



City of Woodland

Meeting Agenda - Final

Planning Commission

City of Woodland Planning
Commission
c/o Community
Development Department
300 First Street
Woodland, CA 95695
530-661-5820

Thursday, October 5, 2017

6:30 PM

Council Chambers

MEETING CANCELED DUE TO A LACK OF QUORUM

All items listed within will be addressed at the next regularly scheduled Planning
Commission meeting, October 19, 2017

A. Call to Order

B. Roll Call

C. Pledge of Allegiance

D. Staff and Commissioner Comments

This is an opportunity for the Planning Commission members and staff to make comments and announcements to express concerns, or to request Commission's consideration of any items a Commission member would like to have discussed at a future Commission meeting..

E. Subcommittee Reports

F. Communications from the Public

This is an opportunity for the public to speak to the Commission on any item other than those listed for public hearing on the agenda. Speakers are requested to use the microphone in front of the Commission and to begin by stating their name, whether they reside in Woodland and the name of the organization they represent if any. The Commission may impose a time limit on any speaker depending on the number of people wanting to speak and time available for the rest of the agenda. In the event comments are related to an item scheduled on the agenda, speakers may be required to wait to make their comments until that item is considered.

G. Approval of Minutes

H. Public Hearing

[17-0629](#)

SUBJECT: Public Art Ordinance. Approval of Public Art Ordinance and Related Consistency Amendments.

I. Business Items

Items for Planning Commission discussion and/or action that do not require public hearing.

[17-0630](#)

SUBJECT: Design Review for the Country Oaks Subdivision

DATE: October 5, 2017

RECOMMENDATION: Staff recommends that the Planning Commission:

1. Review and approve the proposed conceptual residential designs for Country Oaks subject to the conditions of approval.

Attachments: [1 - General Application](#)

[2 - Residential Design Booklet](#)

[3 - Country Oaks Subdivision Map #4581 and Conditions of Approval](#)

J. Staff or Commissioner Comments

Continued as needed.

Receive Absence Requests.

K. Adjournment

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



Legislation Details (With Text)

File #: 17-0629 **Version:** 1 **Name:**
Type: Public Hearing Item **Status:** Agenda Ready
File created: 9/28/2017 **In control:** Planning Commission
On agenda: 10/5/2017 **Final action:**
Title: SUBJECT: Public Art Ordinance. Approval of Public Art Ordinance and Related Consistency Amendments.

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
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Planning Commission

Public Art Ordinance. Approval of Public Art Ordinance and Related Consistency Amendments.

This item is continued to the October 19, 2017, Planning Commission meeting.



Legislation Details (With Text)

File #: 17-0630 Version: 1 Name:
Type: Staff Report Status: Agenda Ready
File created: 9/28/2017 In control: Planning Commission
On agenda: 10/5/2017 Final action:
Title: SUBJECT: Design Review for the Country Oaks Subdivision

DATE: October 5, 2017

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Sponsors:

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Attachments: [1 - General Application](#)
[2 - Residential Design Booklet](#)
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Date	Ver.	Action By	Action	Result
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MEMORANDUM

TO: Members of the Woodland Planning Commission

FROM: Megan Meier, Associate Planner

SUBJECT: Design Review for the Country Oaks Subdivision

DATE: October 5, 2017

RECOMMENDATION: Staff recommends that the Planning Commission:

1. Review and approve the proposed conceptual residential designs for *Country Oaks* subject to the conditions of approval.

PROJECT PROPOSAL:

An application has been filed for Site Plan and Design Review for a residential project (*Country Oaks*) on 5.65 acres zoned for low density residential (R-1). The project consists of 38 single-family detached homes with five (5) floor plans, three (3) architectural styles and fourteen (14) different elevations. The homes range in size from 1,244 to 1,752 square feet. A lot layout plan, typical front yard landscape plan, and a residential design booklet are included in the plan submittal.

BACKGROUND:

The Country Oaks Subdivision is located northwest of the Gum Avenue and Matmor Road intersection. The subdivision was created by Subdivision Map No. 4581 approved along with the adjoining Conditional Use Permit and Planned Development by the Planning Commission on November 1, 2007. The originally approved map was valid for a period of three (3) years, but with the onset of the recession a series of State of California mandated map extensions extended the life of the map until November 1, 2017. Additionally, Planning Commission approved an additional 12-month extension ultimately extending the life of the map to November 1, 2018. The subject property was originally a closed recreational facility/health club, which has since been demolished to make way for the approved development. The project site is bound on all sides by single family residential (R-1) and will be a continuation and linking of Molly and Betty Avenues. The map was approved with the thirty-eight lots ranging in size from 3,200 to 3,280 square feet with 10% of the project to be set aside for affordable units.

PROJECT ANALYSIS:

The project design review was performed using the approved Planned Development Overlay Zone Designation (PD) along with City Design Standards. The PD overlay designation encourages a creative and more efficient approach to the use of land, and provides for greater flexibility in the design of integrated developments, than otherwise possible through strict application of zoning regulations. A Conditional Use Permit for the PD was approved concurrently with the Tentative Subdivision Map. The PD/CUP granted the following deviations from City regulations:

- Minimum lot size for single-family residential lots shall be a minimum of 4,500 square feet (regularly 5,000)
- Minimum lot width for single-family residential lots shall be a minimum 45 feet (regularly 50)
- Minimum 15-foot front yard setbacks for the main house (regularly 20)

The pre-plot plan represented in Attachment 2, shows the plot layout with a mix of home designs represented by the colors denoting different elevation and floor plans. The plan also shows the building envelopes and proposed siting of the home on each parcel.

Staff's review of the conceptual residential plot plan noted that twelve (12) of the homes show a slight encroachment into the rear twenty (20) foot setback. The modified back yard setbacks range in size from 19 feet 6 inches to approximately 13 feet 6 inches as shown on the pre-plot-plan (page 2 of Attachment 2). However, the larger footprint of the single story homes make it more likely for a slight encroachment to occur especially on irregular shaped parcels. Some of the other site design elements that potentially offset these overages include the lower density for the tract at 6.5 units to an acre with a 40% lot coverage, below the allowable 50% coverage. Additionally, staff compared the average backyard sizes of new development within the City and it was noted the rear yards will be above the average size of most Spring Lake homes that can go as low as 12 feet.

Staff did express some concern about the overall connectivity of the subdivision with the collector and arterial street network in the area. In response to Staff's concern about the lack of direct connection to Gum Avenue, the applicant has agreed to add a pedestrian paseo connecting Gum to Betty Avenue and through to Molly Avenue, as notated on the pre-plot plan. Staff will review the paseo design along with adjoining property setbacks at time of formal landscape design submittal.

Compliance With Design Standards

To achieve architectural diversity within residential neighborhoods, the approved CUP/PD required (3) different floor plans and three (3) elevations. Additionally, as part of the conditions attached to the prior approval, those lots adjacent to existing homes with one-story buildings shall not be built with a two-story home behind it to lessen possible impacts to surrounding homes (additions to existing homes by the homeowner are exempt under this condition). The applicant has chosen to design all the units in Country Oaks as single-story homes to be compatible with the existing neighborhoods. Staff finds that the resulting unit and elevation mix meets the intent of the City Design Standards for architectural diversity.

The following table indicates the plan mix:

Plan	Square Footage	Number of Lots	No. of Designs
Affordable 1	1244	2	2
Affordable 2	1279	2	2
Residence 1	1439	20	4
Residence 2	1613	6	3
Residence 3	1752	7	3

The exterior materials being proposed include:

<u>Features</u>	<u>Style or Material</u>
Roofs	Composition Shingle
Masonry	Brick and stone wainscot
Stucco	Sand finish and medium-knockdown
Trim	Foam forms with stucco finish
Accent Awnings	Standing Seam Metal
Shutters	Faux Wood
Siding	Hardy Plank

A desired intent of the Country Oaks development was to provide infill development that met the needs of the community while seamlessly integrating into the surrounding neighborhoods. The applicant has proposed a number of different facades to create variety and interest along a street and provide a mid-sized home that has a traditional elegance. The color palettes include a mix of earth tones accented with deeper jewel or softer blue/green hues. A mix of porticos, front porches and column accents and varying rooflines are included on all of the 38 homes to enhance the street front appearance. Further, all residential units include a separated, enhanced pedestrian pathway from back of walk to the front door.

The applicant has worked to develop architectural styles that provide for differentiation between plans. The plan submittal includes three (3) different architectural styles: Southwest, Country Cottage, and Craftsman. The Southwest style utilizes smoother stucco walls, terra cotta style vents, and wood beam accents in the gables. For the Country Cottage style, stucco walls, plank type shutters, and brick or stone wainscot are incorporated into the design. Hardie-plank lap siding, spruce wood columns, and shingle accents are provided for the Craftsman style.

Although staff does not usually comment on floorplans there was concern expressed by the Planning Commission Design Review Liaison that a majority of the floor plans had the master bedroom opening onto the main living space with no alcove or separation. The applicant has indicated that he is willing to work with his architect to add in private alcove entrance ways to the master bedroom areas.

To address State and City energy and sustainability landscape requirements the applicant is providing water conserving landscaping with minimal water wise turf for all front yard landscaping as shown on the front yard landscape plans (Sheets31-36 part of Attachment 2).

Staff's review of the conceptual residential elevations and plans, finds the residential designs, as conditioned, substantially comply with City Design Standards and the approved CUP/PD conditions. The proposed residential designs incorporate a variety of elevation styles, varied roof lines, and a mix of siding and accent materials. Staff received comments from the Planning Commission Design Liaison who expressed concern with the applicant's use of foam detailing and composition shingle on the southwest style homes. The applicant's response to this comment is that all of the trim/ornament will be hardy plank in combination with some foam elements, or long-lasting material and some will be painted to look like wood. These materials along with the composition shingle roofs were done in an effort for easier home maintenance, and longevity while still achieving an aesthetically pleasing product.

The applicant shall comply with the following Conditions of Approval specific to the design review application, but shall also be subject to applicable conditions provided in the originally approved CUP/PD and Tentative Subdivision Map #4581 (Attachment 3).

RECOMMENDED CONDITIONS OF APPROVAL

COA #1: *Country Oaks* shall comply with City Design Standards along with all previous conditions approved with the CUP/PD and on any changes proposed after the initial design review approval of October 5, 2017. Proposed changes shall be submitted to staff for review. Minor design or material changes and/or setback modifications consistent with the intent of the Design Standards can be approved by staff and major changes will be reviewed by the Planning Commission.

COA #2: Prior to issuing any building permit, a final site and design review of final plans shall be conducted by staff. This final review may require further site and design changes to ensure compliance with Design Standards and conditions contained herein.

COA #3 Compliance with the following standards is required prior to issuance of a building permit:

- This project must meet all criteria and mandates for these City adopted codes or the most current code:
 - A. 2016 California Building Code
 - B. 2016 California Plumbing Code
 - C. 2016 California Mechanical Code
 - D. 2016 California Electrical Code
 - E. 2016 Building Energy Efficiency Standards

- F. 2016 California Green Building Code
- G. The Code of the City of Woodland

- Other City and County Agencies (Health, Fire, Public Works, and Planning) may be required to approve the project prior to a building permit being issued.
- Recycle plan is required at time of permit issuance along with a \$1000 deposit.
- Any deferred submittals that are not a part of the initial permit application must be listed on the cover sheet of the plan at the time of application for the project.
- All plans, computations and specifications to be prepared and designed by an architect or engineer licensed by the state of California.
- A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the building.
- A soils investigation report shall be provide as specified in section 1803.2 of the 2016 CBC.
- Footings or foundations for buildings founded on expansive soils shall be designed in accordance with *CBC 1808.6.1* **and for concrete slab foundations** the design shall be in accordance with *CBC 1806.6.2* **and *PTI Standard Requirements for Design of Shallow Post-Tensioned Concrete Foundations on Expansive Soils* or *WRI/CRSI Design of Slab-on-Ground Foundations* and the specific recommendations as noted in the geotechnical engineering report.**
 - a. Any area that was part of a former building, tennis courts and swimming pool needs to be reviewed by the soils engineer with findings and solutions if needed.

COA #4: Construction Recycling. Prior to the commencement of construction on any project, the applicant shall ensure that the construction contractor has established construction recycling measures pursuant to City requirements.

COA #5: Accent Treatment. Color, material and/or accent treatment shall be carried around the side of all the homes. Homes located on corner lots, and/or side and rear elevations that are visible to public view shall have enhanced treatment provided on sides and rear in addition to the home front.

COA #6: Mechanical Equipment. Mechanical equipment such as heating, ventilation, and air conditioning units shall not be viewable from any street.

COA #7: Residential Fencing. All wood fence footings and foundations shall be constructed of galvanized steel, reinforced concrete, or masonry. No treated wood materials in contact with the ground will be permitted. All wood fencing shall be stained with a water sealant to prevent water damage and staining.

COA #8: Walks and Pathways. Details of the pedestrian walks/pathway design and fencing shall be provided on landscape plans prior to the issuance of building permits. Final design review and approval of landscape plans, walks/pathways and setbacks of adjacent properties shall be

conducted by staff.

COA #9: Landscape Plan Submittal. Detailed Landscape and Irrigation plans shall be submitted and approved by the Community Development, and Parks and Recreation Departments concurrent with public improvement plans and prior to issuance of building permits. Landscape plans shall specify the following:

- Locations, size, and quantity of all plant materials.
- A plant legend specifying species type (botanical and common names), container size, maximum growth habit, and quantity of all plant materials.
- Location of all pavements, fencing, buildings, accessory structures, parking lot light poles, property lines, and other pertinent site plan features.
- Planting and installation details; and notes including soil amendments.
- Details of all irrigation (drip, sprinkler, and bubbler) as well as equipment such as backflow controller and water meter devices identified.

COA #10: Public Landscaping. Final landscaping plans for all areas to be maintained by the Lighting and Landscape District shall be submitted for review and approval by Community Development and Development Services Department.

COA #11: Timing of Public Landscaping. Landscaping of public areas is a public improvement. Design and construction of public landscaping areas shall proceed concurrent with adjacent development.

COA #12: Water Conservation. Applicant shall comply with both the City and the State of California's new Water Efficient Landscape Ordinance AB 1881. The landscape architect shall document and attest to the compliance with the new State ordinance on the final front yard landscape plans.

COA #13: Construction Management Plan. Prior to issuance of any permit or inception of any construction activity on the site, the developer shall submit a construction impact management plan including a project development schedule and "good neighbor" information for review and approval by the Community Development Department. The plan shall include but is not limited to public notice requirements for periods of significant impacts (noise/vibration/street closures, tree removal, etc.), special street posting, construction vehicle parking plan, phone listing for community concerns, names of persons who can be contacted to correct problems, hours of construction activity, noise limits, dust control measures, and security fencing and temporary walkways.

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Review and approve the proposed conceptual residential designs for *Country Oaks* subject to the conditions of approval.

RECOMMENDED ACTION: Staff recommends approval of the residential designs by making an affirmative motion as follows:

MOTION NO. 1: Move to APPROVE the residential design for *Country Oaks*, as shown in the Plan Booklet, overall site exhibit (lot layout), and color/materials boards, subject to the

conditions of approval provided.

- Determine that the project as conditioned is consistent with the originally approved Planned Development Overlay.
- Determine that the project as conditioned is consistent with the City Design Standards.
- Approve the conceptual residential designs for *Country Oaks*

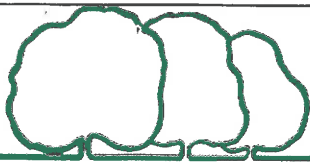
ATTACHMENTS:

Attachment 1 - General Application

Attachment 2 - Residential Design Booklet (Pre-Plot Exhibit, Landscape Plans, Elevations, Floor Plans, Color samples)

Attachment 3 - Country Oaks Subdivision Map #4581 and Conditions of Approval

ATTACHMENT 1



City of Woodland

Community Development Department

300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER:

Molly Ave., LLC

MAILING ADDRESS:

728 Edgewood Court

CITY STATE ZIP CODE:

Woodland, Ca. 95695

PHONE NUMBER:

(916) 628-7867

E-MAIL ADDRESS:

tpsnow53@yahoo.com

PROJECT APPLICANT

Tim Snow

MAILING ADDRESS:

728 Edgewood Court

CITY STATE ZIP CODE:

Woodland, Ca. 95695

PHONE NUMBER:

(916) 628-7867

E-MAIL ADDRESS:

tpsnow53@yahoo.com

2. Application Requested

- | | | |
|--|---|---|
| ☐ General Plan Petition | ☐ Zoning Amendment | ☐ General Plan Amendment |
| ☐ Tentative Subdivision Map | ☐ Tentative Parcel Map | ☐ Lot Line Adjustment |
| ☒ Site Plan Review | ☒ Design Review <i>New Sub.</i> | ☐ Sign Design Review |
| ☐ Conditional Use Permit (CUP) | ☐ Zoning Administrator Permit | ☐ Variance |
| ☐ Public Convenience or Necessity | ☐ Other _____ | |

Is this request part of another application? ☐ Yes ☒ No If so, what? \$266,000

3. Project Description

Project Name:

Country Oak Village

Total Acres or Square Feet

5.68 acres

Site address or location:

1341 E. Gum Ave, Woodland, Ca

Assessor's Parcel Number:

066-122-060-000

Is Your Project Located in a Flood Zone?

☐ Yes

☒ No

Does this request include signage?

☐ Yes

☒ No

4. Justification for Request

2016-17-00057

On a separate sheet, explain in detail your request and why you believe your request is justified.

5. General Plan Amendment

Existing General Plan Designation	Gross Acres	Proposed General Plan Designation	Gross Acres
_____	_____	_____	_____

6. Zoning Amendment

Existing Land Use Zone	Gross Acres	Proposed Land Use Zone	Gross Acres
_____	_____	_____	_____

7. Residential Development

No. of residential units are being requested? 38

Single Family 38 Half-plex _____

Duplex _____ Apartments _____

Condominiums _____ Other _____

Townhomes _____ Total Units 38

No. of lots will be created by this project? 38

Do you intend to market the units for sale?

☒ YES ☐ No

Do you intend to market the units for rent?

☐ YES ☒ No

8. Commercial/Industrial Development

Indicate the type of commercial/industrial development proposed:

Indicate the gross and leasable square footage for each type of development:

9. Authority to File Application

Check one:

☒ Property Ownership ☐ Power of Attorney*

☐ Contract to Purchase* ☐ Other

Specify owner

*Attach Evidence of Authority

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

APPLICATION WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Tim Snow 09/11

Applicant: [Signature] Date 09/11

Legal Owner: _____ Date

Legal Owner: _____ Date

Date Received Stamp Here

DEPARTMENT USE ONLY

Amount Paid: _____

Amount Due: _____

GP / Zoning Designation: _____

Project No: _____

Logged by: _____ Date: _____

Planner: _____ Date: _____

ATTACHMENT 2



Lot Coverage Table

Lot	Lot Area	Model	Living Area	Coverage
1	4,999 sf	Residence 1 Catalina	1,439 sf	1,848 sf or 37.0%
2	5,046 sf	Residence 1 Baldwin	1,439 sf	1,848 sf or 36.6%
3	5,046 sf	Residence 1 Amberwood	1,439 sf	1,848 sf or 36.6%
4	5,046 sf	Residence 1 Catalina	1,439 sf	1,848 sf or 36.6%
5	5,046 sf	Residence 1 Baldwin	1,439 sf	1,848 sf or 36.6%
6	5,046 sf	Residence 1 Amberwood	1,439 sf	1,848 sf or 36.6%
7	5,137 sf	Residence 1 Catalina	1,439 sf	1,848 sf or 36.7%
8	6,744 sf	Residence 2 Berkshire	1,613 sf	2,022 sf or 30.0%
9	6,403 sf	Residence 2 Arlington	1,613 sf	2,022 sf or 31.6%
10	6,403 sf	Residence 2 Covington	1,613 sf	2,022 sf or 31.6%
11	4,841 sf	Affordable 2 Ash	1,279 sf	1,565 sf or 32.3%
12	4,841 sf	Residence 1 Baldwin	1,439 sf	1,848 sf or 41.4%
13	4,503 sf	Residence 1 Catalina	1,439 sf	1,848 sf or 41.0%
14	4,841 sf	Affordable 2 Bryant	1,279 sf	1,565 sf or 32.3%
15	5,786 sf	Residence 2 Covington	1,613 sf	2,022 sf or 34.9%
16	9,282 sf	Residence 2 Arlington	1,613 sf	2,022 sf or 21.8%
17	6,744 sf	Residence 2 Berkshire	1,613 sf	2,022 sf or 30.0%
18	4,892 sf	Residence 1 Amberwood	1,439 sf	1,848 sf or 36.7%
19	4,561 sf	Residence 1 Catalina	1,439 sf	1,848 sf or 40.5%
20	4,635 sf	Residence 1 Baldwin	1,439 sf	1,848 sf or 39.9%
21	4,612 sf	Residence 1 Amberwood	1,439 sf	1,848 sf or 40.1%
22	4,296 sf	Residence 1 Catalina	1,439 sf	1,848 sf or 43.0%
23	4,296 sf	Residence 1 Baldwin	1,439 sf	1,848 sf or 43.0%
24	5,679 sf	Residence 1 Amberwood	1,439 sf	1,848 sf or 32.2%
25	6,017 sf	Residence 3 Biscayne	1,752 sf	2,179 sf or 35.4%
26	7,896 sf	Residence 3 Ashley	1,752 sf	2,179 sf or 27.6%
27	5,127 sf	Residence 3 Cordova	1,752 sf	2,179 sf or 41.3%
28	5,124 sf	Residence 3 Biscayne	1,752 sf	2,179 sf or 42.5%
29	5,124 sf	Residence 3 Ashley	1,752 sf	2,179 sf or 42.5%
30	5,124 sf	Residence 3 Cordova	1,752 sf	2,179 sf or 42.5%
31	6,110 sf	Residence 3 Biscayne	1,752 sf	2,179 sf or 35.7%
32	4,697 sf	Affordable 1 Alton	1,244 sf	1,500 sf or 31.9%
33	4,502 sf	Residence 1 Baldwin	1,439 sf	1,848 sf or 41.0%
34	4,502 sf	Residence 1 Amberwood	1,439 sf	1,848 sf or 41.0%
35	4,502 sf	Residence 1 Catalina	1,439 sf	1,848 sf or 41.0%
36	4,502 sf	Residence 1 Baldwin	1,439 sf	1,848 sf or 41.0%
37	4,502 sf	Residence 1 Amberwood	1,439 sf	1,848 sf or 41.0%
38	5,751 sf	Affordable 1 Brewer	1,244 sf	1,500 sf or 26.1%

- NOTES:
- Setback lines shown dashed on each lot.
 - Proposed setbacks indicate where proposed residences encroach on the standard setbacks.
 - In an effort to decrease the impact on surrounding homes, all Country Oaks plans are single story. On some lots this has caused the coverage to go slightly over 40%.
 - Some plans slightly exceed the standard building envelope. The applicant is requesting approval of these minor encroachments based on two factors. The first factor is the fact that the proposed residences are single story and the second factor is the fact that with only a few plans, the houses can be built on the lot with the proposed encroachments. The applicant is requesting approval of these minor encroachments based on the fact that the encroachments are minor and will have negligible effect on the development and the surrounding homes.
 - The designations on each lot refer to the preliminary plans submitted along with this exhibit.



Country Oak Village Material Call outs

All models to include 8 foot entry doors, vinyl dual pane windows, stucco side and back exterior and 8 panel metal garage door and cool roof 30 year composition tile.

The Arlington: Craftsman design

Hardiepanel vertical siding combined with HardieTrim boards to achieve a board-and-batten look in the two gables.

Spruce wood columns

Foam pop outs

Decorative wood shutters

The Berkshire: Cottage design

Stucco front with brick or rock wainscoating on columns.

Metal awning

Foam pop out trim

Metal gable vents

The Covington: Craftsman design

See Arlington materials

The Catalina: Southwest design

Wood beam decoratives in the gables

Foam pop out trim

The Amberwood: Craftsman design

Hardieplank lap siding on front, entry and gable

Spruce wood columns

The Baldwin: Cottage design

Metal gable vents

Metal awning

Foam pop out trim

The Biscayne: Southwest design

Gable trim to resemble terra cotta vents

Metal Awning

Foam pop outs

The Cordova: Cottage design

Metal gable vents

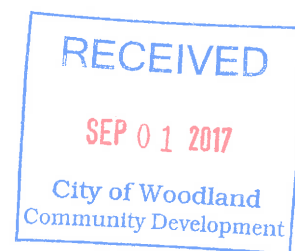
Metal Awning

Foam pop outs

The Ashley: Craftsman design

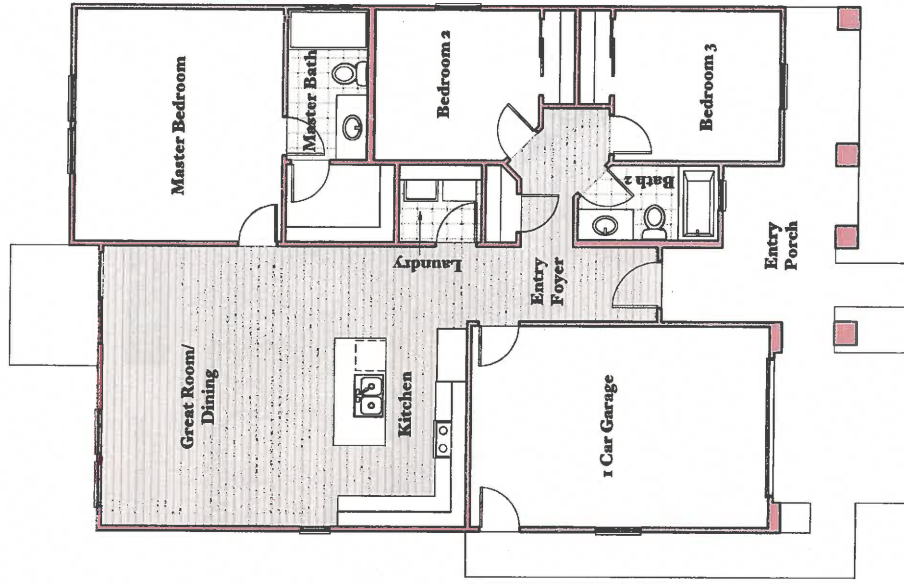
Hardiepanel vertical siding combined with HardieTrim boards to achieve a board-and-batten look on front, entry and gables.

Wood cross beams in entry and gables





the Alison



Floor Plan
1377 Square Feet



Affordable One - Alison - Country Oaks

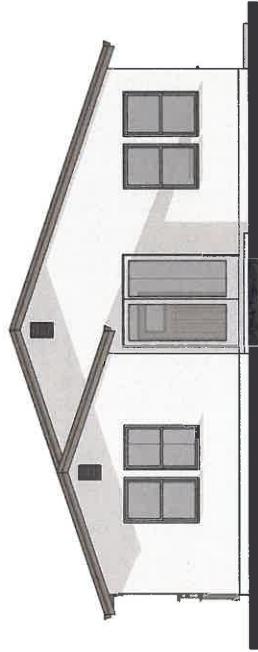


Snow Quality Construction Inc.

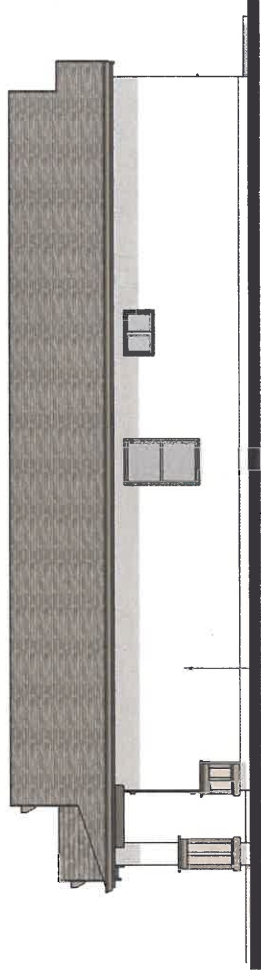
916-628-7867

728 Edgewood Court
Woodland, CA 95695

TPSnow53@yahoo.com
Lic #753604



Rear



Right

STUCCO

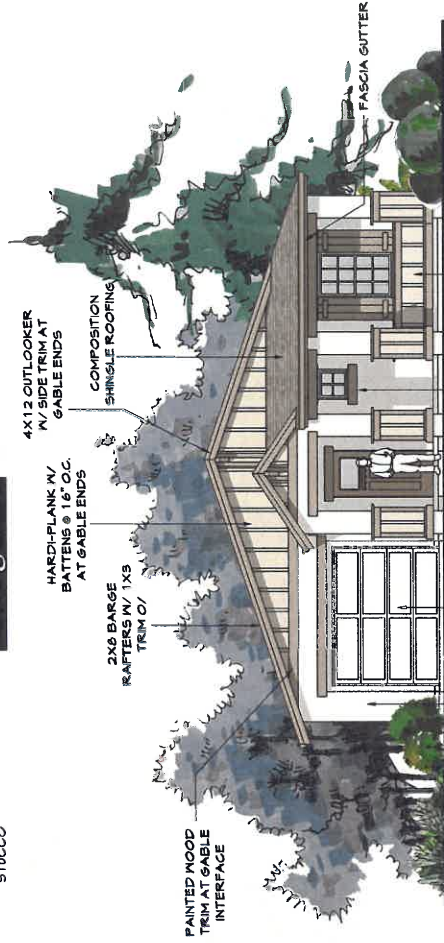
4X12 OUTLOOKER
W/ SIDE TRIM AT
GABLE ENDS

HAND-PLANK W/
BATTENS @ 16" O.C.
AT GABLE ENDS

2X6 BARGE
RAFTERS W/ 1X3
TRIM O/

COMPOSITION
SHINGLE ROOFING

PAINTED WOOD
TRIM AT GABLE
INTERFACE



FASCIA GUTTER

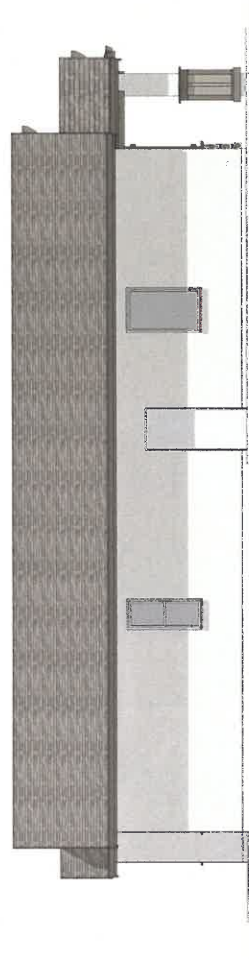
8" PAINTED FOAM
OR WOOD SILL TRIM

PAINTED WOOD
BUILT-UP
MAJISCOTE

Front

STUCCO
SECTIONAL
ROLL-UP DOOR

Left



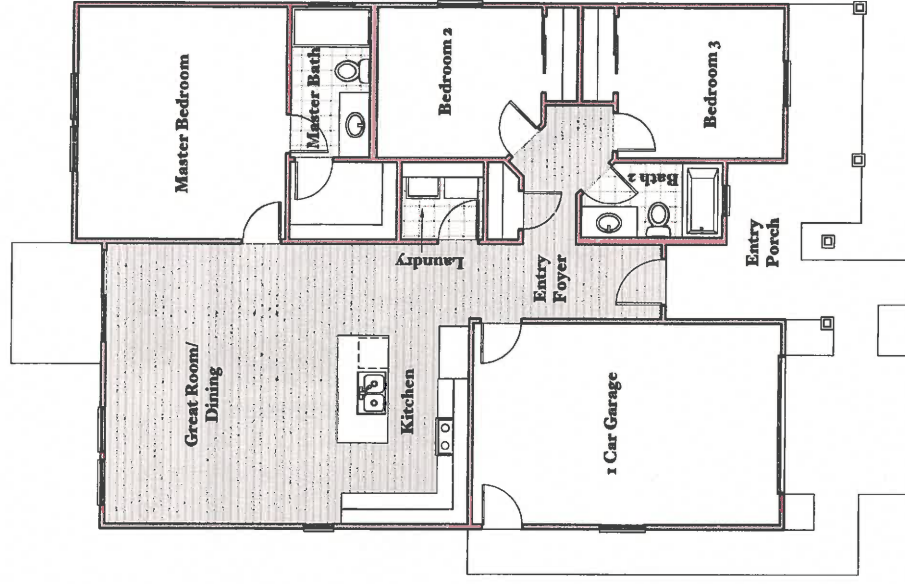
728 Edgewood Court
Woodland, CA 95695
TPSnow53@yahoo.com
Lic #763604

Affordable One - Alison - Country Oaks





the Brewer



Floor Plan
1377 Square Feet



Affordable One - Brewer - Country Oaks

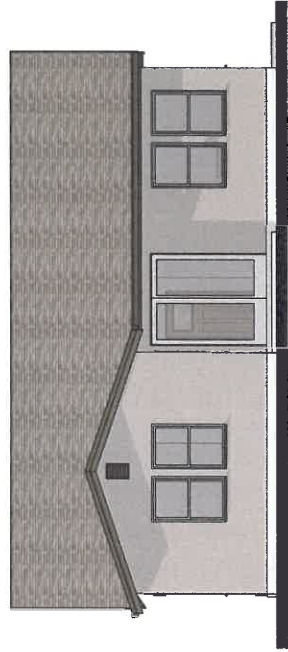


Snow Quality Construction Inc.

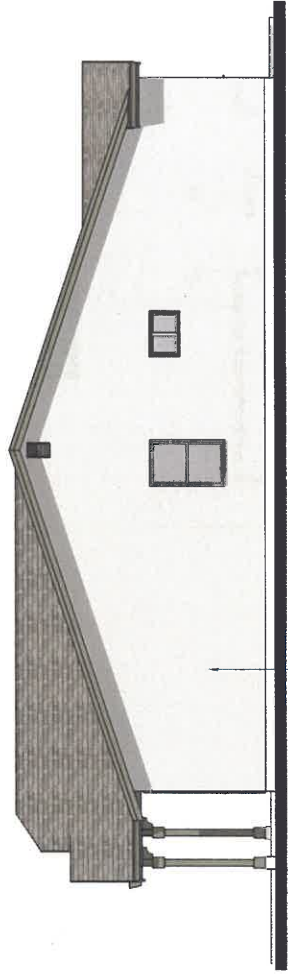
916-628-7867

728 Edgewood Court
Woodland, CA 95695

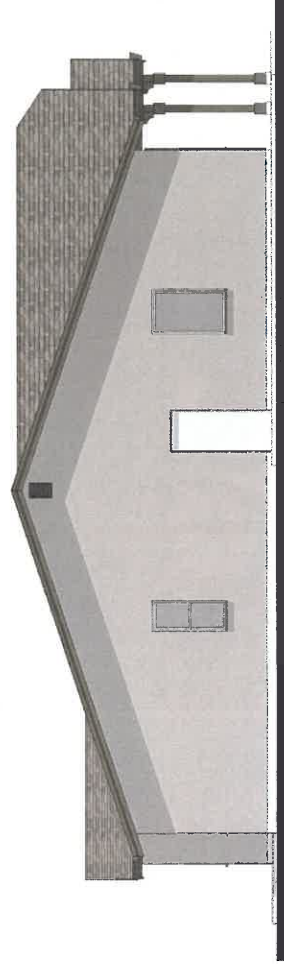
TPSnow53@yahoo.com
Lic #763604



Rear



Right



Left



Front

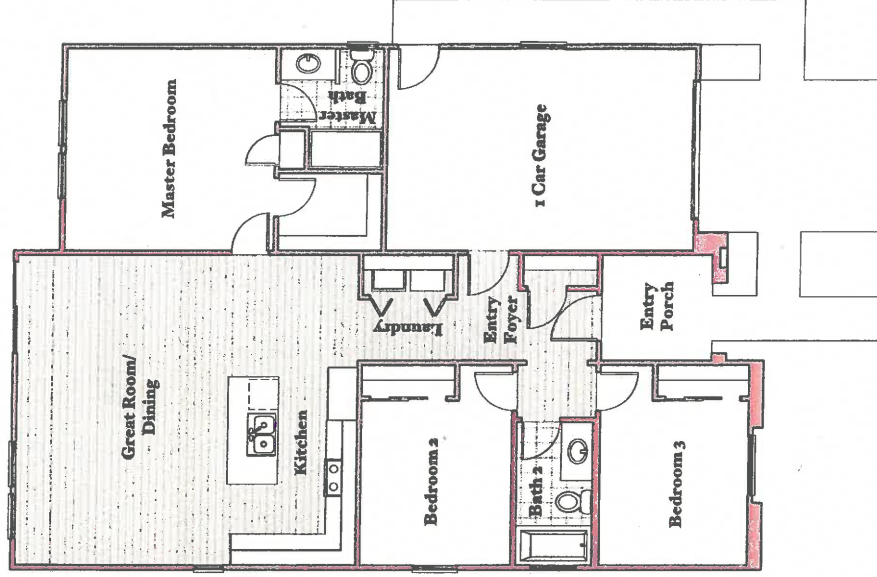
TIM SNOW
 Snow Quality Construction Inc.
 916-628-7867
 728 Edgewood Court
 Woodland, CA 95695
 TPSnow53@yahoo.com
 Lic #763604

Affordable One - Brewer - Country Oaks





the Ash



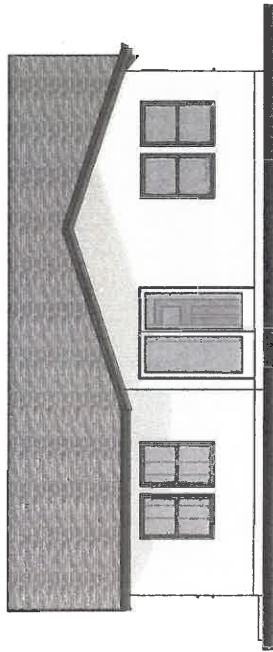
Floor Plan
1279 Square Feet



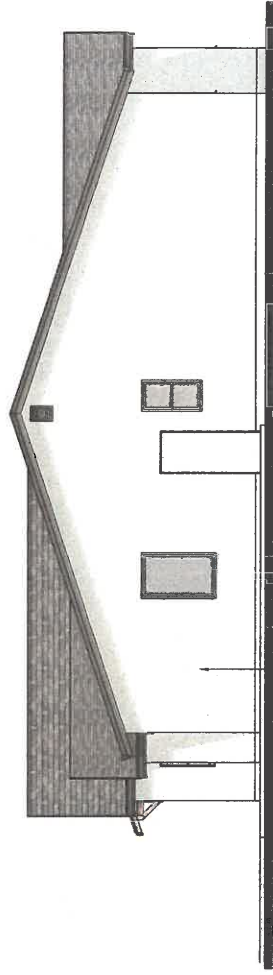
TIM SNOW
Snow Quality Construction Inc.
916-628-7867
TPSnow53@yahoo.com
Lic. #763804

Affordable Two - Ash - Country Oaks

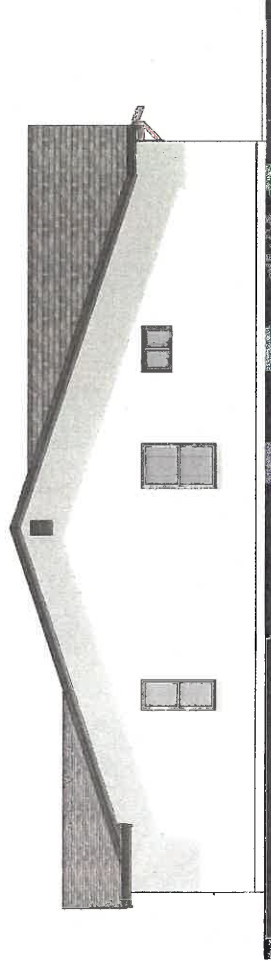
728 Edgewood Court
Woodland, CA 95695



Rear



Right



Left



Front

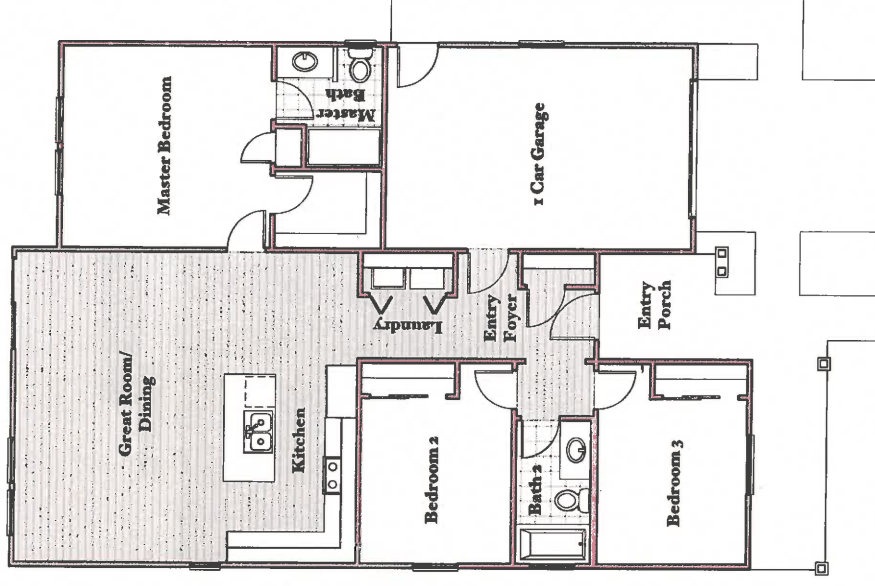
TIM SNOW
 Snow Quality Construction Inc.
 916-628-7867
 728 Edgewood Court
 Woodland, CA 95695
 TPNsnow53@yahoo.com
 Lic #163604

Affordable Two - Ash - Country Oaks





the Bryant



Snow Quality Construction Inc.

916-628-7867

728 Edgewood Court
Woodland, CA 95665

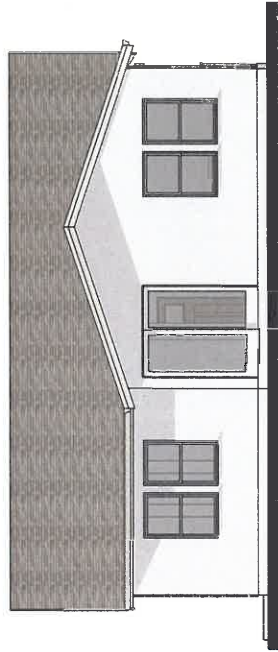
TPSnow53@yahoo.com
Lic #753604

Floor Plan

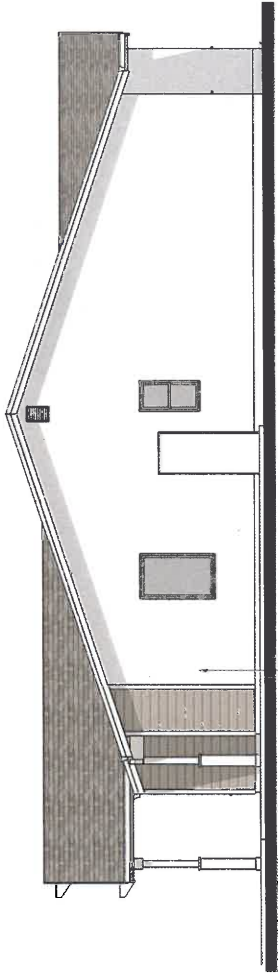
1379 Square Feet



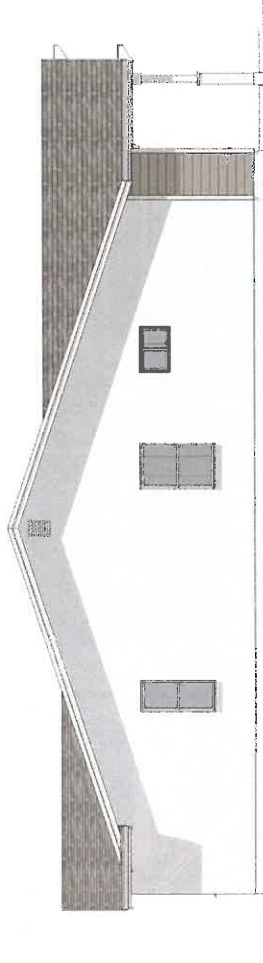
Affordable Two - Bryant - Country Oaks



Rear



Right



Left



Front

STUCCO

WOOD OUTRIGGER
KING POST TRIM AN
HARDI-SHINGLE
SIDING AT GABLE
END

2X6 BARGE
RAFTERS W/ 1X3
TRIM O/

COMPOSITION
SHINGLE ROOFING

PAINTED WOOD
TRIM AT DOORS
AND WINDOWS

FASCIA GUTTER

SECTIONAL
ROLL-UP DOOR

BUILT-UP PAINTED
WOOD COLUMNS

HARDI-SIDING



Affordable Two - Bryant - Country Oaks



Snow Quality Construction Inc.

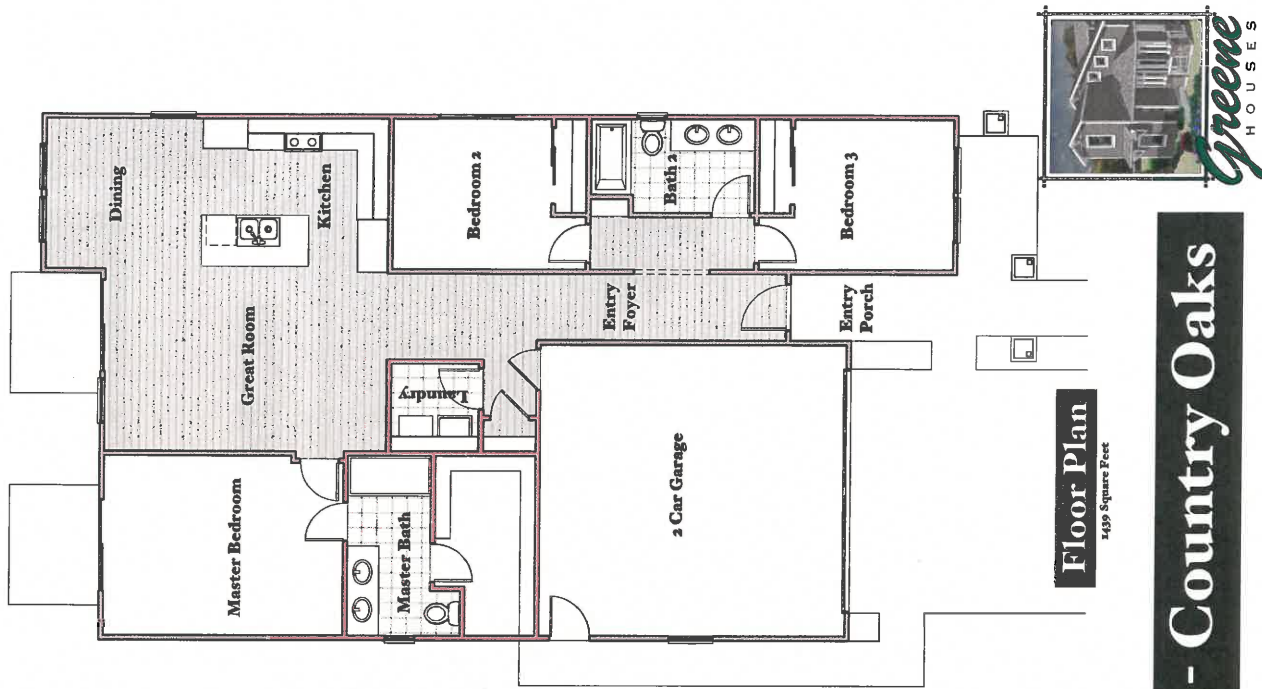
916-628-7867

728 Edgewood Court
Woodland, CA 95695

TPSnow53@yahoo.com
Lic #763604



the Amberwood



Snow Quality Construction Inc.

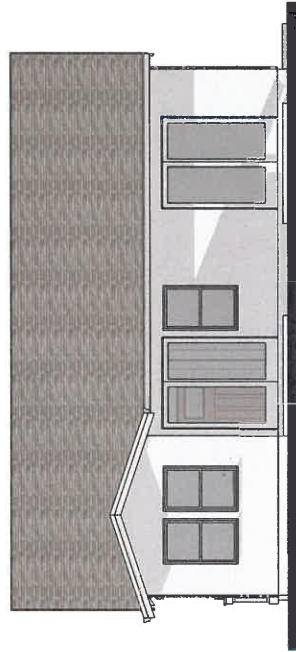
916-628-7867

728 Edgewood Court
Woodland, CA 95695

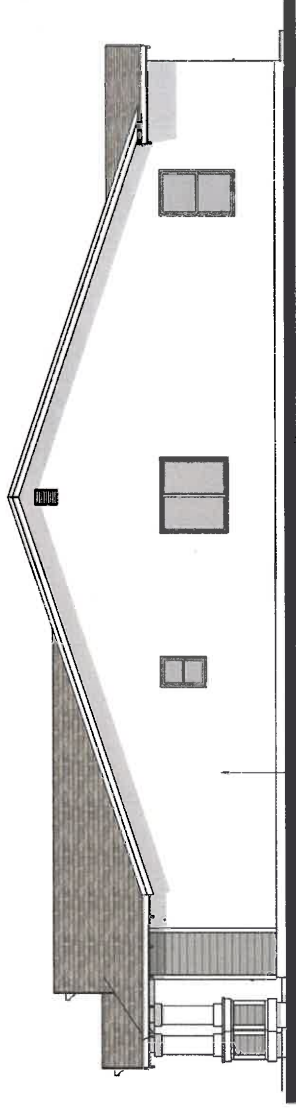
TPSnow53@yahoo.com
Lic #763604

Residence One - Amberwood - Country Oaks





Rear



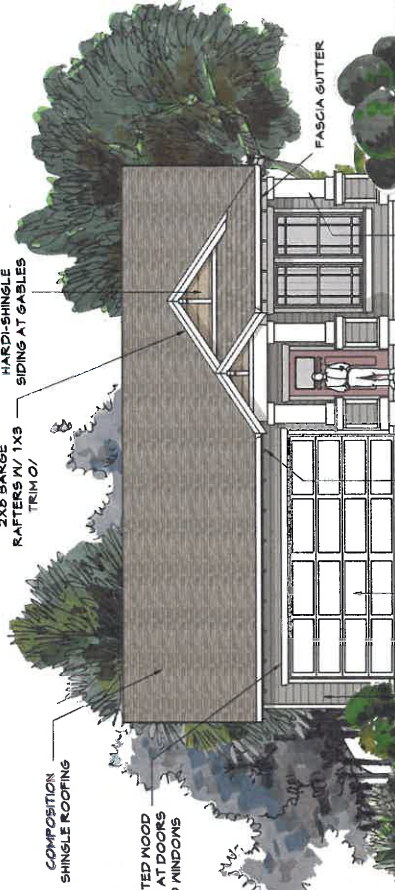
Right

STUCCO

2X6 BARGE
RAFTERS W/ 1X8
TRIM O/
HARDI-SHINGLE
SIDING AT GABLES

COMPOSITION
SHINGLE ROOFING

PAINTED WOOD
TRIM AT DOORS
AND WINDOWS



FASCIA GUTTER

EXPOSED RAFTER
TAILS AT FRONT

PAINTED WOOD
FACE AT
COLUMNS

HARDI-SIDING
LAP SIDING

SECTIONAL
ROLL-UP DOOR

Front

Left

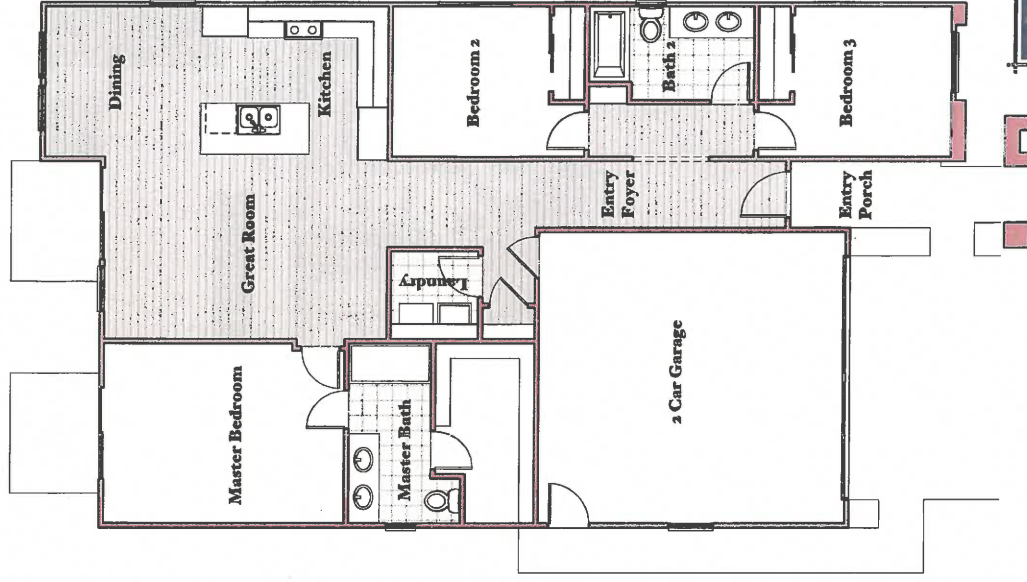
TIM SNOW
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916-628-7867
TPSnow53@yahoo.com
Lic #763604
728 Edgewood Court
Woodland, CA 95695

Residence One - Amberwood - Country Oaks





the Baldwin



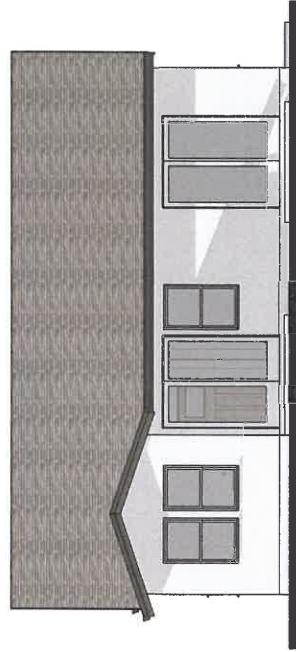
Floor Plan
1439 Square Feet



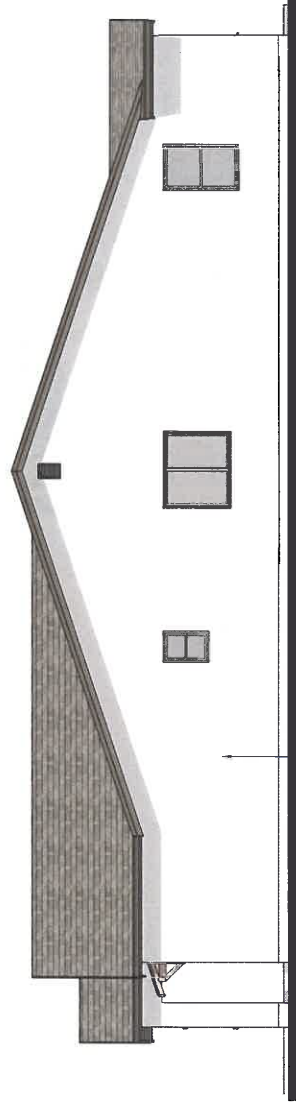
Residence One - Baldwin - Country Oaks

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916-628-7867
TPSnow53@yahoo.com
Lic #763604

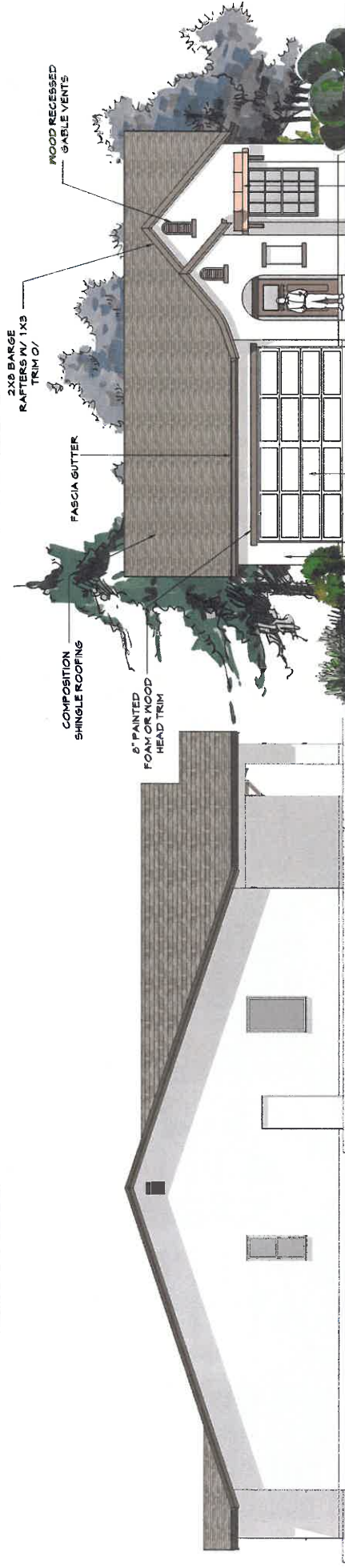
728 Edgewood Court
Woodland, CA 95665



Rear



Right



Left

Front

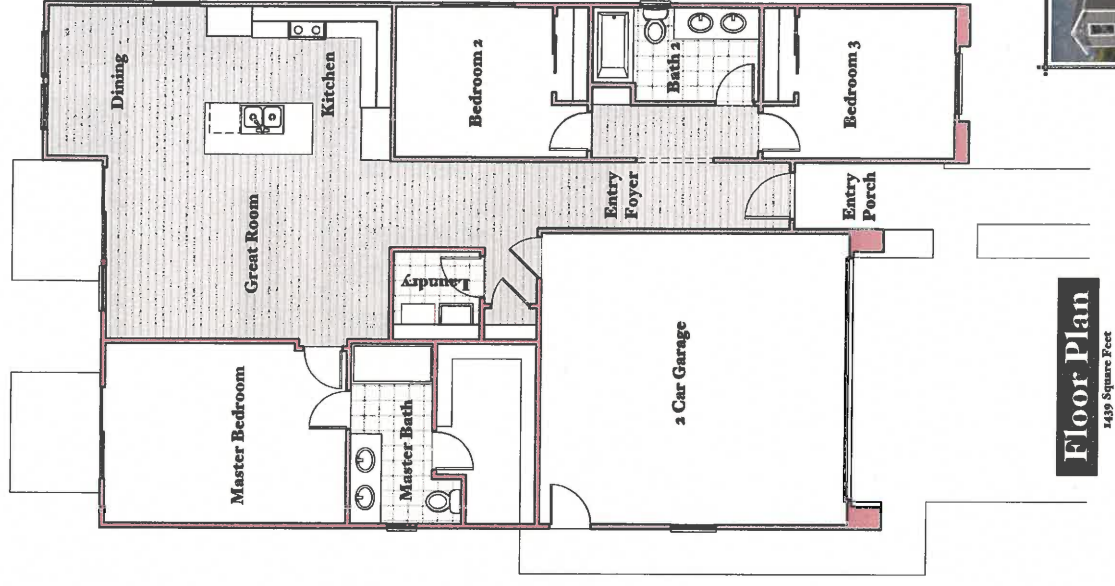
TIM SNOW
 Snow Quality Construction Inc.
 916-628-7867
 728 Edgewood Court
 Woodland, CA 95695
 TPNsnow53@yahoo.com
 Lic #753604

Residence One - Baldwin - Country Oaks





the Catalina



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728 Edgewood Court
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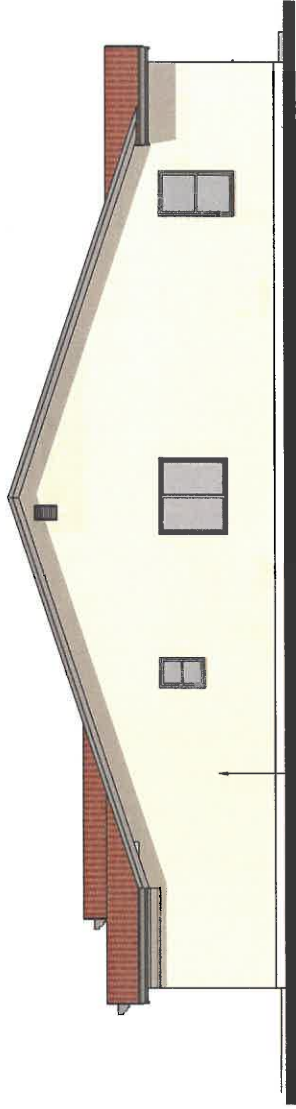
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Lic #763604



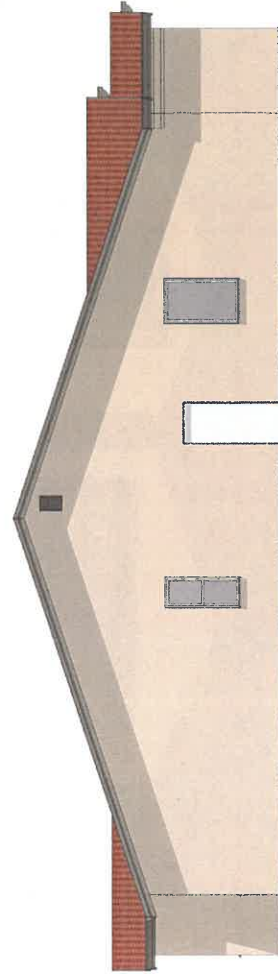
Residence One - Catalina - Country Oaks



Rear



Right



Left



Front

STUCCO

2X6 BARGE
RAFTERS W/ 1X3
TRIM O/

FASCI A GUTTER

LOW PROFILE TILE
ROOFING

8" PANTED
FOAM OR WOOD
HEAD TRIM

8" PANTED
FOAM OR WOOD
SILL TRIM

FOAM CORNICE W/
STUCCO O/

RECESSED
SECTIONAL
ROLL-UP DOOR

STUCCO

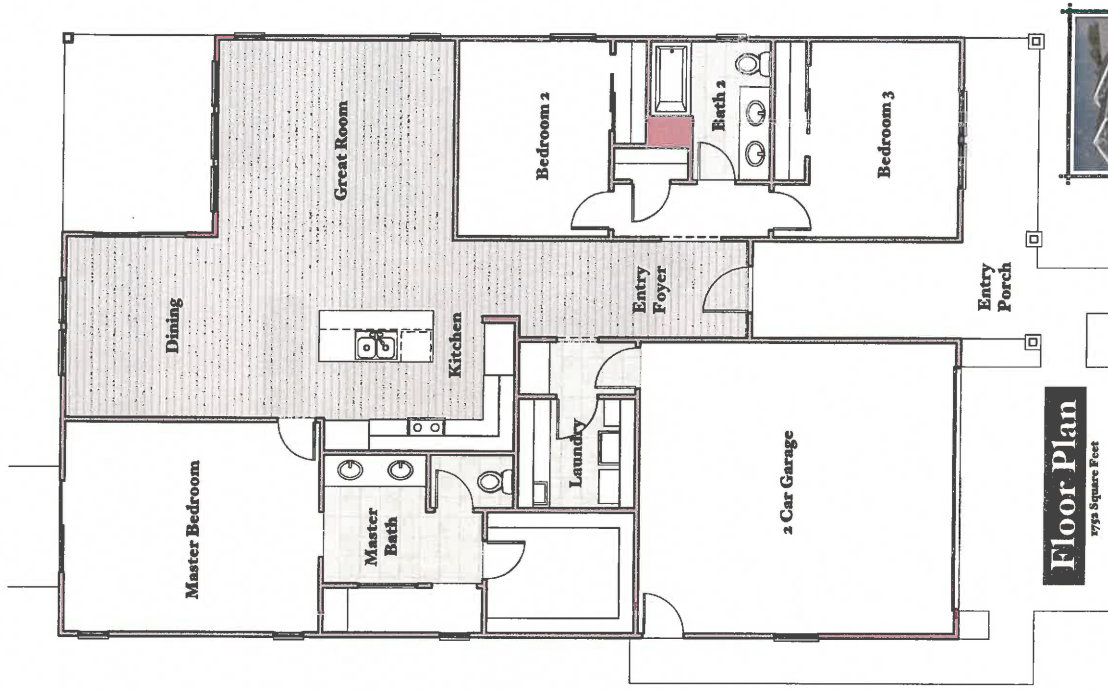
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728 Edgewood Court
Woodland, CA 95695
TPSnow53@yahoo.com
Lic #763604

Residence One - Catalina - Country Oaks





the Ashley



Snow Quality Construction Inc.

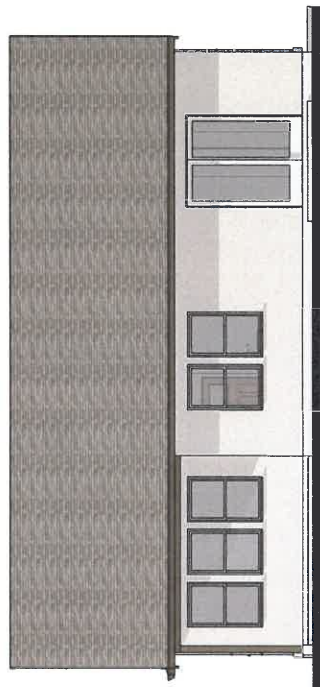
916-628-7867

728 Edgewood Court
Woodland, CA 95695

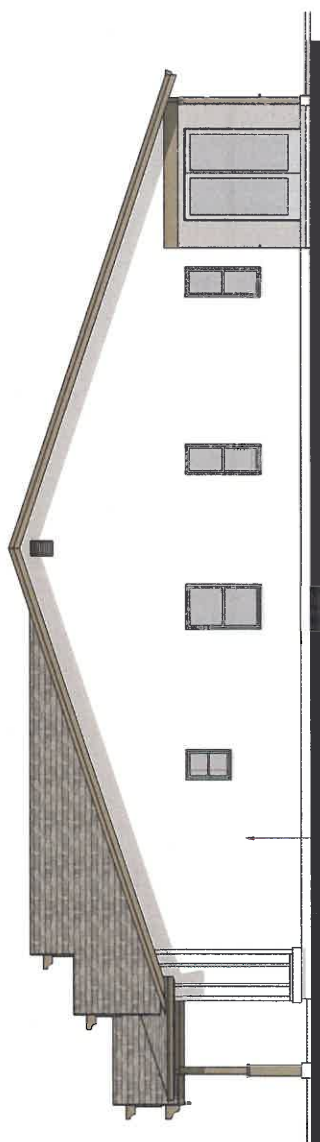
TPSnow53@yahoo.com
Lic #763604

Residence Three - Ashley - Country Oaks

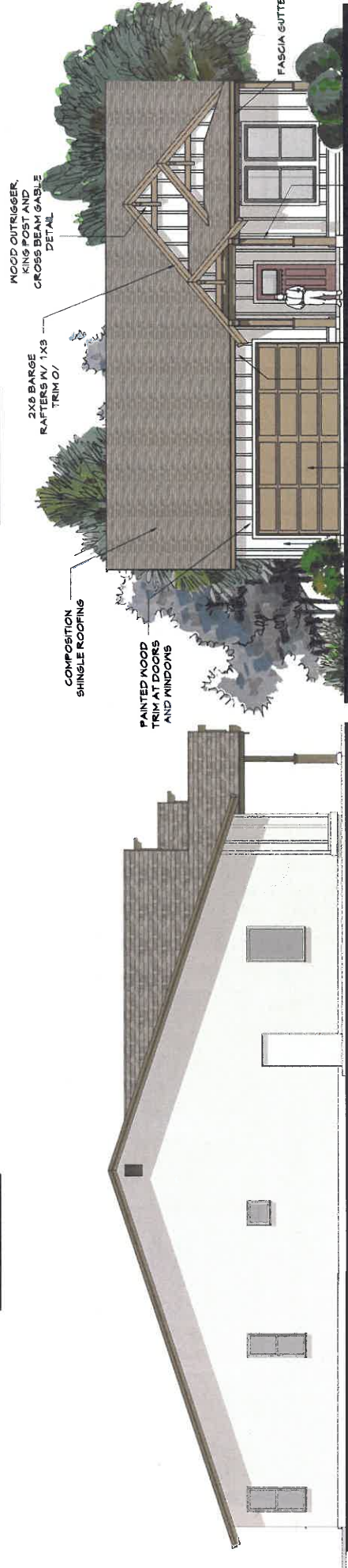




Rear



Right



Left

Front

TIM SNOW
Snow Quality Construction Inc.
916-628-7867
728 Edgewood Court
Woodland, CA 95695
TPSnow53@yahoo.com
Lic #763604

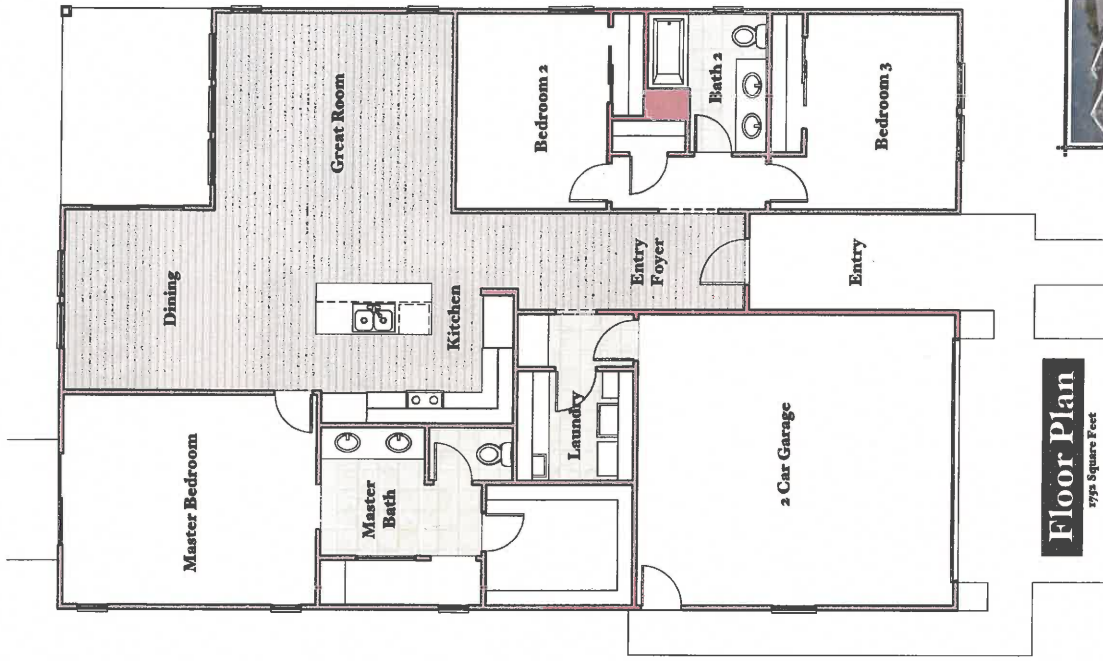
Residence Three - Ashley - Country Oaks



- STUCCO
- MOOD OUTRIGGER, KING POST AND CROSS BEAM GABLE DETAIL
- 2X6 BARGE RAFTERS W/ 1X3 TRIM O/
- COMPOSITION SHINGLE ROOFING
- PAINTED MOOD TRIM AT DOORS AND WINDOWS
- EXPOSED RATTER TALS AT FRONT
- HARDI-BOARD SIDING W/ BATTENS @ 16" OC.
- SECTIONAL ROLL-UP DOOR
- PAINTED MOOD BUILT-UP COLUMNS
- FASCIA GUTTER



the Biscayne



Snow Quality Construction Inc.

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728 Edgewood Court
Woodland, CA 95665

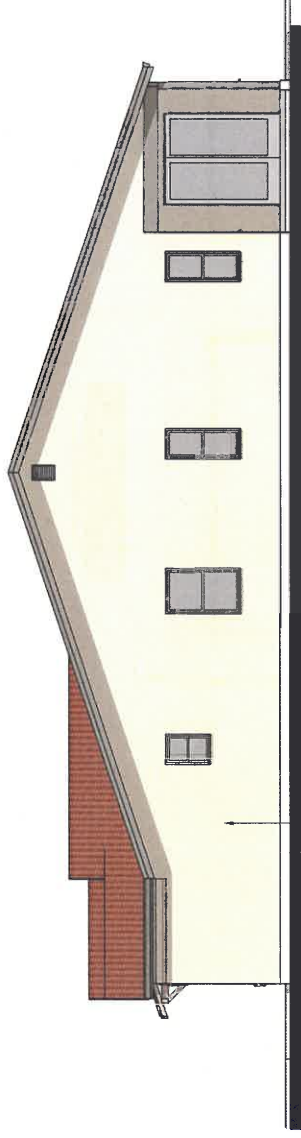
TPSnow53@yahoo.com
Lic #763604



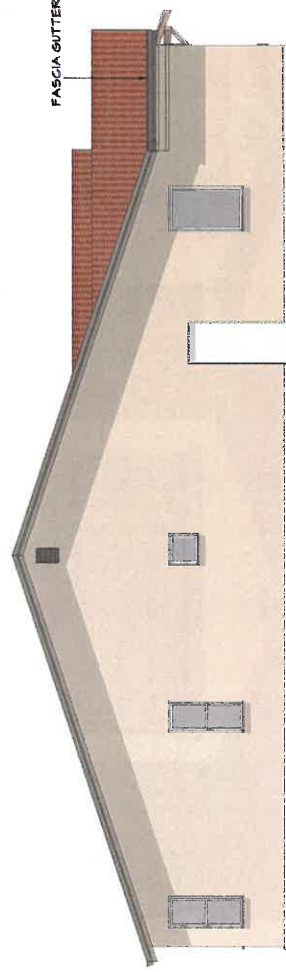
Residence Three - Biscayne - Country Oaks



Rear



Right



Left



Front

STUCCO

2X8 BARGE
RAFTERS W/ 1X8
TRIM O/

TRIPLE HALF-TILE
GABLE DETAIL

LOW PROFILE TILE
ROOFING

5" PAINTED
FOAM OR WOOD
HEAD TRIM

FASCIA GUTTER

PAINTED METAL
PRE-FAB ANNING

5" PAINTED FOAM
OR WOOD SILL TRIM

STUCCO
SECTIONAL
ROLL-UP DOOR



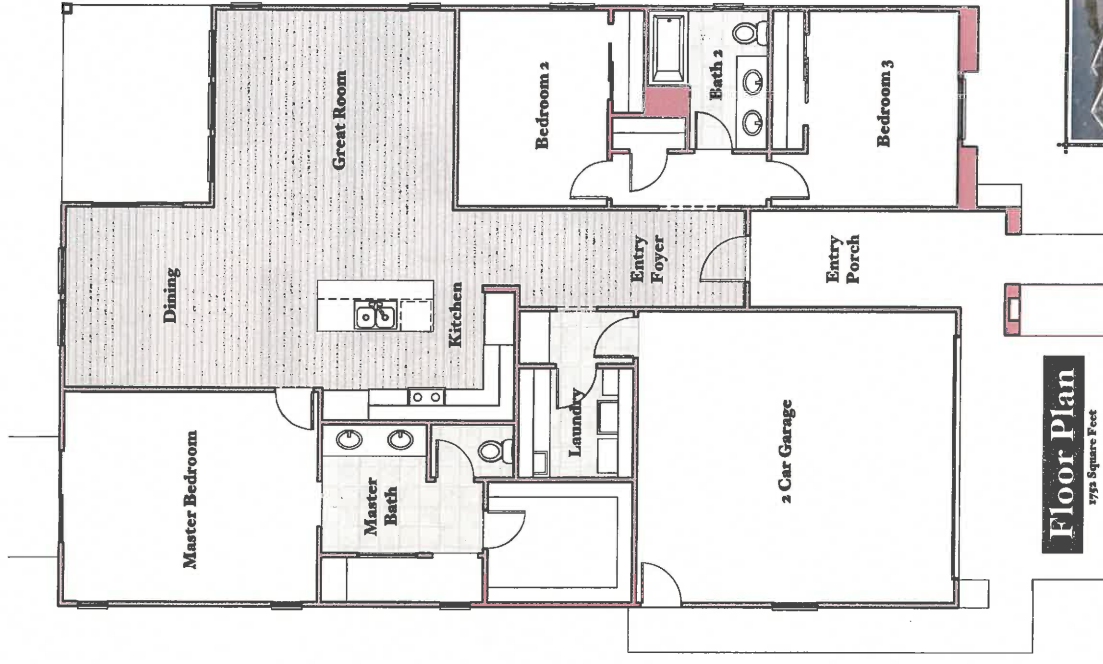
728 Edgewood Court
Woodland, CA 95695
TPSnow45@yahoo.com
Lic #765604

Residence Three - Biscayne - Country Oaks





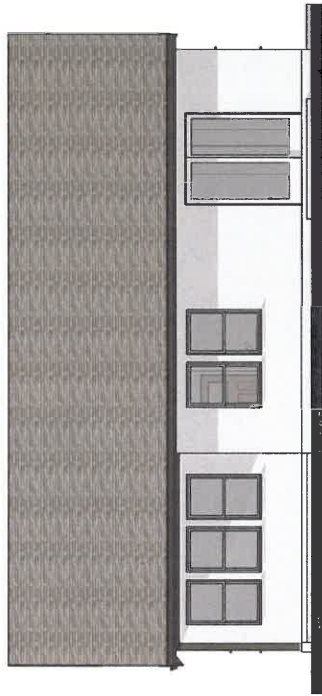
the Cordova



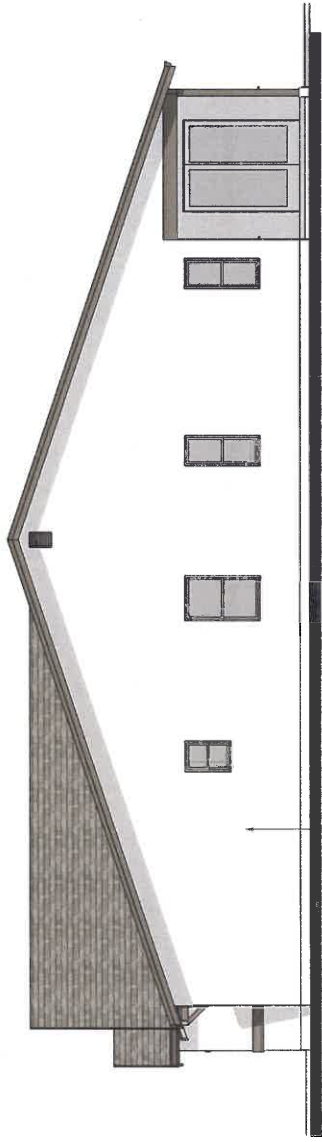
916-628-7867
TPSnow53@yahoo.com
Lic #763604

Residence Three - Cordova - Country Oaks

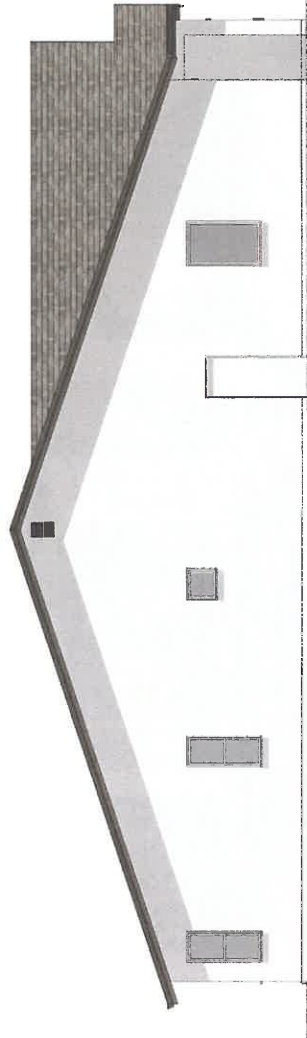




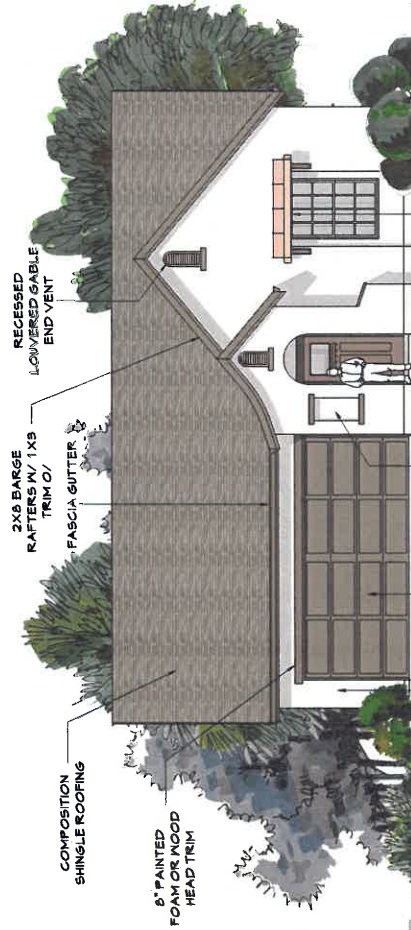
Rear



Right



Left



Front

STUCCO

RECESSED LOWERED GABLE END VENT

2X6 BARGE RAFTERS W/ 1X8 TRIM O/

FASCIA GUTTER

COMPOSITION SHINGLE ROOFING

6" PAINTED FOAM OR WOOD HEAD TRIM

PAINTED METAL PREFAB FINISH

STUCCO RECESSED NICHE SECTIONAL ROLL-UP DOOR



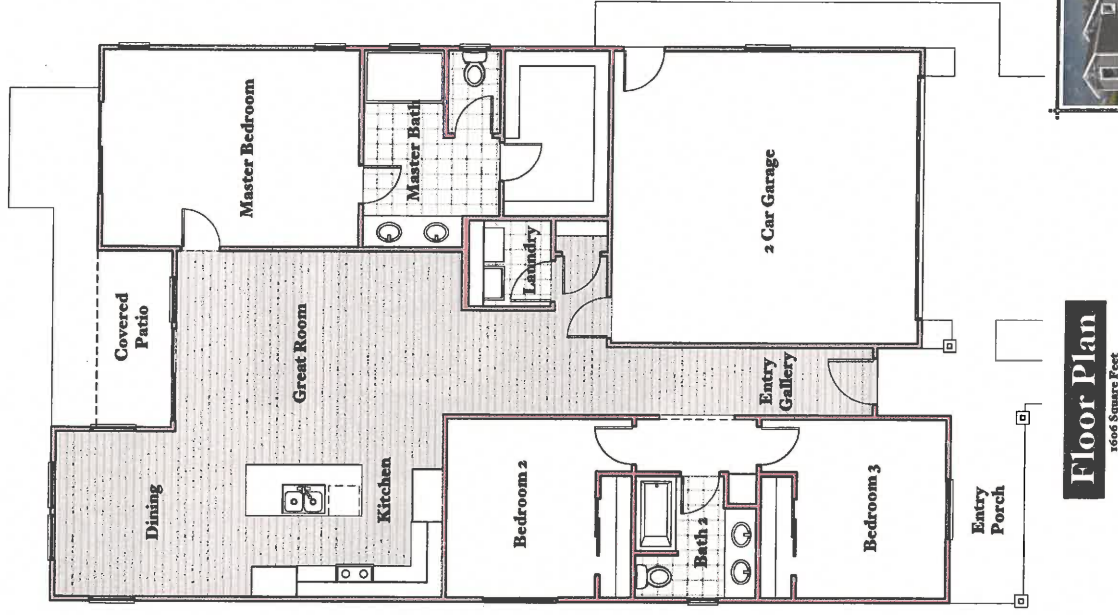
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 916-628-7867
 728 Edgewood Court
 Woodland, CA 95695
 TPNsnow53@yahoo.com
 Lic #763604

Residence Three - Cordova - Country Oaks





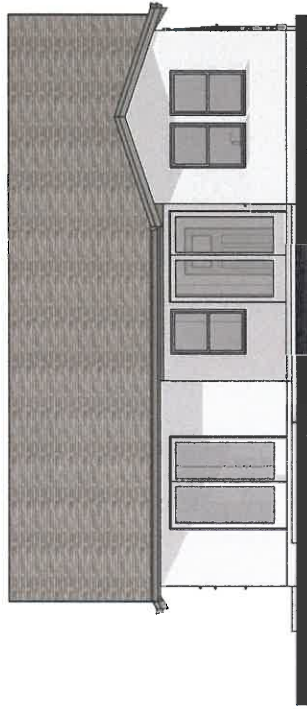
the Arlington



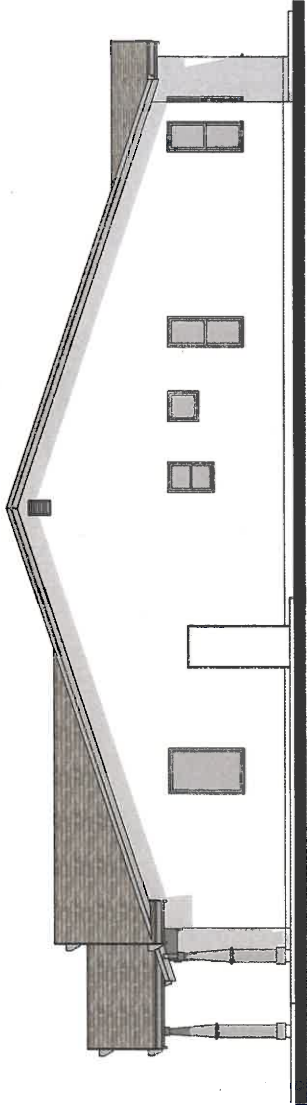
728 Edgewood Court
Woodland, CA 95695
916-628-7867
TPSnow53@yahoo.com
Lic #763604



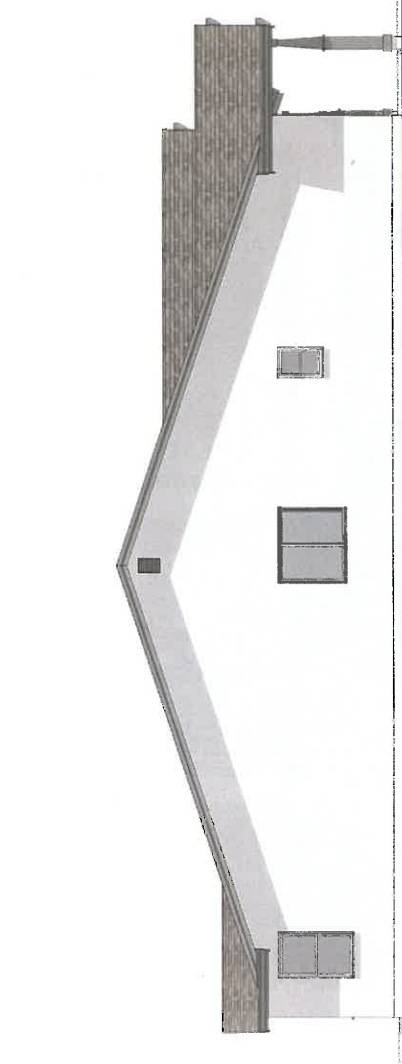
Residence Two - Arlington - Country Oaks



Rear



Right



Left



Front



SNOW Quality Construction Inc.

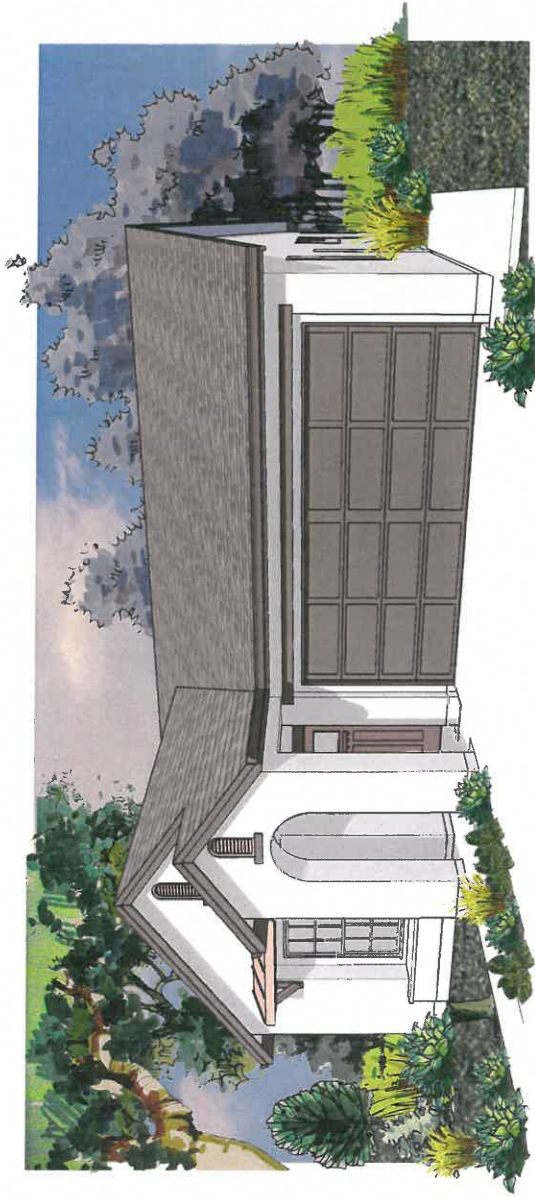
916-628-7867

728 Edgewood Court
Woodland, CA 95695

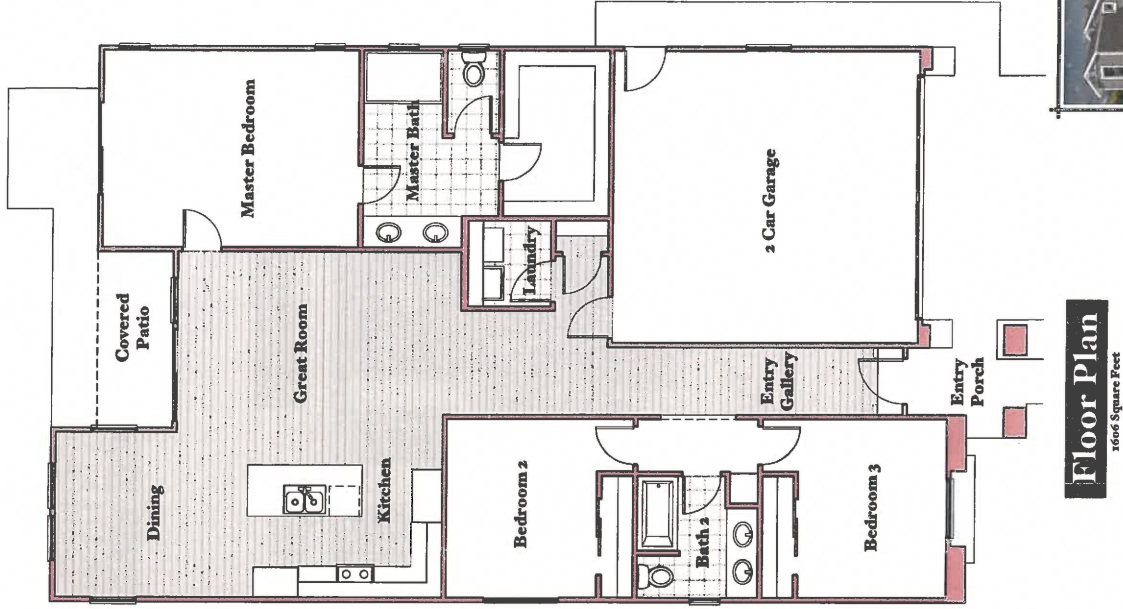
TPSnow53@yahoo.com
Lic #763604



Residence Two - Arlington - Country Oaks



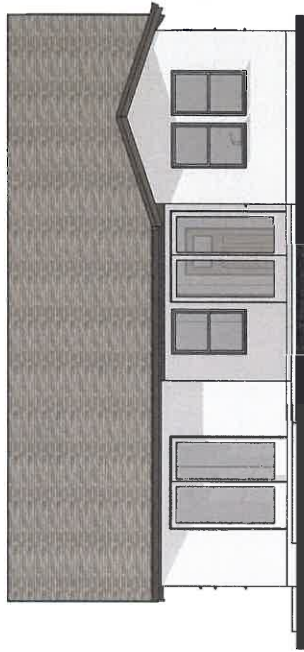
the Berkshire



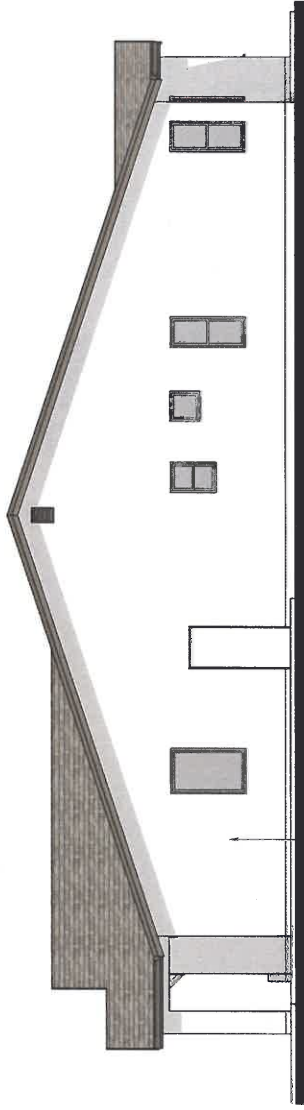
916-628-7867
728 Edgewood Court
Woodland, CA 95695
TPSnow53@yahoo.com
Lic #763604



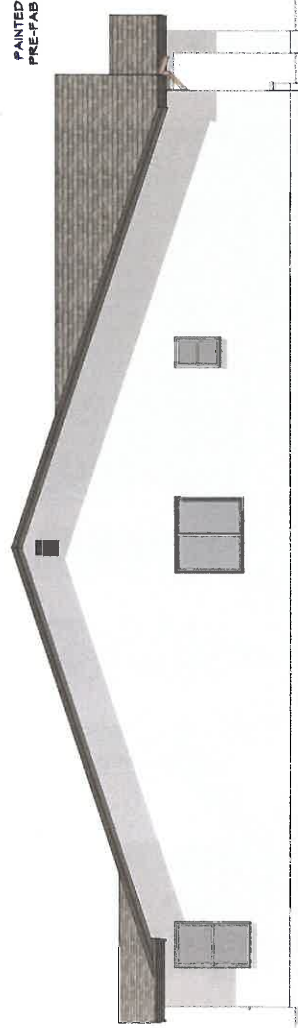
Residence Two - Berkshire - Country Oaks



Rear



Right



Left



Front

STUCCO
 RECESSED GABLE-
 END VENT
 COMPOSITION
 SHINGLE ROOFING
 PAINTED METAL
 PRE-FAB AWNING
 2X6 BARGE
 RAFTERS W/ 1X3
 TRIM O/
 FASCIA GUTTER
 6" PAINTED FOAM
 OR WOOD HEAD
 TRIM
 STUCCO SHELF
 AT RECESSED
 WINDOW
 SECTIONAL
 ROLL-UP DOOR

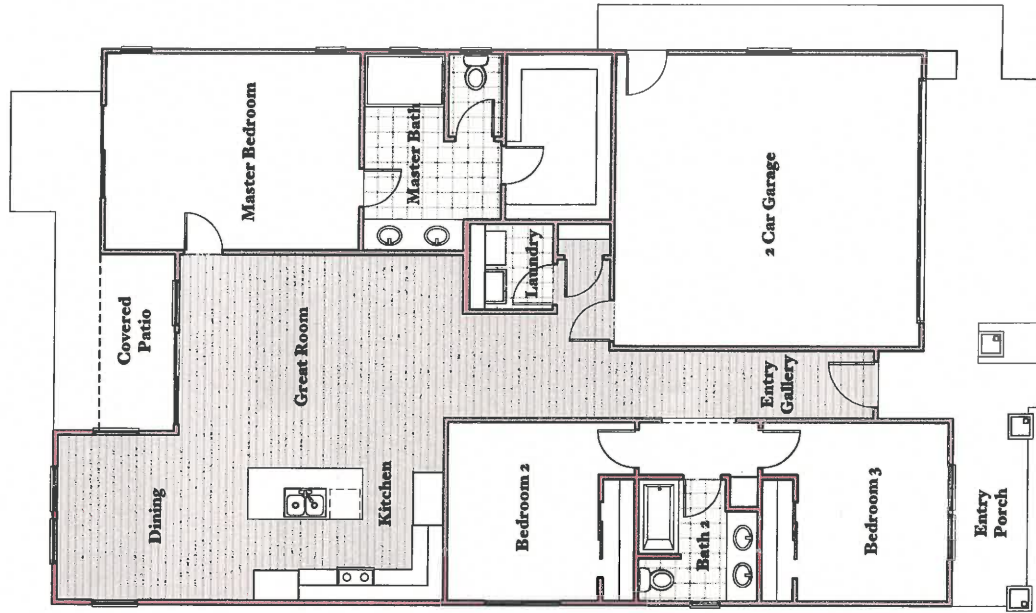
TIM SNOW
 Snow Quality Construction Inc.
 916-628-7867
 728 Edgewood Court
 Woodland, CA 95695
 TPSnow53@yahoo.com
 Lic #763604

Residence Two - Berkshire - Country Oaks





the Covington

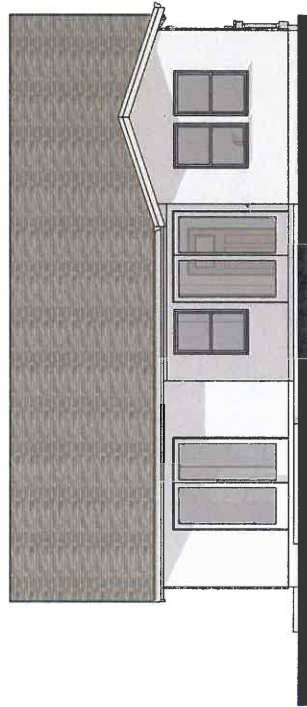


Floor Plan
1606 Square Feet

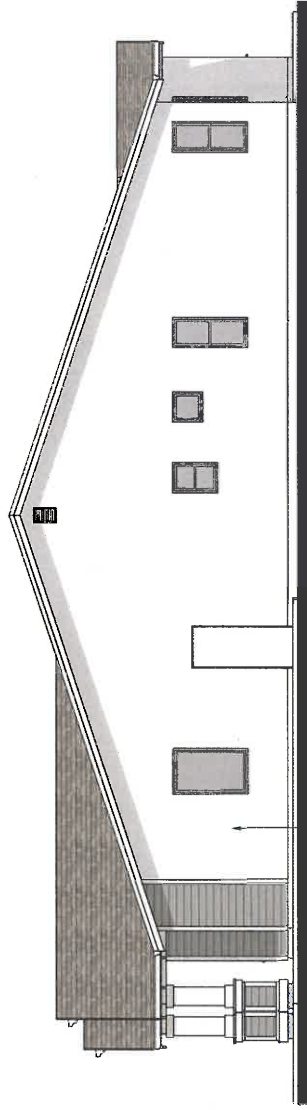


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Snow Quality Construction Inc.
916-628-7867
728 Edgewood Court
Woodland, CA 95695
TFSnow53@yahoo.com
Lic #763604

Residence Two - Covington - Country Oaks



Rear



Right



Left

Front

TIM SNOW
Snow Quality Construction Inc.
916-628-7867
TPSnow53@yahoo.com
Lic #763604
728 Edgewood Court
Woodland, CA 95695

Residence Two - Covington - Country Oaks



Country Oak Village

By Snow Quality Construction and Molly LLC Investments

(916) 628-7867

Marketed by Elaine Snow, Re/MAX Woodland

(916) 628-7870



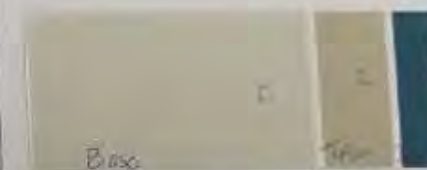
Craftsman Style
The Ashley, Arlington, Covington, Amberwood
Comfort gray, accessible beige, patchwork plum
Or
Sand beach, burlap, cascade green



Cottage Style
The Baldwin, Cordova and Berkshire
Light French grey, classic French grey,
festoon aqua
Dark grey metal roof awning
Metal gable vents



Southwest Style
The Biscayne and Catalina
Neutral ground, Urban Putty, St. Bart's
Dark grey metal roof awning



REFER TO SHEET L6 IRRIGATION FOR ADDITIONAL NOTES
AS THEY APPLY TO THIS SHEET AS WELL.

1. Irrigation system shall be fully operational, and coverage established prior to installation of planting.
2. Finish grade at edge of all planting areas will be 2" below top of adjacent curbs, walks or paving.
3. All shrub and groundcover areas shall receive 3" layer of amended dark mulch (decomposing as specified).
4. Fastigate individual plants after installation with Osmocote tree release formula (pelletized fertilizer) per manufacturer's instructions.
5. Pre-planting soil preparation shall include cultivating all planted areas down to 7 inch depth, and incorporating

Amendment or Fertilizer

	Application Rate
Nitrogen stabilized compost	4 cu. yds. per 1,000 sf.
Ammonium Phosphate (6-20-0)	15 lbs. per 1,000 sf.

6. CARE SHALL BE GIVEN TO ROOTS OF TREES THAT REMAIN.

THIS PLAN OFFERS THE INDIVIDUAL HOME OWNER THE OPTION OF SELECTING FROM THE FOLLOWING LIST, A SPECIFIC PLANT FOR ITS USE WHERE INDICATED ON THE PLAN

QUANTITY	SIZE	SYMBOL	BOTANIC COMMON NAME	GROUND COVERS	HYDROCHARIS
10	1 GAL.		FEISTICA DYNA GLAUCA, TELLAM BUIBI, FEICUE STACHYS LAMATA, LANTHUS EANG VERBENA TAPIAN INTERBUS VIOLA COORATA, TILD VIOLET VIOLA THIOR, PERSUNGEULE	F F F F F	
25	1 GAL.		ACTORISARTILLOS LIVA USBI MYOPIRUM FANV/FOLIM JANTERBUS CONFERTA, SHORE JUMPER	L L L	
SHRUBS					
15	1 GAL.		AHARTILLIA BELLADONA, VAKED LADY TELEAGRIA VIOLECEA, SOCIETY GARLIC TELEAGRIA VIOLECEA, RED YUCCA KNIPAGRIA VAKARA, RED FOWER	L L L L	
3	5 GAL.		LEGUMITRUM LUCIDIA, GLOSSY PRIVET NADINA DORFESTICA, HEAVILY BARBOO		
5	5 GAL.		CORREA PULCHELLA, AUSTRALIAN FIGURIA LANTANA SP DWARF-YELLOW ALICE ARBORESCENS CISTUS SP, ROCKROSE	L L L	
2	5 GAL.		COTYNA COMOGYRIA, PURPLE SHORE TREE COTYNA COMOGYRIA, PURPLE HORSESH BUSH LEAGOTRIS PINKING, SILVERWORT LEAGOTRIS LEAGOTRIS, LIONS TAIL	L L L L	

ACER RUERUM, RED MAPLE
QUERCUS PALAUSTRIS, PIN OAK

PLANT LEGEND
WATER EFFICIENT WORKSHEET
PLANTING DETAILS
PLANTING NOTES

COUNTRY OAKS
TM SNOW DEVELOPMENT
WOODLAND, CALIF.

SCALE: 1/8"=1'-0"

L1 of 6

SEPTEMBER 11, 2017

A cross-sectional diagram of a rootball and its surrounding layers. The central rootball is labeled "Rootball". It is surrounded by a layer labeled "Place Rootball in Topsoil Firm". Above this is a layer labeled "1" Layer Thick Topsoiling". To the left, a layer is labeled "Earth Bene Watering Basin". To the right, a layer is labeled "2" x Diameter of Container Size". The top layer is labeled "2" x Diameter of Container Size". The bottom layer is labeled "Backfill Mix See Below Agriform Plant Tubs".

Native Soil	Iron Sulfate	Canadian Peat Moss	Sand
Topsoil	Conditioner		
2 Parts	1 Part	1 lb/cy	
Type Grub			
Asesla, Femo, Rhodo.	1 Part	1 Part	1 Part

© ————— n.s.

A hand-drawn diagram of a garden bed layout. The diagram shows a rectangular garden bed divided into several sections. On the left side, there is a section labeled "17\"/>

2 X Diameter
Of Container

PLANTING

n.t.a.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the brand, which you will find in the brand information section of the Landscape Resource Center.

[illegible][illegible]

Regular Landscape Areas	
Total ETAF x Area	(B)
Total Area	(A)
Average ETAF	B ÷ A

All Lands/acre Areas	(B+D)
Total ETAF + A+C	(A+C)
Total Area	(B+D) + (A+C)

[illegible]

CALL 1-800-333-3333



2011 Y. A. 11111111

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1

— 24 —

ANALOG

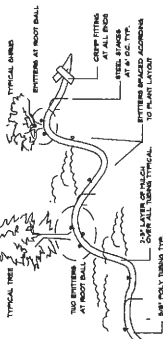
1/8" - 3/8"

0-1-9/1 :T

IRRIGATION SCHEDULES

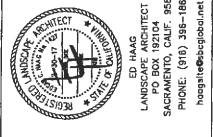
CONTRACTOR SHALL SET CONTROLLER TO NOT EXCEED A MAXIMUM OF 8 HOURS OF OPERATION FOR EACH DAY'S 24 HOUR PERIOD.
HOURS OF OPERATION SHALL BEGIN AT 10:00 P.M. AND END NO LATER THAN 6:00 A.M.

DRAIN TUBING - TREES, SHRUBS AND GRND COVERS											
VALVES 1, 2, 3											
NETAFIM - GROUND COVERS											
VALVE 4											
Drip per week	2	2	2	2	2	2	2	2	2	2	0
Station run time	5	2	7	4	5	2	0	Station run time	3	2	0
Start cycles per day	2	1	3	2	2	1	0	Start cycles per day	2	1	0



IRRIGATION NOTES

- "PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW THE RECOMMENDED PRESSURE OF THE SPECIFIC IRRIGATION DEVICE."
- "CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR."
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES."
- "A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT."
- "AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION."
- THE STATIC WATER PRESSURE AT POINT OF CONNECTION IS 40 PSI - CONTRACTOR SHALL VERIFY AND NOTIFY L.A. IF DISCREPANCY EXISTS.
- THE DYNAMIC OPERATING PRESSURE FOR ALL IRRIGATION COMPONENTS SHALL BE 30 PSI MINIMUM.
- THE HIGHEST FLOW RATE FOR THE IRRIGATION FROM THE POINT OF CONNECTION AT THE WATER METER IS 9 GPM.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES BY MAINTAINING A 5' BUFFER ZONE AROUND EACH TREE. WHERE ROOTS ARE ENCOUNTERED, DO NOT CUT ANY ROOT OVER 2" DIAMETER.
- THIS PLAN IS A DIAGRAM - LOCATE ALL PIPING AND VALVES AWAY FROM FUTURE TREE AND MAJOR SHRUB LOCATIONS.
- THE IRRIGATION SYSTEM SHALL BE FULLY AUTO MATIC AND OPERATE ON A 24 HOUR CYCLE. THE CONTRACTOR SHALL PROVIDE AND ABOVE GROUND SENSORS FOR RAIN MEASUREMENTS, FOR AUTOMATIC ON AND OFF IRRIGATION CAPABILITY.
- POP-UP SPRAY IRRIGATION SHALL BE LOW FLOW HEADS OPERATING ONLY DURING THE HOURS OF 4AM TO 8AM.
- UPON COMPLETION AND APPROVED INSPECTION OF THIS WORK, THE CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR THE OWNER. THE CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF ONE YEAR.



LANDSCAPE ARCHITECT
PO BOX 182124
SACRAMENTO, CALIF. 95819
PHONE: (916) 338-1881
hogan@hoganlandscape.com

PROJECT ADDRESS:
LOT 8 COUNTRY OAKS
1804 EAST 6TH WOODLAND, CA
95665
TOTAL LANDSCAPE AREA:
693 SQ. FT.
WATER SUPPLY TYPE:
DOWNEY - CITY OF WOODLAND
CONTACT:
TIM BOWEN / (916) 639-3661

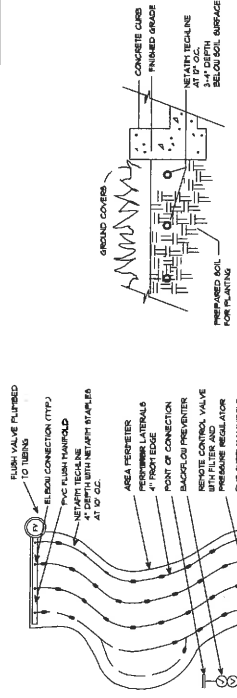
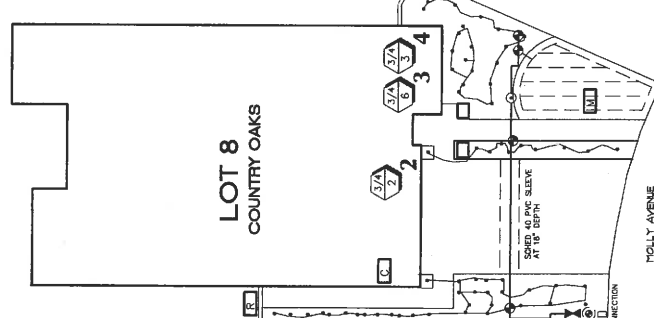
IRRIGATION PLAN
CONTAINING:
IRRIGATION LOCATIONS
IRRIGATION DETAILS
PIPING SCHEDULE

LOT 8
COUNTRY OAKS
WOODLAND, CALIF.
SCALE: 1/8"=1'-0"

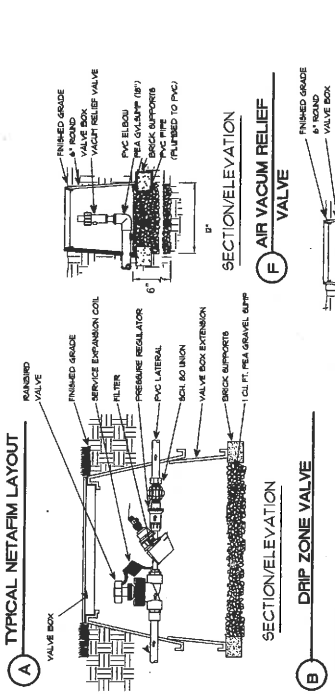
L 4 of 6
SEPTEMBER 11, 2017

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	DESCRIPTION	MODEL	PSI	RWD	GPM
NETAFIM	NETAFIM	SUBSURFACE IRRIGATION	AT 12" APART			
NETAFIM	NETAFIM	TUBING @ 3" BELOW SOIL LEVEL		20		5 GPM
NETAFIM	NETAFIM	FLUSH VALVE				
NETAFIM	NETAFIM	AIR VACUUM RELIEF				
NETAFIM	NETAFIM	5/8" POLY TUBING WITH BUTTERS AT EACH PLANT				
NETAFIM	NETAFIM	ONE BUTTER FOR ONE GALLON, TWO BUTTERS FOR 5 GALL				
NETAFIM	NETAFIM	AND THREE BUTTERS FOR 15 GALL				
NETAFIM	NETAFIM	BRASS QUICK COUPLER				
NETAFIM	NETAFIM	1" RAINBOW FLOW SENSOR # M80101				
NETAFIM	NETAFIM	1" FERRIS MODEL 785 BY PRESSURE VACUUM BREAKER WHERE SHOWN AT STREET				
NETAFIM	NETAFIM	1" BRASS MANUAL SHUT OFF VALVE (not to imp. water meter) - SEE DETAIL				
NETAFIM	NETAFIM	RAINBOW Reverse Control Valve -RC2-075-PSB AND X02-100-PSB IF INDICATED				
NETAFIM	NETAFIM	RAINBOW MOISTURE SENSORS - SHRT-Y				
NETAFIM	NETAFIM	RAINBOW RAIN SENSOR RSD-BED - MOUNT TO BACK SIDE OF WALL				
NETAFIM	NETAFIM	MULTI-4 STATION CONTROLLER - LOCATE INSIDE GARAGE ON WALL @ 5'-6" HEIGHT				
NETAFIM	NETAFIM	NEW 1" SCH 40 PVC MANLINE				
NETAFIM	NETAFIM	Lateral - SCH 40 PVC - 12" Minimum Depth				
NETAFIM	NETAFIM	Sleeve - SCH 40 PVC - 24" COVER BENEATH PAVING				
NETAFIM	NETAFIM	Valve Size				
NETAFIM	NETAFIM	System GPM				
NETAFIM	NETAFIM	Valve No.				



NETAFIM SECTION



AIR VACUUM RELIEF VALVE



LINE FLUSHING VALVE



IRRIGATION SCHEDULES

CONTRACTOR SHALL SET CONTROLLER TO NOT EXCEED A MAXIMUM OF 8 HOURS OF OPERATION FOR EACH DAY'S 24 HOUR PERIOD.
HOURS OF OPERATION SHALL BEGIN AT 10:00 P.M. AND END NO LATER THAN 6:00 A.M.

Drip Tubing - Trees, Shrubs and Grand Covers VALVES 1, 2, 3	NETAFIM - GROUND COVERS VALVE 4									
	Days per week	2	2	2	2	2	2	2	2	2
Station run time	5	2	7	4	5	2	0	Station run time	3	2
Start system per day	2	1	3	2	2	1	0	Start system per day	2	1

IRRIGATION NOTES

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- THE MINIMUM WORKING PRESSURE FOR ALL IRRIGATION COMPONENTS SHALL BE 24 PSI MINIMUM.
- THE HIGHEST FLOW RATE FOR THE IRRIGATION SYSTEM IS 3 GPM.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES BY AVOIDING TRUNCHED UNITS UNLESS THEY ARE ENCOUNTERED, DO NOT CUT ANY ROOT OVER 3" DIAMETER.
- THIS PLAN IS A DIAGRAM - LOCATE ALL PIPING AND VALVES ALWAY FROM FUTURE TREE AND MAJOR SHRUB LOCATIONS.
- THE IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC WITH NO MANUAL INTERVENTION REQUIRED FOR MAINTENANCE AND ABOVE GROUND SENSORS FOR RAIN YEAR ADJUSTMENTS FOR AUTOMATIC ON AND OFF IRRIGATION CAPABILITY.
- FOR-UP SPRAY IRRIGATION SHALL BE LOW FLOW HEADS OPERATING ONLY DURING THE HOURS OF 4am TO 6am.
- UPON COMPLETION AND APPROVED INSPECTION OF THIS WORK, BY THE OWNER THE CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR 30 DAYS.
- THE CONTRACTOR SHALL GUARANTEE THE MAINTAINED SYSTEM AGAINST ANY DEFECT IN CONSTRUCTION OR MATERIALS FOR A PERIOD OF ONE YEAR.



ED HAG
LANDSCAPE ARCHITECT
PO BOX 182104
SACRAMENTO, CA 95818
PHONE: (916) 395-1801
hag@edhag.com

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND I CERTIFY THAT THE IRRIGATION SYSTEM IS THE LANDSCAPE DESIGN PLAN"

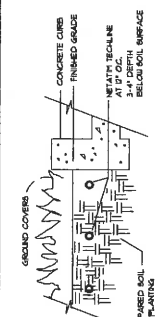
Ed Hag

PROJECT ADDRESS
10111 N. HUNTER DRIVE
LOS ANGELES, CA 90024
TOTAL LANDSCAPE AREA
1250 SQ. FT.
WATER SUPPLY TYPE
DOMESTIC - CITY OF LOS ANGELES
CONTRACT
T.M. BINGO (909) 638-7667

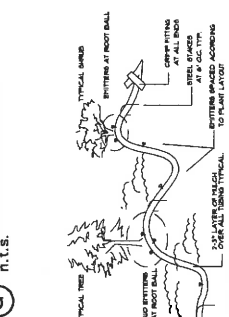
IRRIGATION PLAN
IRRIGATION LEGEND
IRRIGATION DETAILS
IRRIGATION SCHEDULE

LOT 31
COUNTRY OAKS
T.M. BINGO DEVELOPMENT
LOS ANGELES, CA 90024

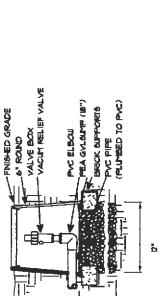
SCALE: 1/8"=1'-0"
L 6 of 6
SEPTEMBER 11, 2017



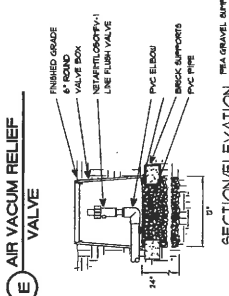
G NETAFIM SECTION



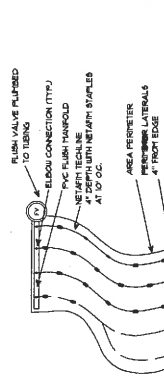
H Drip System - Poly Tubing



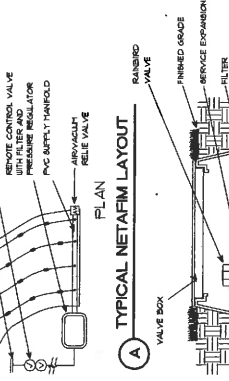
E AIR VACUUM RELIEF VALVE



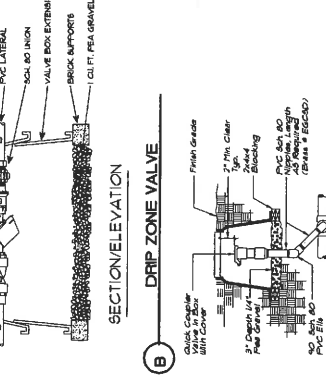
F LINE FLUSHING VALVE



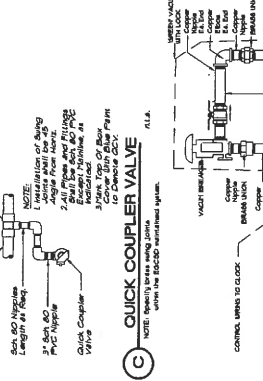
A TYPICAL NETAFIM LAYOUT



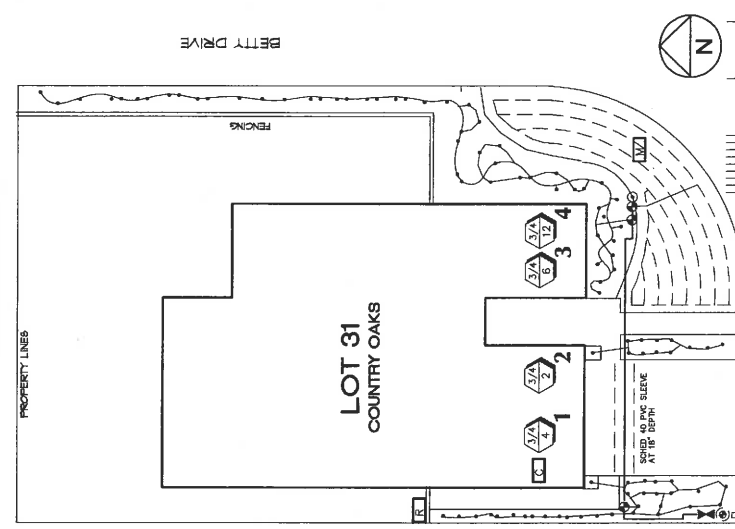
B DRIP ZONE VALVE



C QUICK COUPLER VALVE



D BACKFLOW PREVENTER WITH FLOW SENSOR



IRRIGATION PLAN SCALE: 1/8"=1'-0"

ATTACHMENT 3

PROJECT TITLE: Country Oaks – Spare Time Tentative Subdivision Map No. 4851. Request for a Tentative Subdivision Map to divide existing 5.65 acre parcel into thirty-eight (38) parcels at 1341 East Gum Avenue in the R-1/PD Zone, and Planned Development (PD) Conditional Use Permit.

APPLICANT/OWNER: Spare Time, Inc. (Larry Gilzean)

ENVIRONMENTAL REPORT: Mitigated Negative Declaration

A.P.N. APN: 066-122-060

PROJECT PLANNER: Paul L. Hanson, AICP, Senior Planner

STAFF RECOMMENDATION: Conditional Approval

REPORT FOR: Planning Commission Public Hearing – 11/1/07

GENERAL PLAN DESIGNATION: Low Density Residential (LDR)

EXISTING LAND USES: Closed recreational facility with tennis courts

FLOOD ZONE: Zone “X” Area - Areas determined to be outside of the 0.2% annual chance floodplain. FIRM Community Panel Number - 0604260440C Revised July 9, 2003.

STREET ACCESS: Molly Avenue and Betty Avenue

**ADJACENT
LAND USES & ZONING:**

NORTH	Residential	R-1
SOUTH	Residential	R-1
EAST	Residential	R-1
WEST	Residential	R-1

PENDING/POTENTIAL ACTION

Staff recommends that the Planning Commission take action on the following:

- Finding of Consistency with the General Plan;
- Finding of Consistency with the Zoning Ordinance;
- Finding of Consistency with the Community Design Standards;
- Finding that, on the basis of the whole record before it, including the Initial Study and comments received on it, the project would not have a significant impact on the environment

with incorporation of mitigation measures, and adoption of the Mitigated Negative Declaration in accordance with the provisions of CEQA;

- Approval of Tentative Subdivision Map No. 4581 to subdivide APNs 066-122-060 totaling 5.65 acres into 34 single family lots and 4 halfplex lots and dedication of public street right-of-way in the residential zone;
- Approval of Planned Development (PD) Conditional Use Permit (CUP); and
- Design Review of Subdivision Improvements, Landscaping and Residential Units (to be approved later.)

PROJECT PROPOSAL

OVERVIEW - TENTATIVE SUBDIVISION MAP

The subject property, which contains a closed recreational facility/health club, is comprised of one (1) parcel approximately 5.65 acres in size. It is bounded on the north and east by Single Family Residential (R-1), on the south by Single Family Residential (R-1) and East Gum Avenue, and on the west by Single Family Residential (R-1) and a roadway connecting Betty Avenue and Molly Avenue (see Attachment A – Application and TSM #4851).

The project proposes to subdivide the property into into thirty-four (34) single-family lots and four (4) halfplex lots. Single-family lot sizes would range from 4,500 to 9,724 square feet, while the halfplex lots would range from 3,200 to 3,280 square feet. Access to the subdivision is proposed via extensions of Molly Avenue and Betty Avenue, connected on-site as a loop by Betty Drive. An existing driveway connecting the project site to East Gum Avenue would be abandoned, and its location would become part of two single-family lots. The project would utilize existing City sewer and water lines and storm drainage facilities along the western boundary of the site.

Planning Commission Design Review of the proposed homes, plotting master plan, landscaping, walls, fences and screening would take place at a later date, along with review of a final Tree Plan which would show specific trees to be preserved / replaced and the specific measures to be taken for their preservation.

The Initial Arborist Report (see Attachment B), prepared for the project applicant by Sierra Nevada Arborists, identifies 107 trees on the site that are subject to the City's Tree Ordinance. The trees include twenty-three (23) Canary Island Pines, eighteen (18) Bradford Pears, fifteen (15) Mexican Fan Palms, and six (6) Valley Oaks, along with various other species. The project does not specify the number or type of trees that would be removed.

The Phase 1 Environmental Site Assessment (see Attachment C), prepared for the project applicant by Wallace-Kuhl and Associates, Inc., did not reveal any evidence of hazardous materials contamination on the property. No state or federal Superfund sites were identified within one mile of the property. A review of historical information encountered no evidence of the use of any agricultural chemicals from the property's previous use as pastureland.

OVERVIEW –PLANNED DEVELOPMENT (PD) OVERLAY ZONE DESIGNATION

The existing zoning designation is Single Family Residential with a Planned Development overlay designation (R-1/PD). The PD overlay designation encourages a creative and more efficient approach to the use of land, and provides for greater flexibility in the design of integrated developments, than otherwise possible through strict application of zoning regulations. A Conditional Use Permit for the PD shall be considered concurrently with the Tentative Subdivision Map and shall be approved subject to approval of the Tentative Subdivision Map. The PD CUP proposes the following deviations from City regulations:

- Mid-block halfplex units in the R-1/PD for four lots (Two halfplex units).
- Minimum lot size for single-family residential lots shall be 4,500 square feet.
- Minimum lot width for single-family residential lots shall be 45 feet.
- Minimum 15-foot front yard setbacks for main house.

CITY SERVICES

The project site will be served by City services. Water, sewage, storm drainage, electrical and telephone connections are currently available along the western boundary of the property.

FLOOD ZONE

FEMA NFIP Development Requirements: Under the currently applicable Flood Insurance Rate Map (FIRM) (City of Woodland, California, Yolo County, Map Number 0604260420 C, revised July 9, 2003) the property is shown in Flood Zone “X” which is identified as “Areas determined to be outside of the 0.2% annual chance floodplain.”

APPLICABLE LAWS, CODES, AND ORDINANCES

The project is subject to several laws, codes, and ordinances:

- The California Environmental Quality Act (CEQA)
- The Subdivision Map Act
- The City of Woodland General Plan
- The City of Woodland Zoning Ordinance
- The City of Woodland Subdivision Ordinance
- Community Design Standards
- Floodplain Management Regulations
- National Flood Insurance Program (NFIP) Regulations (44 CFR Parts 59-78).

PUBLIC NOTIFICATION

Public notice advertising for the public hearing on this project was prepared by the Community Development Department’s Office Manager in accordance with notification procedures set forth in the City of Woodland’s Municipal Code and State Planning Law. A legal notice was published in the Woodland Daily Democrat on October 18, 2007. Notices also were provided to property owners within 300 feet of the proposed project site. Copies of the staff report for the proposed project have been on file at City Hall since October 26, 2007. Staff has received public comments on the proposed project and those comments are attached (Attachment D).

The public comments received is concerned with the smaller lots and lost of privacy associated with the construction of two-story homes and school and traffic impacts.

PREVIOUS ACTIONS TAKEN

The recreational facility on the project site had been operating under a Conditional Use Permit. The facility had been in operation since 1979 and has been owned and operated by the current owners since the late 1980s. The owners have closed the recreational facility and now seek entitlements for the proposed residential subdivision.

ENVIRONMENTAL ASSESSMENT STATUS

This project does not qualify for any categorical exemption specified by CEQA. Therefore, an environmental assessment was required. In accordance with the provisions of CEQA and the State CEQA Guidelines, an Initial Study was drafted by the City to determine the significance of potential environmental impacts of the project (Attachment E - Initial Study and Negative Declaration of Environmental Impact)

The residential project (6.7 units/acre) is consistent with the General Plan designation of Low Density Residential (LDR-3.0 to 8.0 units/acre) and Zoning Ordinance designation of R-1/PD Single Family Residential with Planned Development overlay. The project is located within city limits on a 5.65 acre site and is surrounded by urban uses. The project site was not determined to have any special status plants or wildlife species.

Development of the site will not result in significant traffic impacts. It also will not result in significant noise, air quality or water quality impacts, with implementation of mitigation measures specified in the Initial Study. Existing and proposed streets are adequate to serve the facility. The project will comply with City noise standards, with implementation of mitigation measures. The existing storm drains are adequate to serve the site. Existing utilities (storm water drainage, sewer, water, electricity, natural gas) are adequate to serve the proposed project.



GENERAL PLAN CONSISTENCY

The property is designated for Low Density Residential (LDR) uses in the General Plan and is zoned Single Family Residential with Planned Development overlay (R-1/PD) Zone. The General Plan indicates that LDR densities will range from 3-8 dwelling units per gross acre. The proposal equates to a gross density of 6.73 dwelling units per acre (38 units divided by 5.65 acres), which falls within the allowed range. The Planning Commission's project review satisfies the requirement for discretionary review and approval. The project is consistent with the policy framework of the General Plan, in particular Goals 1.A, 1.B and 1.D; Policies 1.A.6., 1.A.8., 1.B.1 through 1.B.6, and 1.D.2; and Implementation Program 1.4.

CONSISTENCY WITH OTHER PLANS

The project site does not fall within the planning area of any other relevant specific plans, area plans, redevelopment plans, or other such adopted land use plans of the City.

ZONING CONSISTENCY

Land Use

The zoning designation for the site is Single Family Residential with Planned Development overlay (R-1/PD). The minimum lot areas for the R-1 zone are as follows: Single Family: 5,000 square feet for interior lots and 6,000 square feet for corner lots, Split Lot Halfplexes, half lot area: corner lot 4,000 square foot minimum and total lot area 7,000 square feet per structure. The minimum lot widths are as follows; Single family corner lot 60 feet, interior lot 50 feet, Split Lot Halfplex, half-lot width corner lot 40 feet minimum, 70 feet per structure. The proposed project with the PD overlay will deviate from R-1 zone standards by allowing the following:

- Minimum lot size for single-family residential lots shall be 4,500 square feet.
- Minimum lot width for single-family residential lots shall be 45 feet.
- Mid-block halfplex units in the R-1/PD for four lots (Two halfplex units).

The proposed mid-block halfplex units will meet the R-2 zoning requirements. The minimum lot widths for the R-2 zoning for an interior lot width is 60 feet per structure, 30 feet minimum per lot. The minimum lot area for the R-2 zoning for an interior lot is 6,000 square feet per structure, 3,000 square feet minimum per lot.

Setbacks

The setbacks for the project with the PD overlay will deviate from the standard R-1 zone setbacks as follows:

- Minimum 15-foot front yard setbacks from main wall of house, with five-foot encroachment in setback permitted for porches. Front yard porches will be allowed a 10 foot setback from the back of sidewalk.

The project will otherwise conform to R-1 setback standards.

Height

The maximum height of principal buildings in the R-1 zone is 30 feet. The proposed homes will conform to this requirement.

Lot Coverage

The maximum lot coverage is 50%. The proposed homes will conform to this requirement.

Fencing

Proposed fencing will conform to the City's Zoning Ordinance fencing requirements.

Landscaping

Section 25-22-10H and I provide protections for existing trees, including a requirement to protect the drip line. A review of the tentative map indicates that most existing trees on the project site would likely be removed, while the drip line of other trees may be impacted by home construction, sidewalks and other impervious surfaces. This could adversely affect the health of the trees and potentially result in their death. The specific trees impacted are not known. A condition for the preparation of a Tree Plan has been added, requiring the engagement of a City-approved arborist to review the tentative map prior to preparation of a final map or submittal of improvement plans, and to make recommendations for mitigation measures to better preserve and protect existing trees that have been identified to be saved. This may include jogs in fencing, movement of planters, shifting of structures, elimination of paving, use of special paving, and other modifications pursuant to Section 25-22-10I of the Zoning Code.

Off-Street Parking and Loading

Article 23 of the Zoning Regulations addresses off-street parking requirements. Pursuant to Section 25-23-10A of the Zoning Ordinance, the applicable parking ratio is 2 parking spaces per unit. The proposed parking will conform to minimum standards.

Signage

Article 22 of the Zoning Regulations addresses signs. No signage is currently proposed.

Performance Standards

There are no specific zoning performance standards identified in the Zoning Ordinance that would be applicable to this property. There are site design and architectural requirements identified in the Community Design Standards.

Subdivision/Project Design

Overall, the subdivision would be developed to be a logical extension of the adjoining subdivision to the west, connecting via Betty Avenue and Molly Avenue. Lot areas and widths are also in character with the adjoining subdivisions. The project proposes the addition of 4 halfplex units that would provide some of the required affordable housing units to moderate-income households, pursuant to the City's Affordable Housing Ordinance.

Affordable Housing Ordinance

Chapter 6A of the Woodland Municipal Code, effective June 1, 2004, requires that for-sale residential projects provide 10% of the total units in the project at prices affordable to low-income homebuyers. The ordinance further requires that the affordable units are dispersed throughout the project, are constructed concurrently with market rate, and are visibly indistinguishable from the exterior as compared to market-rate units.

The project as proposed will be required to designate 4 units as affordable for-sale units. As a condition of approval, the City will require two of the affordable units to be provided by the proposed halfplex units. The affordable halfplex units would not be located in the same structure, meaning a market-rate halfplex unit would be located adjacent to an affordable halfplex unit. The other two affordable units shall be provided by two of the proposed single-family residences.

Consistency with Community Design Standards:

The Community Design Standards contains a section entitled “Design Standards for Single Family Residential Development” comprised of four subsections: Site Planning, Architecture, Roof Design Security/Defensibility, and Accessory Building. Within these subsections there are 18 “standards” and 4 “recommendations”. The project will be coming back to the Commission for a separate design review of the project at a later date. The proposed tentative map has been reviewed in light of the requirements for basic site planning pertaining to tree preservation, access/circulation, and adequate lot depths to provide for varying front yard setbacks. The project satisfies these requirements.

Technical Studies

The Arborist Report (see Attachment B), prepared for the applicant by Sierra Nevada Arborists, identifies 107 trees on the site that fall subject to the City’s Tree Ordinance. The trees include twenty-three (23) Canary Island Pines, eighteen (18) Bradford Pears, fifteen (15) Mexican Fan Palms, and six (6) Valley Oaks, along with various other species. Any tree earmarked for removal will be subject to the City’s Tree Replacement Ordinance (Two fifteen-gallon container size trees shall be planted for each six inches or fraction thereof of the diameter of a tree removed). Replacement trees may be planted on site or paid fees into the City’s tree mitigation fund. The project will be coming back to the Commission for a separate review for the Tree Protection Plan, indicating specific actions to preserve the trees.

The Phase 1 Environmental Site Assessment (see Attachment C), prepared for the project applicant by Wallace-Kuhl and Associates, Inc., did not reveal any evidence of hazardous materials contamination on the property. No state or federal Superfund sites were identified within one mile of the property. A review of historical information encountered no evidence of the use of any agricultural chemicals from the property’s previous use as pastureland. Since there is no indication of any hazardous materials contamination, staff does not recommend any action on this issue.

Independently of the development application review process, the project applicant commissioned a traffic impact analysis of the proposed project by KDAnderson and Associates, Inc. (see Attachment F). The analysis concluded the traffic generated by the project would lead to no change in the existing levels of service on nearby streets and intersections. The analysis confirms the conclusion made in the Initial Study that the project would have no significant traffic impacts.

PLANNED DEVELOPMENT (PD) OVERLAY ZONE DESIGNATION

The procedure for development approval in a PD overlay zone includes an application for a Conditional Use Permit for all proposed development within the Zone. The Conditional Use Permit is a mechanism to apply conditions on projects in a PD overlay. A residential project may apply for a preliminary plan that outlines the concept of the project and states that number of

dwelling units. A final plan can be submitted later, which provides the details of the project. Such final plan will include the following:

- Site plan showing lot area, street layout, lot design, locations of buildings, setbacks, driveways, off-street parking and landscaping, on-site drainage areas.
- Floor plans and elevations of buildings.
- Other information as required by the Community Development Department.

The Community Development Director may waive any of the above items if they are inappropriate, premature or speculative due to the nature of the project.

The proposed project is a Tentative Subdivision Map to create 38 new lots on a parcel with an existing zoning designation of Single Family Residential with Planned Development overlay (R-1/PD). The PD overlay designation encourages a creative and more efficient approach to the use of land and to provide for greater flexibility in the design of integrated developments than otherwise possible through strict application of zoning regulations. A Conditional Use Permit shall be considered concurrently with the zoning request and shall be approved subject to approval of the zoning request. The PD overlay designation CUP proposes the following Conditions of Approval to Tentative Subdivision Map #4581:

- a. Halfplex buildings shall not be placed on adjoining lots, in accordance with provisions in the City's Affordable Housing Ordinance that discourage concentration of affordable housing units.
- b. Minimum 15-foot front yard setbacks from main wall of house, with five-foot encroachment in setback permitted for porches.
- c. Minimum lot size for single-family residential lots shall be 4,500 square feet.
- d. Minimum lot width for single-family residential lots shall be 45 feet.

The project will be coming back to the Commission for a separate plot plan and design review of the project, and a review of the Tree Protection Plan indicating specific actions to preserve and/or replace trees.

Conditional Use Permit

Article 27 of the Zoning Regulations addresses conditional use permits. The Planning Commission may approve, conditionally approve or deny an application for a conditional use permit; and in authorizing a conditional use, may impose such requirements and conditions with respect to location, construction, time period, maintenance, and operation, as deemed necessary for the protection of adjacent properties and the public interest, when reasonably related to the use of the property. Before granting any conditional use permit, the Planning Commission shall be satisfied that the proposed structure or use conforms to the requirements and the intent of this chapter and the General Plan. The zoning designation for the site is Single Family Residential with Planned Development overlay (R-1/PD). The permitted uses of land in a PD overlay zone shall be any use or combination of uses and densities shown on the approved development plan, which are so arranged and designed to provide a development which is in conformity with the General Plan and which is consistent with the requirements of this article.

SUMMARY

The applicant is requesting approval for a 38-lot subdivision, Tentative Subdivision Map No. 4581, and a Planned Development Conditional Use Permit. The proposed subdivision would create lots for single-family and halfplex residential development. The CUP would allow for lot size, lot width and setback deviations from the requirements of the R-1 zone. The parcel proposed for subdivision contains a closed recreational facility. This facility would be demolished. Staff recommends approval for both the tentative subdivision map and CUP, with staff's recommendations being incorporated as conditions of approval for the map and CUP.

RECOMMENDATION

Staff recommends approval of the project by making an affirmative motion as follows:

Motion #1 Move That The Planning Commission Approve Tentative Subdivision Map No. 4581 and Planned Development (PD) Conditional Use Permit Based On The Identified Findings Of Fact And Subject To The Identified Conditions Of Approval, By Taking The Following Actions:

- Determine that the project, as conditioned, is consistent with the General Plan.
- Determine that the project, as conditioned, is consistent with the Zoning Ordinance.
- Determine that the project, as conditioned, is consistent with the Community Design Standards.
- Adopt the Mitigated Negative Declaration for the project, pursuant to the requirements of CEQA.
- Approve Tentative Subdivision Map #4581, subdividing APN 066-122-060 totaling 5.65 acres into 34 single family lots, 4 halfplex lots and dedication of public street right-of-way in the residential zone.
- Approve the Planned Development Conditional Use Permit for Tentative Map #4581.

-OR-

Should the Commission decide to deny the project, the motion should be made as follows:

Motion #2 Move That The Planning Commission Deny Tentative Subdivision Map No. 4581 and Planned Development (PD) Conditional Use Permit Based On The Identified Findings Of Fact (Specify Findings)

ATTACHMENTS:

- A. Application & Tentative Subdivision Map No. 4581
- B. Arborist Report
- C. Phase 1 Environmental Site Assessment
- D. Public Comments
- E. Initial Study and Negative Declaration of Environmental Impact
- F. Traffic Impact Analysis

FINDINGS FOR PROPOSED COUNTRY OAKS TENTATIVE SUBDIVISION MAP #4581 AND PLANNED DEVELOPMENT CONDITIONAL USE PERMIT.

Prepared for approval by the Woodland Planning Commission on November 1, 2007.

CEQA Findings

1. In accordance with the provisions of CEQA, the project has been evaluated for potential environmental impacts, and has been determined to not have any significant impacts with the incorporation of mitigation measures identified in the Initial Study for the project.
2. Since the project has been determined to have no significant environmental impacts, a Mitigated Negative Declaration shall be adopted in accordance with the provisions of CEQA.
3. The Mitigated Negative Declaration reflects the independent judgment and analysis of the City of Woodland.

General Plan Consistency Findings

4. The proposed project, as conditioned, is consistent with the provisions that have been outlined by the General Plan.
5. The project will help the City meet the needs of moderate-income households.
6. The project evidences the City's willingness to overcome governmental constraints by allowing alternative street sections, small lots, and modified set-backs.
7. The project demonstrates the successful use of infill development to meet community-wide housing needs.

Zoning Consistency Findings

8. The proposed project, as conditioned, meets all regulatory requirements of the Zoning Ordinance

Tentative Subdivision Map Findings

9. The proposed project, as conditioned, meets all regulatory requirements of the Subdivision Map Act and the City of Woodland Subdivision Ordinance.
10. The conditions of approval are reasonably related to the use of the property.

PD Overlay Zone Conditional Use Permit Findings:

11. Adjacent properties are protected and the public interest is protected.
12. The conditions of approval are reasonably related to the use of the property.
13. The City is satisfied that the proposed structures and uses conform to the requirements and the intent of the Zoning Ordinance and the General Plan.
14. The design of the project and improvements will not cause serious public health problems.
15. Utilities are available to the site.
16. The project is consistent with Article 27 of the Zoning Ordinance, in that the proposed use is permitted as a conditional use in the zone and that the use may be allowed subject to conditions with respect to location, construction, time period, maintenance, and operation, as deemed necessary for the protection of adjacent properties and the public interest, when reasonably related to the use of the property.

Design Standards Findings (To be approved later)

17. The project substantially satisfies the requirements of the Community Design Standards.

CONDITIONS OF APPROVAL – Tentative Subdivision Map #4581

Community Development Department

1. The project is as described in the staff report prepared for the November 1, 2007 Planning Commission meeting. The project shall be carried out in substantial compliance as depicted on the Tentative Map included in the November 1, 2007 staff report, except as modified by these conditions of approval and with any changes necessary to meet city codes and specifications. Substantive modifications to the project description shall require modification of the conditions and may void the approval.
2. The applicant shall hold harmless the City, its Council members, officers, agents, employees, and representatives from liability for any award, damages, costs, and fees incurred by the city and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of the permit. Applicant further agrees to provide a defense for the City in any such action.
3. The applicant shall secure approval, satisfy the requirements, and abide by the conditions of all agencies with jurisdiction.
4. At the time of submittal for building permit, Site Plan Review shall be performed by the Planning Division, pursuant to the requirements of Section 25-21-60 of the Zoning Regulations.
5. Prior to City Approval of Final Subdivision Map, the applicant shall have plans prepared for overall subdivision Site Plan, Landscape Plan and Architectural Design review and approval by the Planning Commission pursuant to the Community Design Standards and Zoning Ordinance. Landscaping plans shall include a master street tree planting plan for the subdivision, landscaping and screening of any onsite storm water detention facilities, walls and fences, public right of way landscaping and prototype front yard landscaping of individual homes.
6. Prior to City approval of Final Subdivision Map, the applicant shall have a Tree Plan prepared by a City-approved licensed Arborist and submitted for review by the Community Development Department. Following review by City Staff, the Tree Plan shall be reviewed and approved by the Planning Commission. This Plan shall identify trees to be retained, specific measures to be taken to protect the trees during construction of the subdivision improvements and homes, and long-range care and preservation of the trees, pursuant to the requirements of the Tree Ordinance and Tree Plan Information Guide.
7. Tree conservation easements shall be recorded by the developer for all trees to be preserved prior to sale of lots and/or issuance of building permits.
8. Prior to recordation of the Final Map, any final Covenants, Conditions and Restrictions (CC&Rs) proposed as part of the project shall be subject to review and approval by the Community Development Department. At its discretion, the City may modify the CC&Rs as deemed appropriate.
9. All replacement trees shall be guaranteed for a period of one year from the date of final acceptance of the development project by the City. Any tree that does not

- survive for one year from that date shall be replaced by the developer and the replacement tree shall be guaranteed for one year.
10. Landscape installation, including the planting of trees, shall be in accordance with the Tree Plan, the City's standard specifications, the landscape regulations of the Zoning Code, and the Tree Ordinance.
 11. Comply with the City's Lot Reservation Policy (10% of lots to be made available for a 45-day period for purchase by individuals other than the owner/developer).
 12. Comply with applicable Affordable Housing Ordinance requirements and adopted administrative procedures.
 13. A minimum of three different floor plans with three different elevations of each for single family detached units shall be prepared and submitted to the Community Development Department for Planning Commission review and approval prior to approval of the Final Map. Split lot halfplexes will require a minimum of two different floor plans with two different elevations of each.
 14. All floor plans and elevations shall be resubmitted for approval by the Community Development Director. Design shall comply with the Community Design Standards. This shall occur prior to issuance of building permits.
 15. Required front and street-side setbacks, as conditioned/approved, shall be measured from back of sidewalk.
 16. Comply with applicable NFIP Regulations and City Floodplain Management Ordinances.
 17. A Geotechnical Engineering Investigation of the project site shall be completed prior to issuance of a grading permit. The recommendations of the investigation shall be followed in construction of the project.
 18. The developer shall designate four (4) units (10% of the total 38 units) to be sold at prices affordable to moderate- and low-income households. As required, these units shall be dispersed throughout the project; buildings containing affordable units shall not be placed on adjacent lots.
 19. Affordable units must be visibly indistinguishable from the exterior in comparison with surrounding market-rate units. Affordable units may have different interior finishes and features than market-rate units, so long as the interior features are durable, of good quality, and consistent with contemporary standards for new housing.
 20. Affordable units may be smaller in square footage than the market-rate units in the project to a minimum of 850 square feet of living space.
 21. The developer shall comply with applicable State and Federal laws regarding accessible design features for persons with disabilities. Homebuyers of affordable units shall be offered "universal design" or "visitability" features to be incorporated into the construction of the unit by the builder. Such modifications shall be paid for by the homebuyer, independent of and in addition to the amount calculated as the affordable purchase price of the unit. Information on "universal design" and "visitability" building features is available from the Community Development Department upon request.

22. Homes shall be sold using the procedure and requirements outlined in Section 6A-5-30 of the Affordable Housing Ordinance. Upon request, the Community Development Department will assist the developer in estimating the calculations of maximum affordable purchase prices based on the assumptions provided in this section
23. Inclusionary Housing Agreement—Per Section 6A-3-30 of the Affordable Housing Ordinance, the developer and the City shall enter into an Inclusionary Housing Agreement, which shall be completed and executed prior to the approval of the Final Map. The Tentative Map will be subject to the conditions of the Inclusionary Housing Agreement, a summary of which is provided in the “Agreement Checklist” in Section 6A-3-30 of the Ordinance.
24. Outreach and Marketing Requirements - The developer shall comply with all applicable requirements regarding the outreach and marketing of the affordable units, as outlined in Section 6A-3-40 of the Affordable Housing Ordinance.
25. Split-lot halfplexes shall not be allowed on adjacent lots, side by side and back to back or diagonally.

Parks Recreation and Community Services Department (PRCS):

25. Replace all removed trees or mitigate for the loss of removed trees as required by City codes.
26. The developer shall pay in-lieu park fees in accordance with City Code Chapter 21, Article 12.
27. Developer to pay all AB1600 fees.

Police Department

28. Lighting should be adequate to provide security lighting for residents while not being intrusive.
29. Any Postal Service cluster box units should be in a well-lighted place and highly visible. Units shall be subject to design review by the Community Development Department.
30. Landscaping should be of a type and situated in locations allowing natural surveillance. Security planting materials are encouraged along fence and property lines and under vulnerable windows.
31. Wide-angle peepholes should be incorporated into all front doors of dwellings to allow visual scrutiny.

Public Works Department

32. The project shall pay all applicable development impact fees. If a credit is desired for the existing improvements, applicant shall apply for a credit prior to either demolition of existing facilities, buildings or improvements, or prior to submittal of the Final Map. Amount of credit shall be determined by the Public Works Department. Prior to approval of the Final Map, applicant and City shall enter into an agreement on how credit is to be applied to the building permits.

33. Prior to the Final Map, the applicant shall submit and have approved a revised Tentative Map in compliance with these conditions. The revised Tentative Map is subject to the approval of the City Engineer and Community Development Department.
34. Developer shall document and show evidence that all Tentative Map conditions are met with submittal of Final Map.
35. Developer shall enter into a Subdivision Improvement Agreement for the construction of public improvements prior to the construction of any improvements, approval of full improvement plans, approval of Final Map, or building permits.
36. Developer shall prepare improvement plans for any work within the public right-of-way and submit them to the Public Works Department for review and approval. The improvement plan sheets shall include the title block as outlined in the City of Woodland Standard Specifications. This submittal is separate from the building permit submittal. All public improvements shall conform to the current City of Woodland Standard Specifications.
37. Developer shall submit proposed street names for approval by the City of Woodland.
38. Project shall conform to County Health regulations and requirements for the abandonment of any septic tanks and water wells on the property. Prior to the approval of any construction permits, grading permits or the improvement plan, the existing well shall be abandoned. Prior to abandonment of the well, the developer shall provide to the City permission from all recipients that receive well water to abandon the well.
39. Developer shall conform to any mitigation measures outlined in the Initial Study and traffic study.
40. Public improvements, in addition to roadway construction, shall include water, sewer and storm drain mains, fire hydrants and street lights.
41. All utility poles that are to be relocated in conjunction with this project shall be identified on the improvement plans, with existing and proposed locations indicated.
42. If improvements are constructed and/or installed by a party or parties other than the developer, which improvements benefit developer's property, prior to issuance of a building permit (approval of the Final Map) on the developer's property, developer shall pay a proportionate share of the costs of said improvements, including interest.
43. Developer shall provide documentation of contact with the property owners of all adjacent parcels prior to the scheduling of any public meetings, and shall fund costs of legal notices, descriptions and incidentals for the abandonment/vacation of public right-of-way.
44. Second units shall pay single family dwelling unit development fees if greater than 600 square feet. All second units shall have separate utility connections.
45. The Final Map shall tie into two City control network monuments in accordance with the City's Electronic Submission Ordinance.

46. The Final Map shall dedicate a 10-foot Public Utility Easement (PUE) adjacent to all rights-of-way.
47. The map shall be forwarded to Yolo County Transportation District, and comments shall be incorporated into the Final Map.
48. Prior to tentative approval of the Final Map, all Quimby Act and park improvement issues shall be resolved.
49. For the Betty Avenue and Molly Avenue extensions, the developer shall:
 - i. Construct street improvements, including asphalt pavement, curb, gutter, sidewalk, driveways, street lights, fire hydrants and appurtenances.
 - ii. Dedicate an additional 10-foot Public Utility Easement (PUE) along public streets.
 - iii. Construct mitigations/traffic calming features as identified in the traffic study on the existing roadways.
50. Project shall remove and replace curb, gutter and sidewalk along East Gum Avenue as determined necessary by the City Engineer for the access provided to Lot 24 on the Tentative Map and for the connection to the water, sewer or storm drain utility infrastructure.
51. Final Map shall abandon/vacate right-of-way for 25-foot street and retain a utility easement in favor of the City. Width of the easement shall be subject to the review and approval of the City Engineer. Utility easement shall be subject to other restrictions in the conditions.
52. Final Map and building design standards shall comply with both City Engineering standards and lot coverage requirements. Final Map approval shall be subject to these requirements and the approval of the City Engineer and Community Development Director, and lots shall be modified or eliminated to comply with these requirements.
53. Prepare, and submit for approval, a utility site plan prior to preparation of full improvement plans. The proposed utility plan is considered conceptual only, final plans shall be subject to the approval of the City Engineer and shall be based on City standards and final storm drain, water and sewer studies.
54. A drainage plan shall be prepared and shall identify specific storm drainage design features to control increased runoff from the project site. This may be achieved through one or more of the following: onsite detention or retention facilities, channel modifications, and/or equally effective measures to control the rate and volume of runoff. The drainage plan shall demonstrate the effectiveness of the proposed storm drainage system to prevent negative impacts to existing downstream facilities and to prevent additional flooding at off-site downstream locations. All necessary calculations and assumptions and design details shall be submitted to the City Public Works Department for review and approval. The design features proposed by the applicant shall be consistent with the most recent version of the City's Storm Drainage Master Plan criteria and Standard Specifications and Details.
55. Applicant shall install pipe sized to handle 100-year storm overland release and replace existing 15-inch storm drain pipe with the same pipe.

56. Final Map shall record no build restriction on utility easements that are within single family dwelling lots, and grant the City unrestricted access to these facilities. Developer shall draft easement language for review and approval by the City Engineer to address access rights, structure construction and landscape maintenance and replacement. Easements shall be contained within the fence line of single family dwelling lots unless otherwise approved by the City Engineer.
57. Project shall be served underground for dry utilities. Prior to submission of Final Map, developer shall submit utility plan with documented approval by power, phone, gas and cable utilities. Final Map shall dedicate easements and grant access necessary to implement the approved plan.
58. Water line in existing 25-foot street west of the project site shall be abandoned. Developer shall construct new 8-inch line to loop in with the existing line.
59. Sewer line shall be extended from Molly and Betty Avenue and construction of ductile iron pipe, unless otherwise approved by the City Engineer. Applicant shall submit sewer utility plan for approval prior to submission of Final Map.
60. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit. Applications/projects disturbing less than one acre of soil shall implement Best Management Practices (BMPs) to prevent and minimize erosion. The improvement plans for construction of less than 1 acre shall include a BMP to be approved by the City Engineer.
61. Project shall comply with Storm Water Quality Ordinance, for site-specific, general, and treatment control measures. The project is eligible for in-lieu fees for the project treatment controls only.

Environmental Compliance

62. Developer is required to file a notice of intent for construction activity on one acre or over with the Regional Water Quality Control Board, Central Valley Region. Before grading begins, the developer is required to submit an erosion control plan and prepare a Storm Water Pollution Prevention Plan for review by the City.

Housing/Redevelopment

63. The Inclusionary Housing Agreement shall be signed as a condition to receiving approval of the Final Map.

CONDITIONS OF APPROVAL – PD Conditional Use Permit

1. The PD overlay zoning designation Condition Use Permit (CUP) allows for the following deviations from the Single Family Residential (R-1) zone standards for Tentative Subdivision Map #4581 and lots created thereby:
 - a. Minimum lot size for single-family residential lots of 4,500 square feet.
 - b. Minimum lot width for single-family residential lots of 45 feet.
 - c. Minimum 15-foot front yard setbacks from main wall of house, with five-foot encroachment in the 15-foot setback permitted for front yard porches.
 - d. Mid-block halfplex units are allowed in the R-1/PD for four lots.

2. Two-story homes may be constructed on the interior lots of the subdivision, except those lots adjacent to existing one-story homes. Initial construction of two-story homes shall be allowed on lots in the subdivision that back up to a lot outside the subdivision that has an existing one-story residence if the setback from the back of the two-story residence to the rear property line is at least thirty (30) feet and reasonable mitigation measures are taken to limit the sight-lines to the adjacent property. Mitigation measures may include, among other things, design of the residence with no second story clear windows facing the rear of the property and/or with dense landscaping along the rear property line. After the initial sale of the home, the new home owner of a one-story home may apply for a building permit for a second story addition. The building permit application shall be subject to design review by the Community Development Department.
3. For each halfplex, one unit can be affordable for low- and moderate-income households, and one unit shall be available at the market rate.
4. A minimum of two (2) single-family residences proposed for development on the single-family residential lots shall be affordable for low- and moderate-income households.
5. Existing structures on the project site shall be demolished, debris shall be cleared, and project site shall be rough graded within nine (9) months of approval of the Tentative Map. Prior to any demolition, application shall submit a vector control report that provides necessary details on actions taken to minimize the spread of on-site vectors to surrounding property.
6. The project applicant shall take measures to secure the project site until completion of project development. Measures may include, but are not limited to, the use of nighttime security guards. The project applicant shall coordinate security measures with the Community Development Department and the Police Department. The Community Development Department and/or the Police Department may impose any additional security requirements deemed necessary.
7. The applicant shall hold harmless the City, its Council members, officers, agents, employees, and representatives from liability for any award, damages, costs, and fees incurred by the city and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of the permit. Applicant further agrees to provide a defense for the City in any such action.

Housing/Redevelopment

8. The sizes of the affordable housing units shall be proportional to the market-rate units in terms of number of bedrooms.
9. Housing staff shall review the proposed locations and sizes of the units prior to entering into the Inclusionary Housing Agreement.
10. Affordable units shall be built concurrently with the market-rate units.

11. Applicant shall be responsible for submitting a Market Plan as required in the Affordable Housing Ordinance. The plan shall include how the applicant will help recruit potential homebuyers, as well as where the applicant will advertise the project and what the advertisement will look like.

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