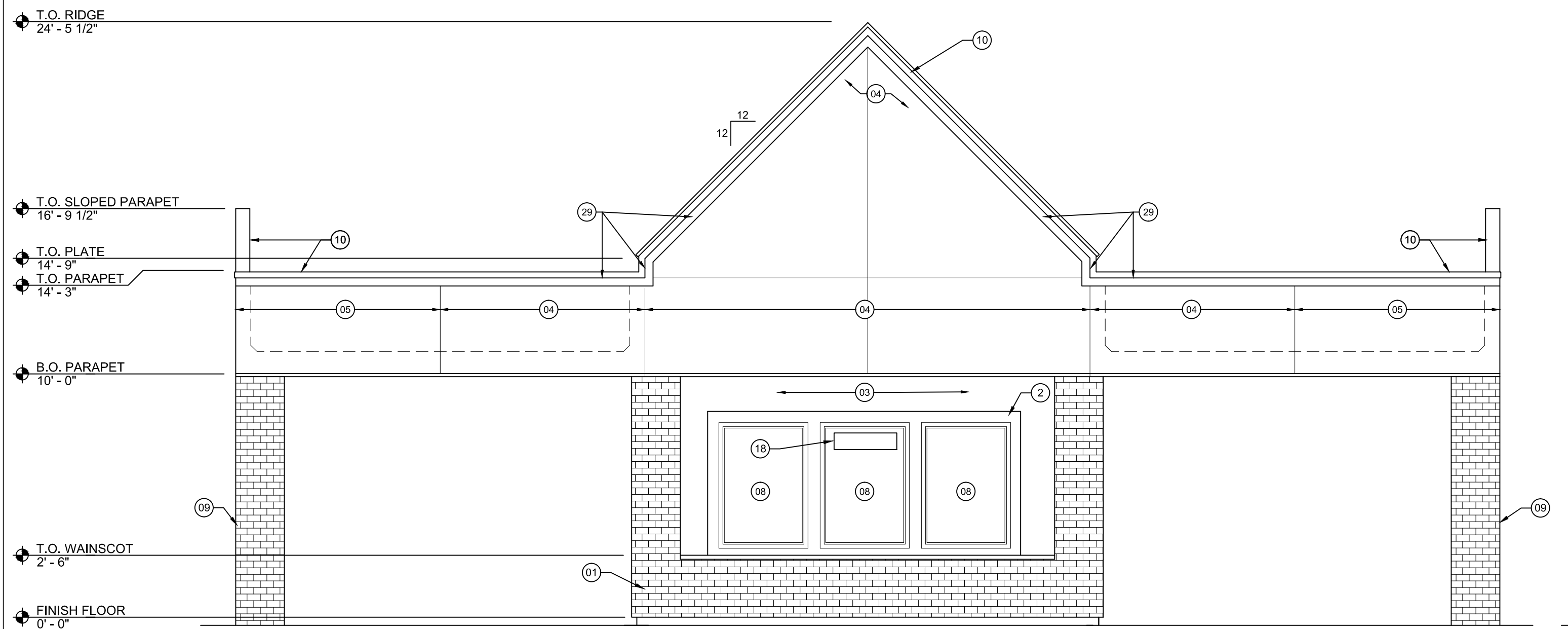
DR-2

Scale AS NOTED

C:\Users\Ken\Desktop\Jobs\1517-DB Woodland\CADD\DR-3 - Ext. Elev.dwg



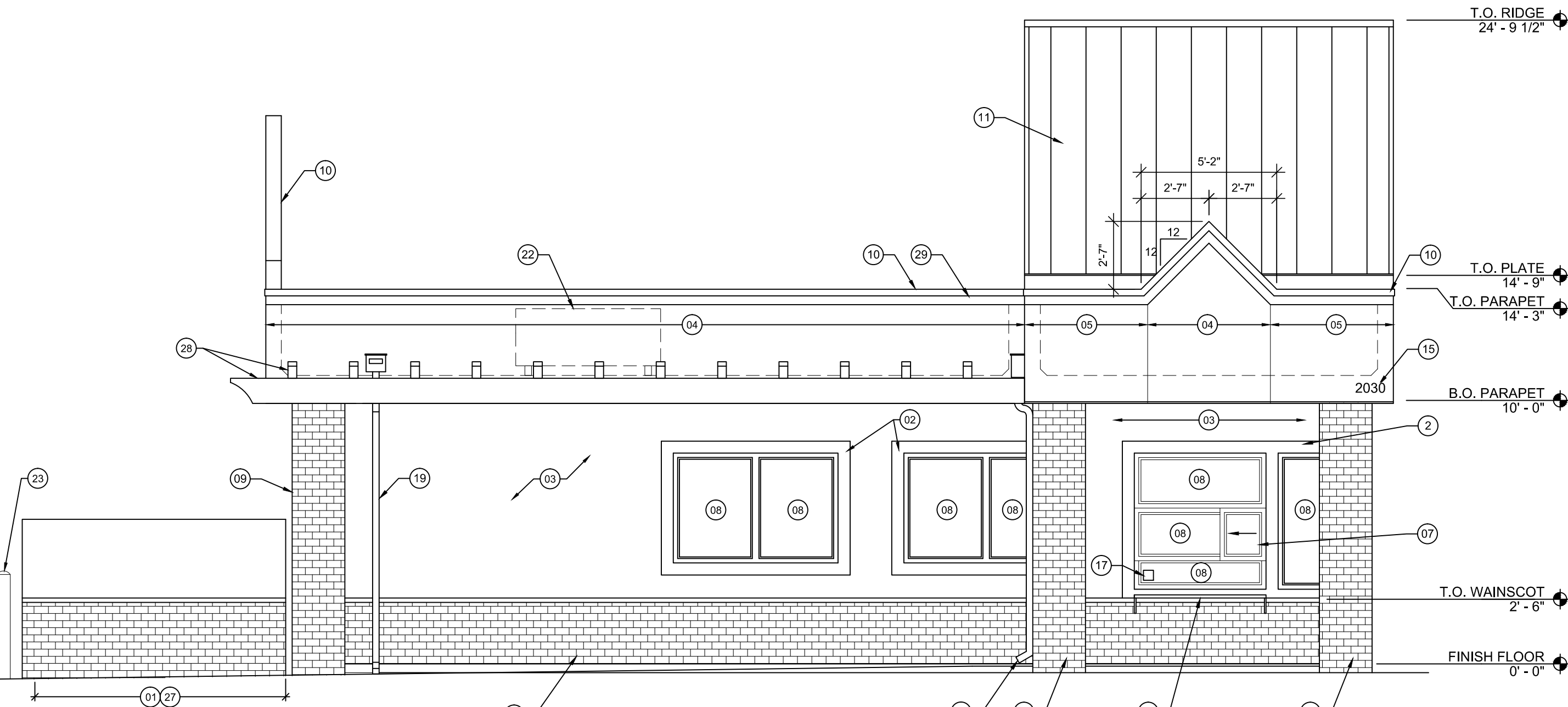
4 EAST ELEVATION - REAR
Scale: 1/4"=1'



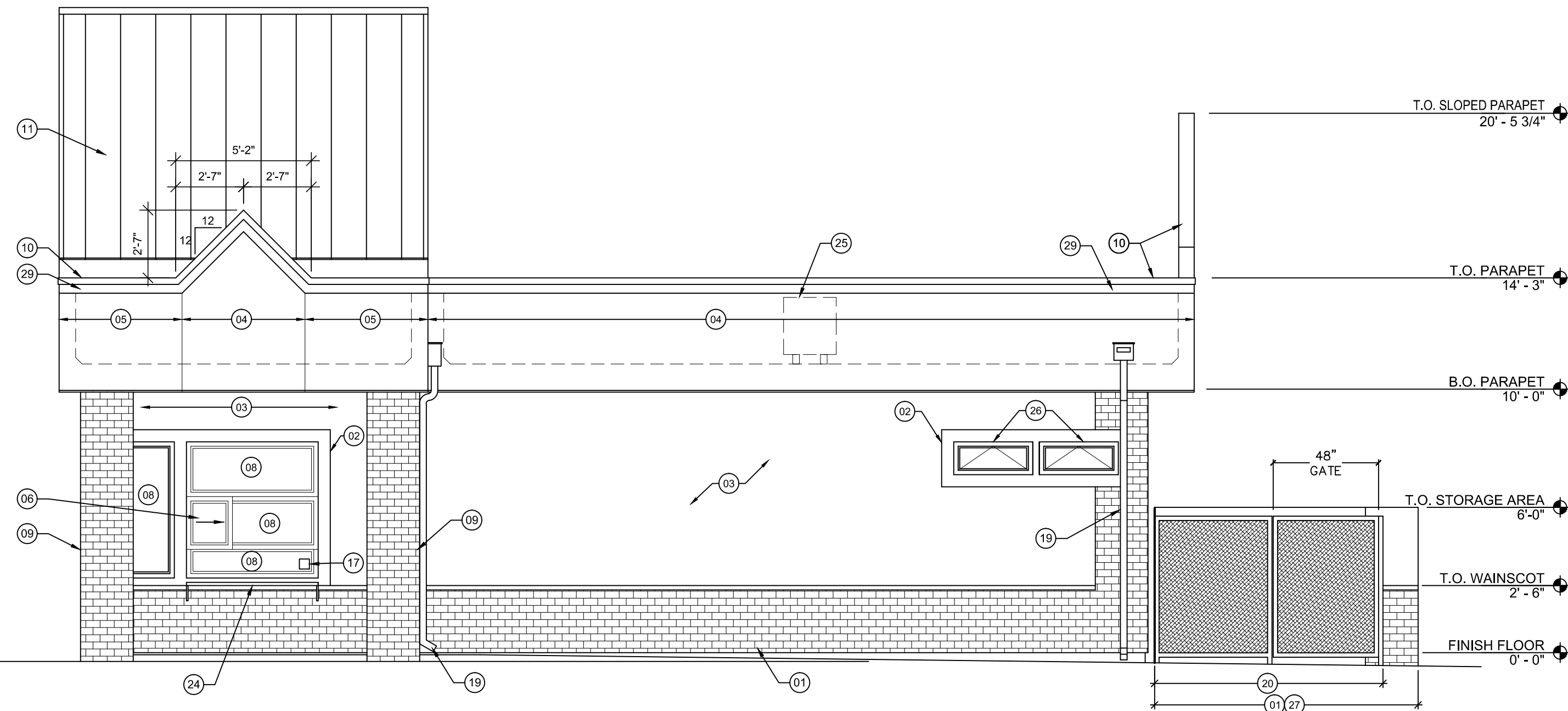
3 WEST ELEVATION - FRONT/PARKING LOT
Scale: 1/4"=1'

KIOSK ELEVATION KEYNOTES			
KEY	DESCRIPTION	KEY	DESCRIPTION
01	BRICK - HC MUDDOX NORMAN THIN BRICK 2 1/2"x11 1/2"x1/2", COLOR: OLD TOWN RED	16	3" TALL CLEARANCE SIGN, COLOR DB BLUE W/ WHITE LETTERS
02	1x4 STUCCO TRIM, PAINT COLOR #3, WHITE	17	NEW BUILDING ACCESSIBLE ADA WINDOW DECAL SIGN, SEE 3/A6.0
03	BUILDING WALL STUCCO, PAINT COLOR #2, GRAY	18	NOT USED
04	PARAPET STUCCO, PAINT COLOR #2, GRAY	19	GUTTER & DOWN SPOUT, PAINT COLOR TO MATCH ADJACENT MATERIAL
05	PARAPET STUCCO, PAINT COLOR #1, BLUE	20	2" TUBULAR STEEL FENCE & 4' GATE WITH MESH, PAINT COLOR #1, BLUE
06	WALK-UP SLIDING WINDOW, WHITE	21	ELECTRICAL SWITCHBOARD, MFR GRAY COLOR (SHOWN DASHED)
07	DRIVE-THRU HORIZONTAL SLIDING WINDOW, WHITE	22	ICE MACHINE ROOF MOUNTED CONDENSER
08	FIXED WINDOW, WHITE	23	STEEL BOLLARDS, PAINT COLOR #1, BLUE
09	BRICK VENEER COLUMNS - HC MUDDOX NORMAN THIN BRICK 2 1/2"x11 1/2"x1/2", COLOR: OLD TOWN RED	24	STAINLESS STEEL SERVICE COUNTER, NOT TO EXCEED 34" AFF MAX. PER SECTION 11B-226.3
10	METAL CAP FLASHING, PAINT COLOR #1, BLUE	25	WALK-IN COOLER ROOF MOUNTED CONDENSER
11	STANDING SEAM METAL ROOF, BLUE	26	AWNING WINDOW, WHITE
12	NOT USED	27	8" CMU WALL, STUCCO FINISH COLOR, PAINT COLOR #2, GRAY W/ BRICK WAINSCOT TO MATCH BUILDING
13	HOLLOW METAL DOOR W/ GLAZING, PAINT COLOR #2, GRAY	28	WOOD TRELLIS, PAINT: COLOR #1, BLUE
14	HOLLOW METAL DOOR FRAMES, PAINT COLOR #2, GRAY	29	4" FOAM TRIM WITH STUCCO FINISH, PAINT COLOR #1, BLUE
15	6" HIGH ADDRESS NUMBERS, COLOR: WHITE, NUMBERS SHALL CONTRAST WITH BACKGROUND COLOR & READILY VISIBLE FROM STREET		

NOTE:
1. SIGNS SHALL REQUIRE SEPARATE PLAN REVIEW AND PERMITS.



2 NORTH ELEVATION - DRIVE THRU/TRADE COURT
Scale: 1/4"=1'



1 SOUTH ELEVATION - WALK-UP WINDOW
Scale: 1/4"=1'

THIRD SHOE, INC.
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS. COFFEE
2030 TRADE COURT
WOODLAND, CA

Project Location:

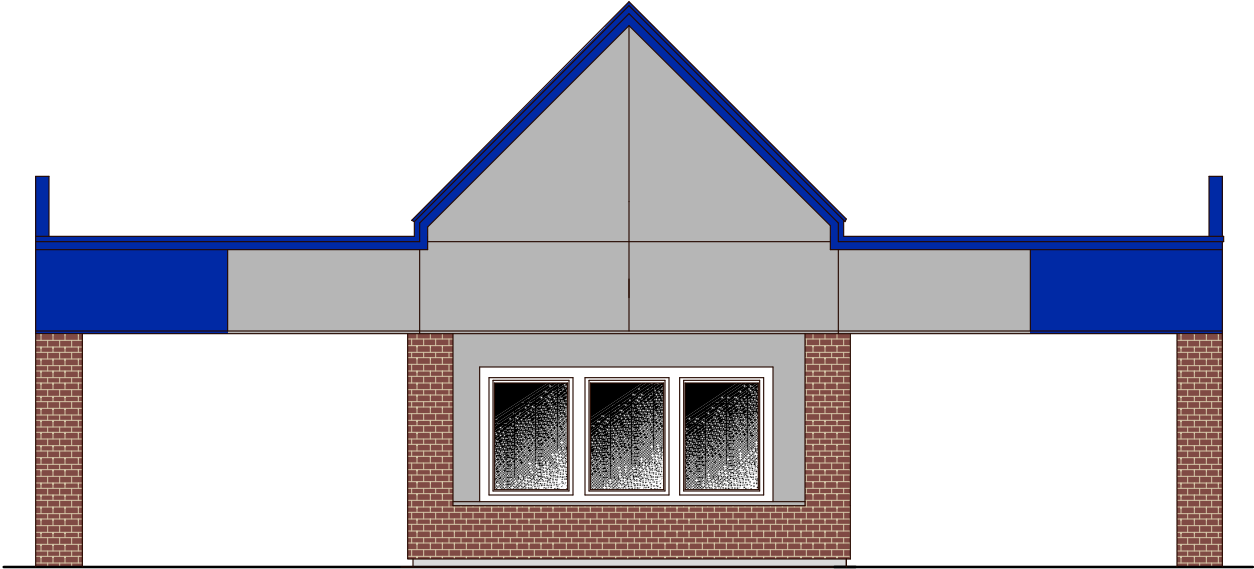
No.	Description	Date

EXTERIOR
ELEVATIONS

Project number 1517
Date 11/18/16
Drawn by KC
Checked by AC

DR-3

Scale 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

Exterior Building Colors:

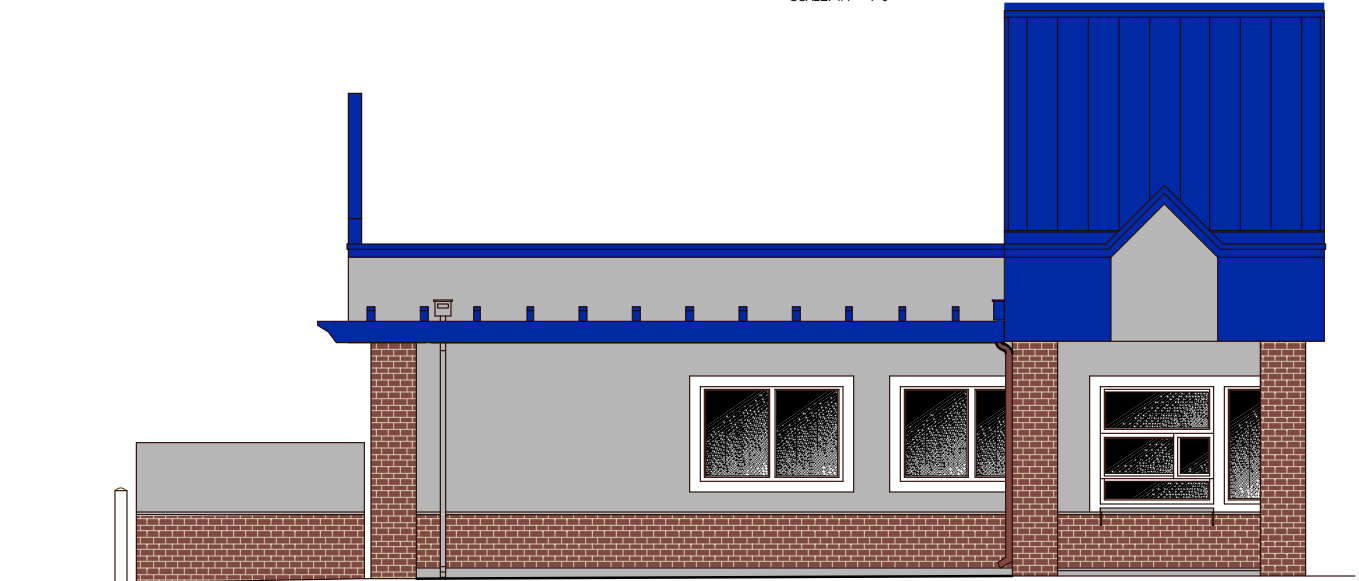
- 

BLUE PAINT:
PARAPET STUCCO,
METAL CAP
FLASHING AND METAL
ROOFING
- 

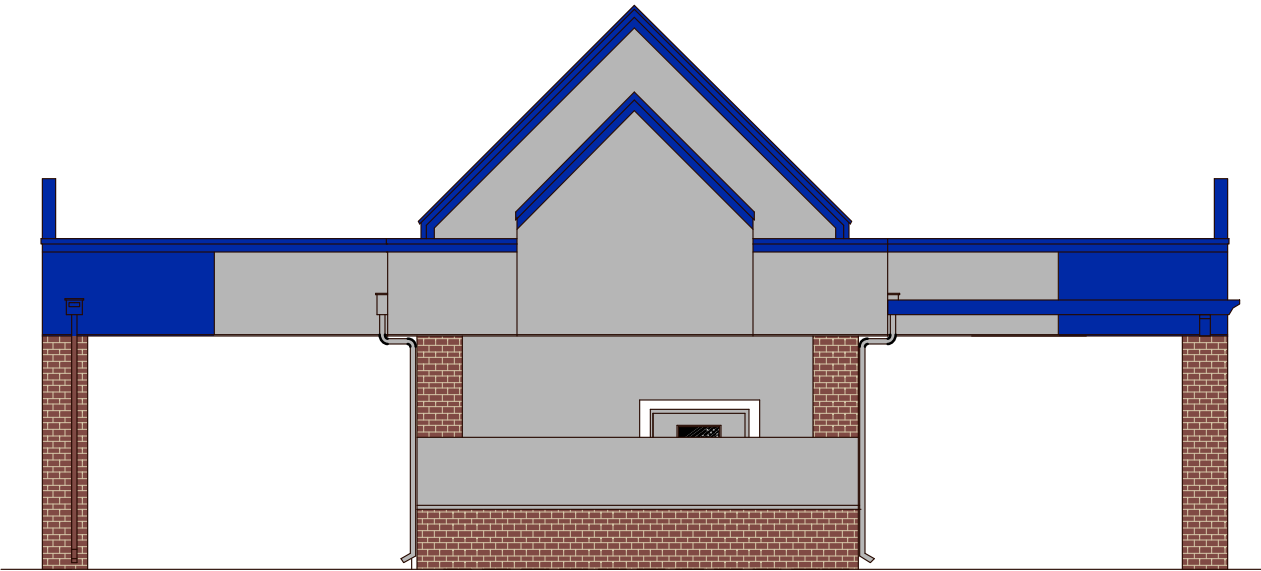
GRAY PAINT:
ALL DOORS, ROOF TRIM,
PARAPET STUCCO,
STUCCO SOFFITS, TRASH
ENCLOSURE DOOR
- 

WHITE PAINT:
WINDOW, 1X4
STUCCO
- 

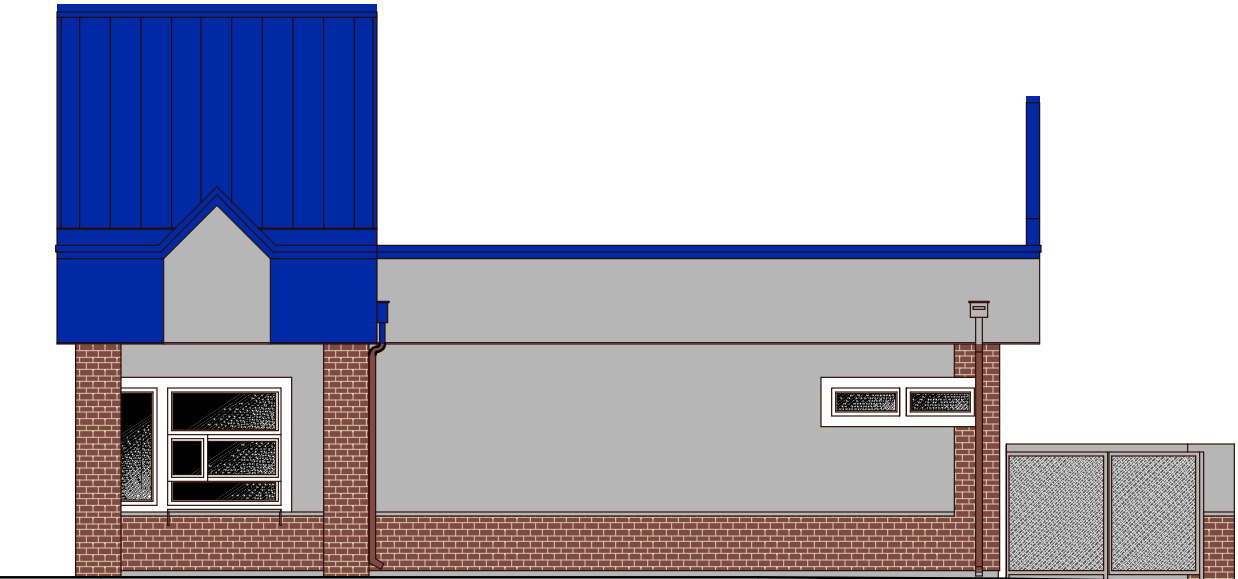
BRICK - HC MUDDOX
NORMAN - COLOR
OLD TOWN RED



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

THIRD SHOE, INC.

349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect

DUTCH BROS COFFEE
2030 TRADE COURT
WOODLAND, CA

No.	Description	Date

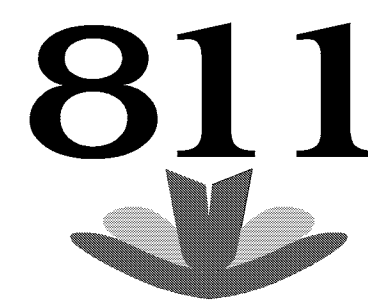
Dutch Bros.
Coffee

Color
Elevations

Project number 1628
Date 18 NOVEMBER, 2016
Drawn by JIL
Checked by

DR-4

Scale 1/4" = 1'-0"



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CALL BEFORE YOU DIG.

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CALL TWO WORKING
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GRADING PLAN

DUTCH BROS
WOODLAND
2030 TRADE CT
WOODLAND, CA



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Engineering, Inc.

Engineering, Inc.
CIVIL - STRUCTURAL - BUILDING DESIGN
5550 SKYWAY, STE C, PARADISE, CA 95969
Phone: (530) 877-3700
Fax: (530) 877-3700



RANCHO ENG. JOB: 16-105

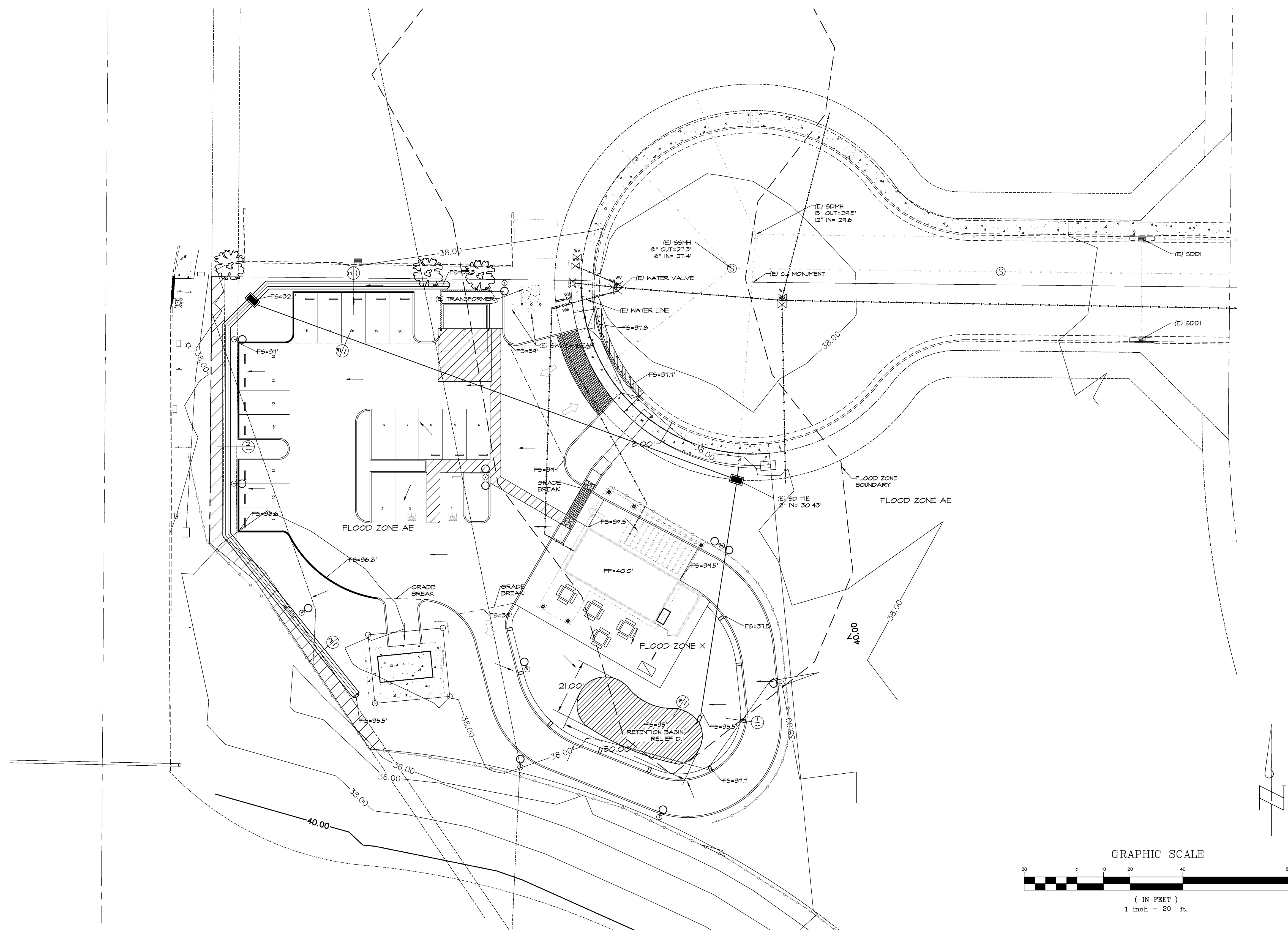
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CKD.BY: JPH

DATE: 11/02/16

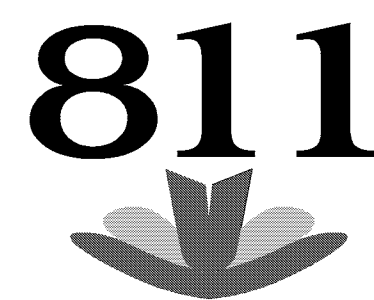
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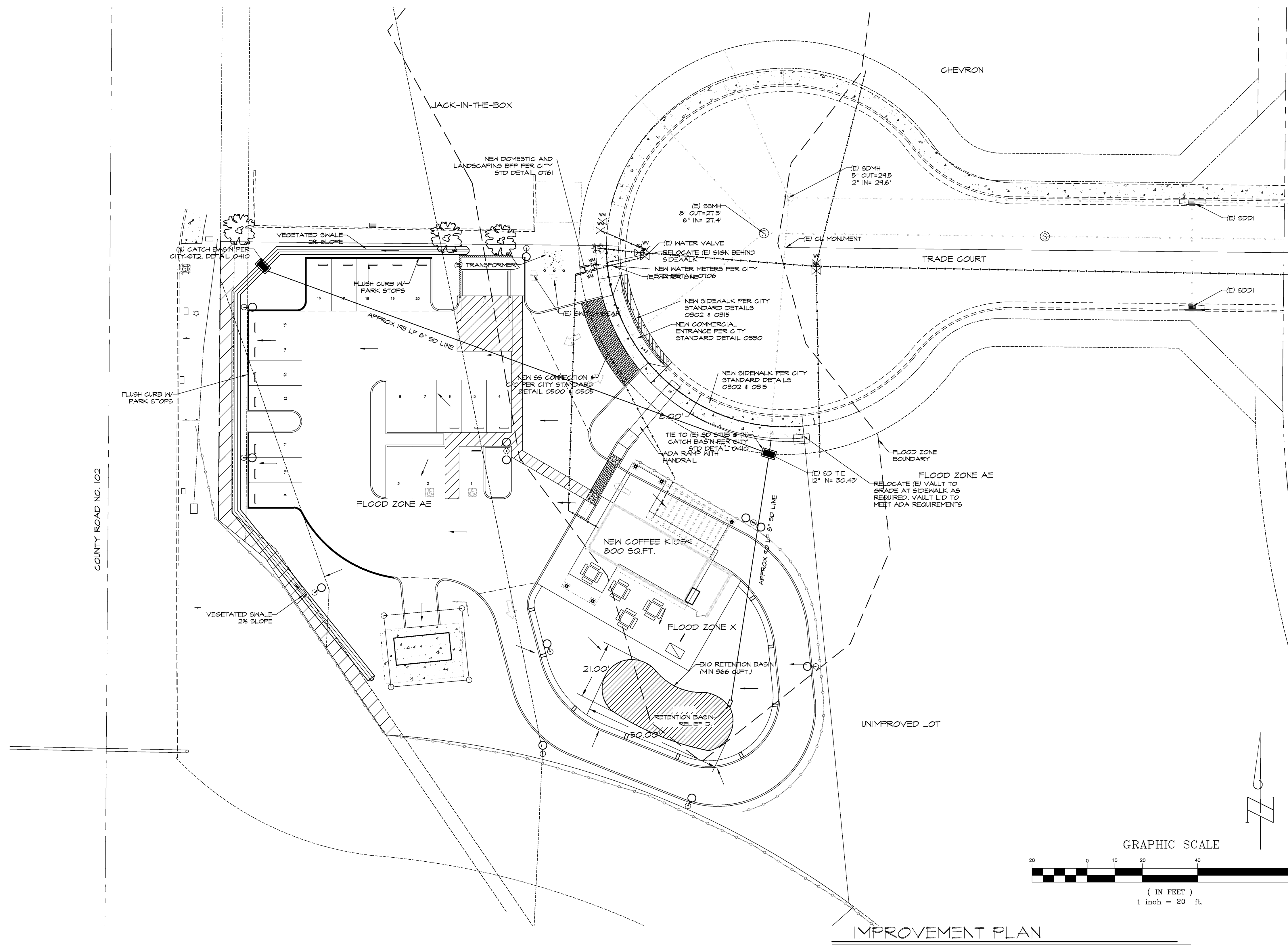
GRADING PLAN

SCALE: 1"=20



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SITE
IMPROVEMENT
PLAN

DUTCH BROS
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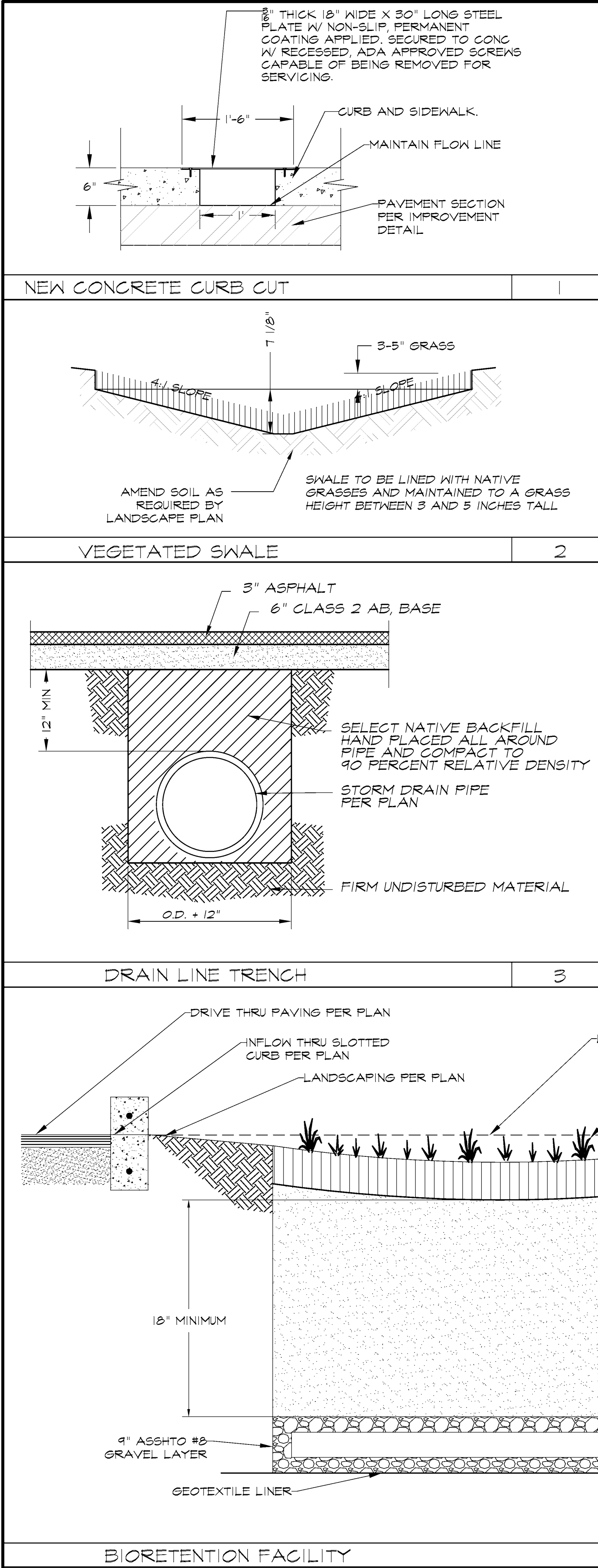
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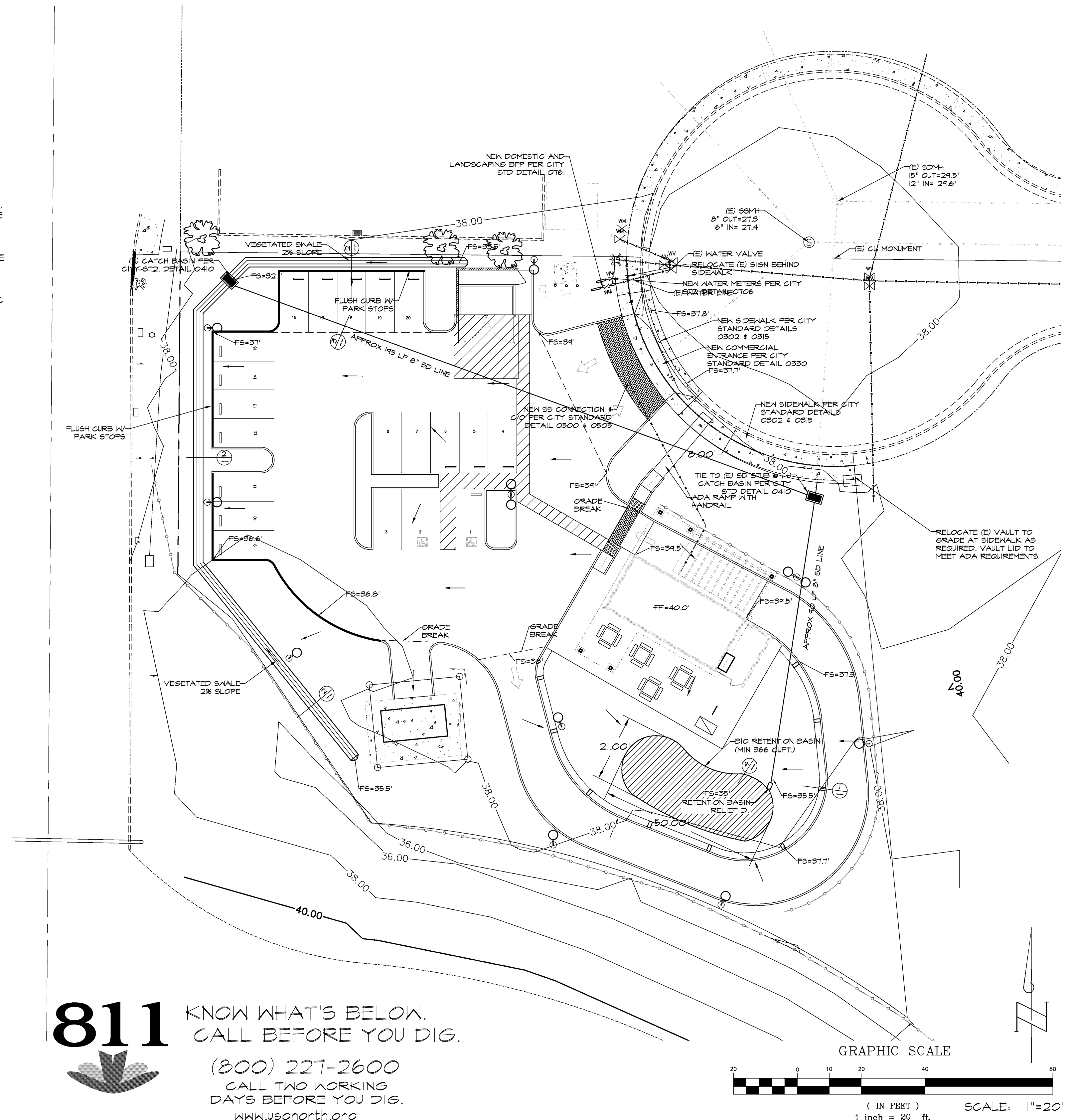
SCALE: 1"=20'



- VEGETATED SWALE: (CASQU TC-30)**
- SWALE SHOULD BE DESIGNED TO MEET CURRENT BMP'S PER THE CALIFORNIA STORMWATER BMP HANDBOOK.
 - SWALE SHOULD BE DESIGNED SO THAT THE WATER LEVEL DOES NOT EXCEED 2/3'S THE HEIGHT OF THE GRASS OR 4" AT THE DESIGN TREATMENT RATE.
 - LONGITUDINAL SLOPES SHOULD NOT EXCEED 2.5%.
 - A DIVERSE SELECTION OF LOW GROWING PLANTS THAT THRIVE UNDER THE SPECIFIC SITE, CLIMATIC, AND WATER CONDITIONS SHOULD BE SPECIFIED. VEGETATION WHOSE GROWING SEASON CORRESPONDS TO THE WET SEASON ARE PREFERRED. DROUGHT TOLERANT VEGETATION SHOULD BE CONSIDERED ESPECIALLY FOR SWALES THAT ARE NOT PART OF A REGULARLY IRRIGATED LANDSCAPED AREA.
 - THE WIDTH OF THE SWALE SHOULD BE DETERMINED USING MANNING'S EQUATION USING THE VALUE OF 0.25 FOR MANNING'S n.
 - USE OF APPROPRIATE FERTILIZER AND SOIL AMENDMENTS BASED ON SOIL PROPERTIES DETERMINED THROUGH TESTING AND COMPARED TO THE NEEDS OF THE VEGETATION REQUIREMENTS.
 - INSTALL SWALES AT THE TIME OF THE YEAR WHEN THERE IS A REASONABLE CHANCE OF SUCCESSFUL ESTABLISHMENT WITHOUT IRRIGATION; HOWEVER, IT IS RECOGNIZED THAT RAINFALL IN A GIVEN YEAR MAY NOT BE SUFFICIENT AND TEMPORARY IRRIGATION MY BE USED.
 - SWALES MUST BE VEGETATED IN ORDER TO PROVIDE ADEQUATE TREATMENT OF RUNOFF. IT IS IMPORTANT TO MAXIMIZE WATER CONTACT WITH VEGETATION AND THE SOIL SURFACE. FOR GENERAL PURPOSES, SELECT FINE, CLOSE-GROWING, WATER-RESISTANT GRASSES. IF POSSIBLE, DIVERT RUNOFF (OTHER THAN NECESSARY IRRIGATION) DURING THE PERIOD OF VEGETATION ESTABLISHMENT. WHERE RUNOFF DIVERSION IS NOT POSSIBLE, COVER GRADED AND SEEDED AREAS WITH SUITABLE EROSION CONTROL MEASURES.
 - IF SOD TILES MUST BE USED, THEY SHOULD BE PLACED SO THAT THERE ARE NO GAPS BETWEEN THE TILES; STAGGER THE ENDS OF THE TILES TO PREVENT THE FORMATION OF CHANNELS ALONG THE SWALE OR STRIP.
 - USE A ROLLER ON THE SOD TO ENSURE THAT NO AIR POCKETS FORM BETWEEN THE SOD AND THE SOIL.
 - WHERE SEEDS ARE USED, EROSION CONTROLS WILL BE NECESSARY TO PROTECT SEEDS FOR AT LEAST 75 DAYS AFTER THE FIRST RAINFALL OF THE SEASON.

- MAINTENANCE:**
- INSPECT SWALES AT LEAST TWICE ANNUALLY FOR EROSION, DAMAGE TO VEGETATION AND SEDIMENT AND DEBRIS ACCUMULATION. PREFERABLE AT THE END OF THE WET SEASON TO SCHEDULE SUMMER MAINTENANCE AND BEFORE MAJOR FALL RUNOFF TO BE SURE THE SWALE IS READY FOR WINTER. HOWEVER, ADDITIONAL INSPECTION AFTER PERIODS OF HEAVY RUNOFF IS DESIRABLE. THE SWALE SHOULD BE CHECKED FOR DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION.
 - GRASS HEIGHT AND MOWING FREQUENCY MAY NOT HAVE A LARGE IMPACT ON POLLUTANT REMOVAL. CONSEQUENTLY, MOWING MAY ONLY BE NECESSARY ONCE OR TWICE A YEAR FOR SAFETY OR AESTHETICS OR TO SUPPRESS NEEDS AND WOODY VEGETATION.
 - TRASH TENDS TO ACCUMULATE IN SWALE AREAS, PARTICULARLY ALONG HIGHWAYS. THE NEED FOR LITTER REMOVAL IS DETERMINED THROUGH PERIODIC INSPECTION, BUT LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING.
 - SEDIMENT ACCUMULATION NEAR CULVERTS AND IN CHANNELS SHOULD BE REMOVED WHEN IT BUILDS UP TO 15MM (3/4") AT ANY SPOT, OR COVERS VEGETATION.
 - REGULARLY INSPECT SWALES FOR POOLS OF STANDING WATER. SWALES CAN BECOME A NUISANCE DUE TO MOSQUITO BREEDING IN STANDING WATER IF OBSTRUCTIONS DEVELOP (E.G. DEBRIS ACCUMULATION, INVASIVE VEGETATION) AND/ OR IF PROPER DRAINAGE SLOPES ARE NOT IMPLEMENTED AND MAINTAINED.

- STORM WATER QUALITY NOTES:**
- SITE IS GENERALLY ON MODERATELY WELL DRAINED SOIL. SHEET FLOW TO CONTROL MEASURES ARE TO BE USED TO FILTER WATER PRIOR TO ENTRANCE INTO CITY FACILITIES.
 - VEGETATED SWALES ARE TO BE USED TO THE WEST AND NORTH OF THE PARKING LOT. A RETENTION BASIN IS TO BE USED TO PERCOLATE STORM WATER FROM THE BUILDING AND ASSOCIATED FLATWORK.
 - STORMDRAIN TIES ARE TO BE PROVIDED TO CITY FACILITIES AFTER TREATMENT.



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STORMWATER
PLAN

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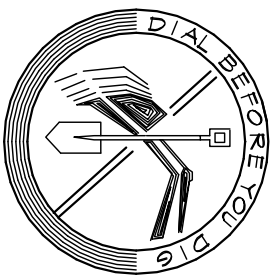
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TWO WORKING DAYS BEFORE YOU DIG

PLANT LEGEND			
Key	Botanical Name - Common Name	Qty *	Size **
TREES			
T1	Zelkova serrata 'Green Vase' - green Vase Japanese Zelkova	7	#15 L
T2	Lagerstroemia x faurei 'Natchez' - White Crape Myrtle	3	#15 L
T3	Koeleria paniculata - Golden Rain Tree	5	#15 L
T4	Platanus x acerifolia 'Varwood' - London Plane Tree	4	#15 M
SHRUBS			
S1	Cistus purpureus - Purple Rock Rose	12	#5 L
S2	Leptospermum laevigatum 'Reveal'	10	#5 L
S3	Leptodermis indica 'Ballerina'	10	#5 L
S4	Trichostema 'Dwarf Pink'	30	#5 L
S5	Westringia fruticosa 'Morning Light'	4	#15 L
S6	Juniperus 'Mitchia Blue' - Mitchia Blue Columnar Juniper	4	#15 L
PERENNIALS			
P1	Dianthus vegeta - Fortnight Lily	13	#1 L
P2	Stipa tenuissima - Mexican Feather Grass	54	#1 L
P3	Tulcangia violacea - Society Garlic	15	#1 L
VINES			
V1	Ficus pumila - Creeping Fig	2	#5 M
V2	Solanum jasminoides - Foliage Vine	17	#5 L

GROUND COVERS		
Symbol	Size **	Notes
6C1	#1 L	Lantana montevidensis - Purple Trailing Ground Cover Plant 1 gal @ 36" o.c.
6C2	#1 V1	Baccharis pilularis 'Centennial' - Coyote Bush Plant 1 gal @ 36" o.c.
6C3	#1 L	Rosa rugosa 'Princess Diana' - Trailing Rosemary Plant 1 gal @ 36" o.c.
6C4	#1 L	Myoporum parvifolium - Myoporum plant #1 @ 36" o.c. Plant 1 gal @ 36" o.c.
6C5	#1 L	Native Moss Free! Sod (Low Water Usage) DELTA BLUEGRASS COMPANY 1-800-637-8873

- A combination of coarse and fine bladed grasses:
• Western Hucklebush Fescue - Festuca occidentalis
• Molara Fescue - Festuca rubra

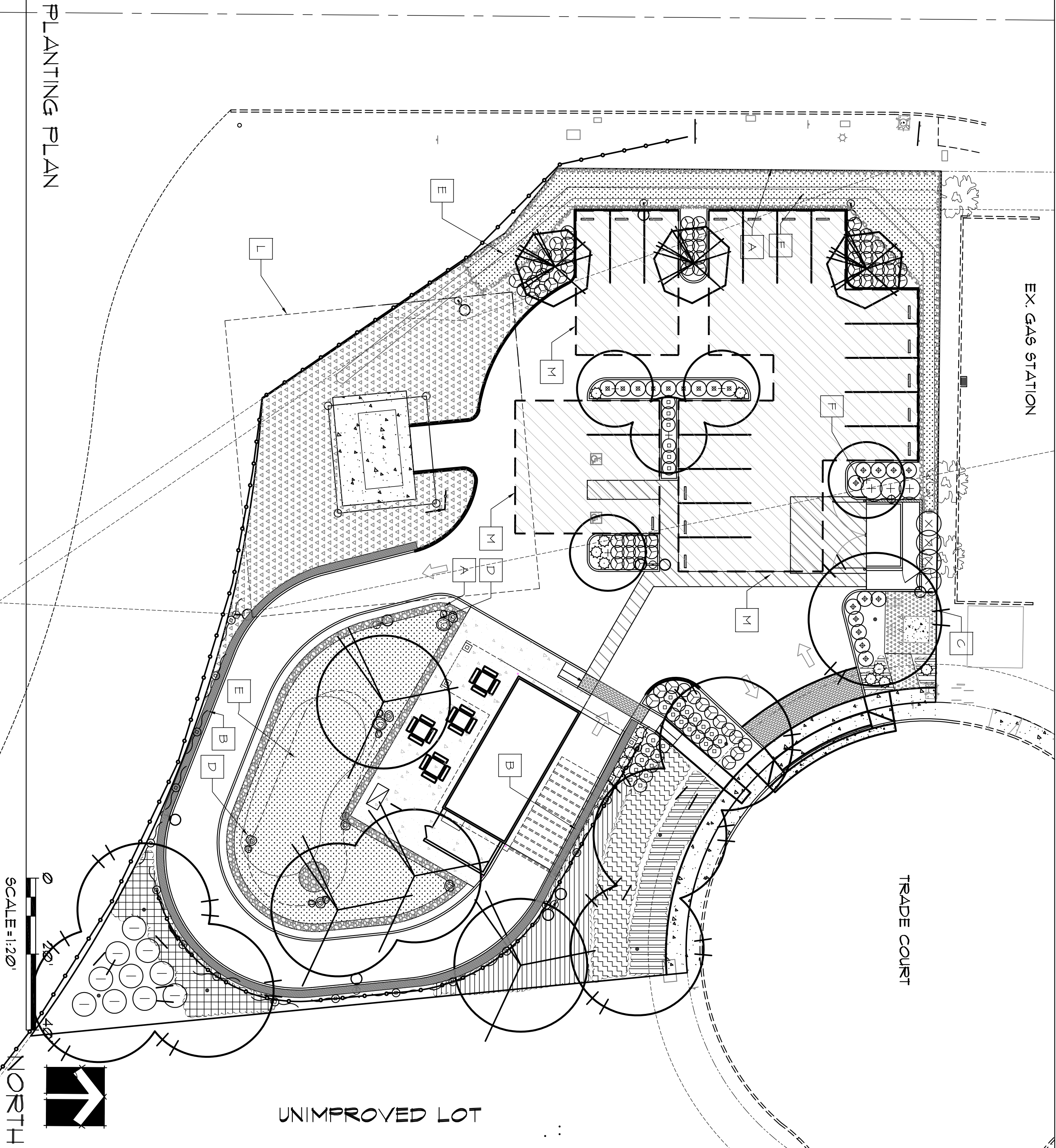
Note: ** Planting to verify all quantities from plan. Plant legend is for reference only.

Note: ** FFI, NCOLS IV Species Evaluation List-2014

EX. GAS STATION

TRADE COURT

UNIMPROVED LOT



NOTES:

- Place 2" - 3" size cobble in swales as indicated as well as low lying areas or at drop inlets as required.
- Place 4" depth decomposed granite as indicated. Install Permaco Clean and adjacent shrub beds or lawn areas.
- 2" depth 3/4" size Soroma Gold (or equal) crushed rock placed over landscape fabric.
- Place moss rock fieldstone boulders as indicated
- Storm water detention area, refer to the Civil Engineer plans for additional information. Plant No-Mow grasses, refer to the plant legend this sheet.
- Around trash enclosures, carports, pool equipment, electric transformers, cable boxes, etc.) landscaping shall be designed to provide a visual screen.
- A Soils Fertility Test with recommendations shall be provided with the Landscape documentation Package per the Model Water Efficient Landscape Ordinance (MWELO) Requirements. The Landscape Contractor is responsible for obtaining a soils report. The soils test shall be collected after grading operations and prior to installation of landscape materials. The Landscape Contractor shall provide a report of the soils test results, as recommended or better, to correct deficiencies noted by the soils report.
- Shrub planting shall be a minimum five-gallon size. Groundcover plants used for mass planting shall be containerized woody shrub groundcover plantings planted no farther apart than three (3) feet on center in order to achieve full coverage within one (1) year.
- Landscape plantings include drought-tolerant, ornamental, native species, complement the architectural design of structures on the site, and are suitable for the soil and climatic conditions specific to the site.
- The landscape plans will comply with the requirements of the Model Water Efficient Landscape Ordinance (MWELO).
- A Certificate of Completion shall be obtained from the City and the project completion of the landscape project.
- All trees, shrubs, and other vegetation within the easement area shall not exceed a height of fifteen (15) feet at maturity and no trees or shrubs shall be planted within a fifteen (15) foot horizontal distance from the conductors at rest.
- Parking lot area to be shaded = 2644 sf
40% required to be shaded = 1058 sf
Total Shade Provided = 314 sf per tree, (8) trees provided = 2512 sf or 39%

THIRD SHOE, INC.
349 Silver Lake Drive
Chico, CA 95973
916-898-0123
ALAN CHAMBERS
Architect

DUTCH BROS COFFEE
2030 TRADE COURT
WOODLAND, CA

DUTCH BROS
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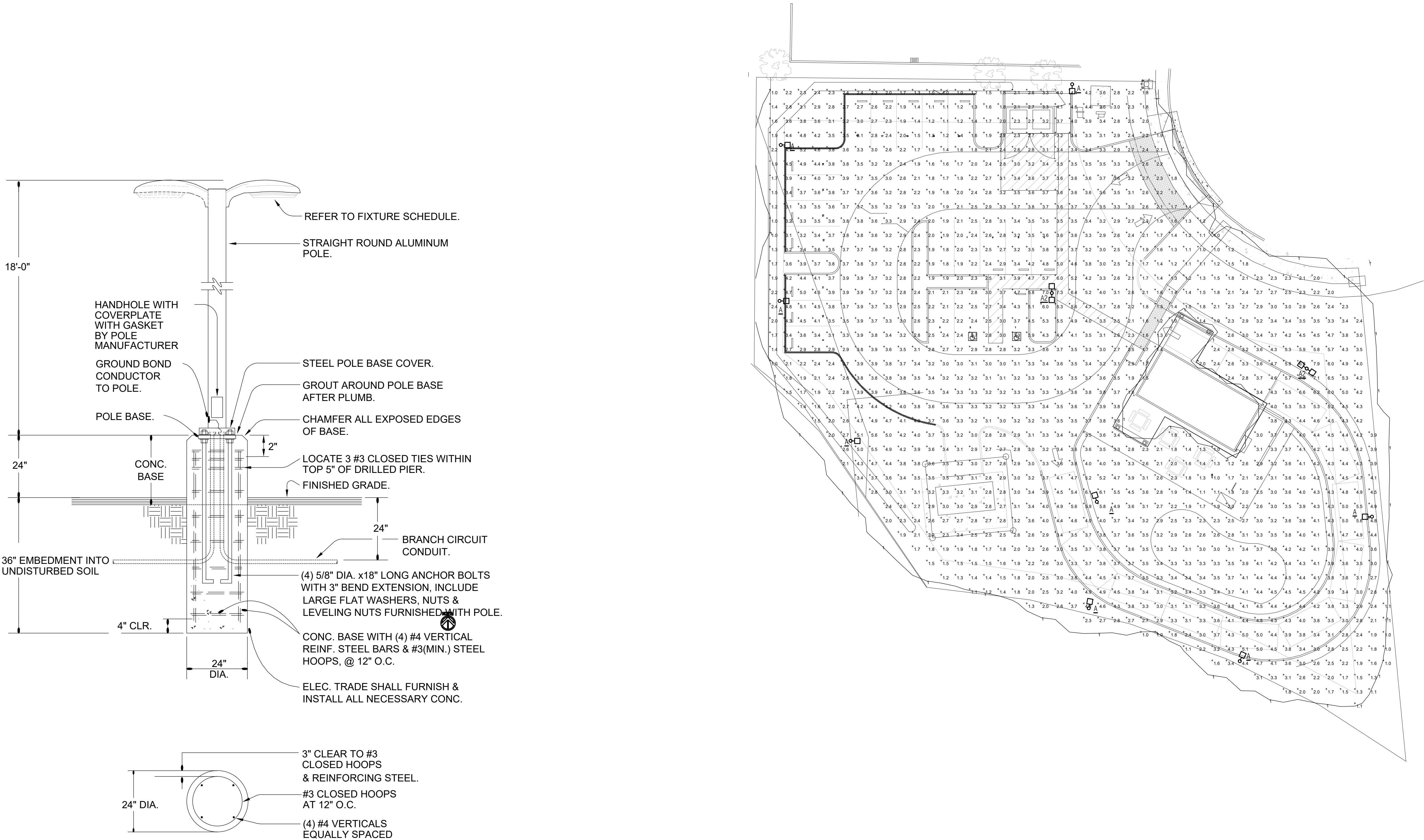
PLANTING
PLAN

THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
ASA
California Landscape Architect #4122
P.O. Box 8328
Chico, CA 95921-8328
(530) 897-8897 (530) 892-9888x
thp@thparchitect.com

Project number 14117
Date 02 NOV 2016
Drawn by THP
Checked by AC
Scale 1" = 20'

LUMINAIRE SCHEDULE							
TYPE	MANUFACTURER/CATALOG	DESCRIPTION	MOUNTING		VOLTS	WATTS	REMARKS
				TYPE			
A	LITHONIA LIGHTING DSXO LED 40C 1000 30K T4M MVOLT PIR HS DDBXD	OUTDOOR LED POLE	POLE	LED	208	137.2	
A2	LITHONIA LIGHTING DSXOLED 40C 1000 30K T4M MVOLT PIR HS DDBXD	OUTDOOR LED POLE	POLE	LED	208	274.4	(2) HEADS @ 180

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.1 fc	7.9 fc	1.0 fc	7.9:1	3.1:1



2 POLE LIGHT DETAIL - RAISED BASE
NO SCALE

1 ELECTRICAL SITE PLAN - PHOTOMETRICS
SCALE: 1" = 20'-0"

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349 Silver Lake Drive
Chico, CA 95973
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ALAN CHAMBERS
Architect



EDGE
ELECTRICAL CONSULTING
431 30th Street
Sacramento, CA 95816
916.256.2460
300 27th Street #201
Oakland, CA 94612
510.775.3656
Project Number C497 Contact Dean

No.	Description	Date

PHOTOMETRIC

Project number
Date
Drawn by
Checked by

E1.2

Scale



Legislation Details (With Text)

File #: 16-841 Version: 1 Name:
Type: Staff Report Status: Agenda Ready
File created: 11/21/2016 In control: Planning Commission
On agenda: 12/1/2016 Final action:
Title: SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar for informational purposes only.

Sponsors:

Indexes:

Code sections:

Attachments: [A - Planning Commission Long Range Calendar Prepared 11-21-16](#)

Date	Ver.	Action By	Action	Result
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City of Woodland

MEMORANDUM

TO: Members of the Woodland Planning Commission
DATE: December 1, 2016
SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the Planning Commission receive the Long Range Calendar for informational purposes only.

Staff Contact

Debbie Flemmer, Admin. Secretary - (530) 661-5818, debbie.flemmer@cityofwoodland.org

BACKGROUND:

This calendar is being provided for planning purposes only and is intended to keep the Commission apprised of upcoming agenda items and better plan for upcoming Planning Commission items.

ATTACHMENTS:

Attachment A - Planning Commission Long Range Calendar Prepared November 21, 2016

PLANNING COMMISSION LONG RANGE CALENDAR

Items subject to removal and/or rescheduling

Prepared November 21, 2016

December 1, 2016 (Possible Cancellation)

Dutch Brothers CUP PH

December 15, 2016

Appeal of Zoning Interpretation Public Hearing PH
Vote for Chair and Vice Chair and Subcommittee Appointments

January 5, 2017

Accessory Dwelling Unit Ordinance Update PH

January 19, 2017

FUTURE AGENDA ITEMS – DATE TO BE DETERMINED:

General Plan

January 23(?) – Policy Discussion of key issues at the CC
February 9, 2017 – PC Public Hearing #1
February 23, 2017 – PC Public Hearing #2
March 14, 2017 – CC Public Hearing #1
March 28, 2017 – CC Public Hearing #2 and final action

Projects Long Range:

Specific Plan 1A
Accessory Dwelling Unit Modifications due to state legislation changes
Public Art
Marijuana Ord
Zoning Code Update
Downtown Specific Plan Update

SUBCOMMITTEES

- **General Plan** (Ortega-Lampkin, Holt, Lizarraga)
- **Zoning Subcommittee** (Holt, Lizarraga, Lopez)
- **Public Art** (Wells, Lopez)
- **Design Liaison** (Holt)

CITY COUNCIL

HISTORIC PRESERVATION

WORKSHOPS

CC Affordable Housing Workshop #2 (tbd – Feb, 2017?)