



City of Woodland
Meeting Agenda
Planning Commission

City of Woodland
Planning Commission
c/o
Community Development
Department
300 First Street
Woodland, CA 95695

530-661-5820

Thursday, March 1, 2018

6:30 PM

Council Chambers

Please Note: The numerical order of items on this agenda is for the convenience of reference; items may be taken out of order. No new items shall begin after 10:30 pm unless unanimous consent exists to continue.

A. Call to Order

B. Roll Call

C. Pledge of Allegiance

D. Staff and Commissioner Comments

This is an opportunity for the Planning Commission members and staff to make comments and announcements to express concerns, or to request Commission's consideration of any items a Commission member would like to have discussed at a future Commission meeting.

E. Subcommittee Reports

F. Communications from the Public

This is an opportunity for the public to speak to the Commission on any item other than those listed for public hearing on the agenda. Speakers are requested to use the microphone in front of the Commission and to begin by stating their name, whether they reside in Woodland and the name of the organization they represent if any. The Commission may impose a time limit on any speaker depending on the number of people wanting to speak and time available for the rest of the agenda. In the event comments are related to an item scheduled on the agenda, speakers may be required to wait to make their comments until that item is considered.

G. Approval of Minutes

H. Public Hearing

1. Woodland Downtown Suites - Tentative Subdivision Map, Site Plan and Design Review

Staff recommends that the Planning Commission take action on the following:

1. Conduct the public hearing;
2. Adopt Resolution No. _____ (Attachment 1), approving the 14-lot, Tentative Subdivision Map No. 5141, and approving the Site Plan and Design Review application for a 14-unit, residential development proposal at 447 & 451 Third Street in the Downtown Specific Plan, Area D.

2. **Mobilitie Small Cell Co-location Sites**

1) Receive the staff report;

2) Conduct the public hearing;

3) Adopt Resolution No. PC18- _____ recommending City Council approval of the Conditional Use Permit allowing Mobilitie to construct and operate two small cell colocation telecommunications facilities and the installation of related equipment collocated on two separate City of Woodland light poles within the public right-of-way. Site One: located on the north side of West Cross Street just east of Community Lane (Lat-Long 38.67223300, -121.79109100) APN 065-300-009; Site two: located on Lincoln Avenue, near the intersection of Summertree Lane (Lat-Long 38.676177, -121.789697) APN 065-280-039.

I. Business Items

J. Staff or Commissioner Comments

K. Adjournment

The Planning Commission of the City of Woodland encourages all parties interested in a matter scheduled to be reviewed, discussed and acted on at a meeting, to participate in the public discourse, which may include the submission of written comments and materials. The Planning Commission notifies the public that those materials received less than 24 hours before a meeting date and time may not be able to be considered completely. Further, the Planning Commission encourages interested parties to attend the meeting to discuss any matter of concern and to explain their comments more fully.



TO: MEMBERS OF THE PLANNING COMMISSION
DATE: March 1, 2018
ITEM #: 1.
SUBJECT: Woodland Downtown Suites - Tentative Subdivision Map, Site Plan and Design Review

Recommendation for Action:

Staff recommends that the Planning Commission take action on the following:

1. Conduct the public hearing;
2. Adopt Resolution No. _____ (Attachment 1), approving the 14-lot, Tentative Subdivision Map No. 5141, and approving the Site Plan and Design Review application for a 14-unit, residential development proposal at 447 & 451 3rd Street in the Downtown Specific Plan, Area D.

Staff Contact:

Erika Bumgardner, Senior Planner, (530) 661-5886, erika.bumgardner@cityofwoodland.org

Report in Brief:

Project Location and Description - On January 2, 2018, project applicant, Dave Snow, submitted Planning Application PLNG-18-00006 for a proposed 14-unit, residential infill development project located at the northeast corner of 447-451 Third Street. This site is located in Area D, a "Mixed Use District," of the Downtown Specific Plan Area.

The residential units are planned as "for-sale," market-rate units. Each unit will have a single car garage on the lower level (first floor); with levels 2 and 3 consisting of residential living space.

The request includes a 14-lot Tentative Subdivision Map to allow for individual ownership of each unit. The Planning Commission is asked to review and approve the proposed Tentative Subdivision Map and associated Site Plan and Design Review application as further described in this report.

An existing approximately 5,000 square foot warehouse/light industrial building, constructed in or around 1975, located on site will be demolished prior to construction of the proposed units. The building is currently unoccupied but formerly housed a tortilla making business and a motorcycle retail/repair shop.

APN - 006-571-011 and 006-571-012

Applicant/Owner - Dave Snow, SZ Downtown Partners

Environmental Report - Categorical Exemption, Class 32 Infill Development

Staff Recommendation - Recommend Planning Commission Approval with Conditions

Report For - Planning Commission Public Hearing - March 1, 2018

General Plan Designation - Downtown Mixed Use (DX)

Zoning Designation - Central Business District (CBD)

Specific Plan Designation - Downtown Specific Plan (DSP) Area D, Mixed Use District

Adjacent Land Uses and Zoning -

North - DSP Area D, Mixed Use District; single family homes, vacant lots, low-rise apartment

South - DSP Area C, Transition District; residential neighborhood

East - DSP Area D, Mixed Use District; duplex, single family, office uses

West - DSP Area D, single family homes, light industrial uses

Discussion:

Applicable Laws, Codes and Ordinances - The project is subject to several laws, codes and ordinances:

- The California Environmental Quality Act (CEQA)
- City of Woodland's General Plan
- City of Woodland's Zoning Ordinance
- Community Design Standards
- Subdivision Ordinance
- Downtown Specific Plan (and anticipated updates to the plan)

General Plan Consistency - The project is consistent with General Plan Land Use Policy 2.A.6, Infill Development which encourages infill and redevelopment of underutilized sites in existing urbanized areas to enhance community character; promote pedestrian and bicycle-friendly neighborhoods, increase housing diversity, ensure integrity of historic districts, optimize city investment in infrastructure, support increased transit use, and enhance economic vitality.

The project is also consistent with General Plan Housing Policies 9.A.9 and 9.D.2 which promote infill development and densification where possible.

The proposed 14-unit residential project meets these policy objectives by redeveloping an underutilized parcel within the Downtown Specific Plan area; an area anticipated to grow by 1,000 new residential units over the life of the 2035 General Plan. The project provides for much needed "missing middle" housing with a small per unit footprint and floorplan, ideal for Downtown infill. The project seeks to attract young working professionals, as well as empty nesters, desiring to live in a walkable urban environment. While the units are not income restricted, the applicant hopes to sell the units at a price that is affordable to first time buyers by keeping the units compact and efficient.

Further the proposal is consistent with the vision established in the General Plan for the Downtown Mixed Use (DX) land use designation which encompasses the historic downtown core. The DX designation allows for Floor Area Ratios (FAR) of 1.0 to 4.0 and unlimited residential density. The project's FAR is just over 1.0, meeting the minimum requirement, while respecting surrounding uses and the established historic residential neighborhood south of Lincoln Avenue.

Zoning Consistency

Land Use

The zoning land use designation for the site is Downtown Specific Plan - Area D. Area (or "District") D is described in the Specific Plan as a "Mixed Use District" with opportunities for infill development including residential, commercial, industrial, and institutional uses. The 14-unit residential development project is a "by-right" permitted use within this Downtown District; however, the Site Plan and Design Review application is elevated to the Planning Commission for review as it is directly tied to the concurrent request for a 14-lot Tentative Subdivision Map. Tentative Subdivision Maps require Planning Commission review and approval.

Setbacks

The site plan for the proposed residential development requires the following setbacks:

Setback Requirements		Proposed Setbacks
Front Yard	Average on the block	Average on the block*
Rear Yard	None, unless adjacent to residential, then 10 feet	Minimum 10 feet
Side Yard	None	Minimum 4 feet

*The proposal meets all of the zoning setback requirements. Staff also considered the front setback requirement in terms of average setbacks on the Third Street and Lincoln Avenue blocks and finds that the overall "streetfront" setbacks are generally consistent with existing buildings on each block. The proposed streetfront setbacks provide for a minimum six foot landscape buffer between the sidewalk and the buildings while maintaining an appropriate downtown, pedestrian oriented streetscape with structures located near the sidewalk.

Off Street Parking

Article 23 of the Zoning Regulations commencing with Section 25-23-01 addresses off-street parking and loading requirements. The proposed project is required to provide a minimum of one on-site parking space per residential unit. The project meets this requirement, providing one single car garage per unit. In response to neighborhood concerns, the applicant has identified six (6) additional on-site spaces for short term visitors. Additional off-site public parking is available immediately adjacent to the project site on Third Street and Lincoln Avenue.

Landscaping

Each residential unit/parcel will include a private, landscaped front and rear yard patio area. A minimum six foot landscape buffer will be located between the Third Street and Lincoln Avenue sidewalks and the units and between the units and the adjacent residential properties to the east and north. The applicant shall submit a detailed landscape and irrigation plan for review and approval prior to building permit issuance.

Project Design

The project consists of a contemporary design with varied roof lines and materials including stucco, horizontal Hardieplank, and board and batten Hardiepanel siding. Roofing materials consist of cement tile and metal standing seam. The units are broken into eight separate buildings to minimize project massing and help create the feeling of individual homes.

The General Plan Urban Form Characteristics for the Downtown area state that new development shall be between two and six-stories in height and that single story buildings are strongly discouraged. The Downtown Specific Plan allows for a 65 foot maximum height for projects in "Area D." The proposed project has a maximum height of 37 feet. Mr. Snow intentionally limited the overall height of the project to three stories based on an evaluation of existing surrounding uses which include predominately one and one-and-a-half story single family homes. Further consideration was given to immediately adjacent properties and their privacy through the use of higher placed windows and/or the elimination of windows entirely. The strategic placement of trees and landscaping will provide additional privacy and buffering between the project and adjacent properties.

The applicant has worked closely with staff and the Planning Commission Design Review Liaison on minor enhancements to the project design including incorporation of additional windows on the Third Street and Lincoln Avenue elevations to provide added transparency and allow for more "eyes on the street," which will enhance both the pedestrian experience as well as neighborhood safety.

The applicant has paid particular attention to the project's lighting plan to improve resident and neighborhood safety, while enhancing and staying true to the more contemporary elements of the project design. Additional historic style street lights may be required along the frontage of the property to ensure adequate lighting in and around the project, along the sidewalk and public right of way.

Durable trellis structures incorporating a landscape "screen" were added to soften those elevations facing Third Street and

Lincoln Avenue. The applicant continues to work with city staff on a color pallet that maintains a contemporary feel and a unified project design, while providing some variation between the buildings and/or individual units.

Climate Action Plan

The City of Woodland's 2035 Climate Action Plan (CAP) presents a set of community-generated strategies to guide the City of Woodland, its residents and local businesses in reducing greenhouse gas (GHG) emissions consistent with State goals for addressing California's contributions to climate change.

The proposed project complies with various strategies as outlined in the CAP. In addition to meeting California Title 24 building efficiency requirements, a few notable strategies unique to the project include:

1. Strategy T/LU-2: Infill Development, Redevelopment, and Repurposing. The proposed project takes advantage of an underutilized parcel within the city's urban core where residents can easily walk to Main Street shops and businesses, reducing motor vehicle trips.
2. Strategy T/LU-3: Smart Growth in New Development. The project density is 34 units to the acre, which is generally considering high density housing in Woodland, and is ideally located within walking distance to Downtown Main Street.
3. Strategy T/LU-7: Increased Use of Alternative-Fuel Vehicles. Each residential unit will have a dedicated circuit for electric vehicle charging in the garage.

Tentative Subdivision Map

The project includes a request for a 14-lot tentative subdivision map to allow for the individual sale of each of the proposed residential units. The lots range in size from 1,200 square feet to 1,943 square feet in size, with an average lot size of 1,442 square feet. Lots range from 24 feet to 30 feet in width and 50 feet to 71 feet in length/depth. There is no minimum lot size requirement. The proposed building envelopes meet all applicable setback requirements. Shared reciprocal access and utility easements shall be recorded to ensure accessibility to all lots and utility repair/maintenance as needed.

Environmental Assessment

Pursuant to the California Environmental Quality Act ("CEQA"), the proposed project is exempt from CEQA review per CEQA regulation (Title 14 of the California Code of Regulations) 15332. Regulation 15332 applies to infill development projects on less than five acres that will not have a significant effect on the environment.

Public Notification

Public notice advertising for the public hearing on this project was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Woodland's Municipal Code and State Planning Law. Two methods of public notice were used:

- Legal notice was published in the Woodland Daily Democrat
- Notices were mailed to all property owners within 300 feet of the project site

Copies of the factual staff report for the proposed project have been on file at City Hall since February 23, 2018.

Neighborhood Outreach

On Monday, February 12, 2018, the Planning Division hosted an informational meeting with neighbors of the proposed project to allow residents an opportunity to learn more about the project prior to the Planning Commission Public Hearing. Attendees were able to ask questions and express concerns and/or support for the project. Approximately 24 neighbors attended the meeting and staff received additional emails and phone calls regarding the project from residents unable to attend. A few common concerns were expressed, as summarized below:

Traffic - A number of residents expressed significant concern with the traffic speeds and volume of cars traveling down Third Street, particularly south of Lincoln. This is a long standing and ongoing concern as Third Street is one of the few north-south roadways connecting Main Street all the way to Gibson Road. Staff will continue to collaborate with members of the Traffic Safety Committee to address excessive vehicle speed on Third Street. However, the proposed

project is not anticipated to add significantly to the traffic volume along Third Street or Lincoln Avenue. Any street parking along Third Street from guests visiting the the project may help calm traffic along Third Street by virtue of the "friction" generated by on-street parking which is proven to slow traffic speeds. However, it is recognized that this particular street is challenging as it is a default "connector" for individuals traveling south to Gibson so additional calming measures should be considered.

Parking - In addition to traffic concerns, residents, particularly those residing south of Lincoln Avenue on Third Street, expressed concern with the number of cars currently parking on the street in front of their homes making it difficult to pull trash toters to the curb, to allow for street cleaning, to find their own on-street parking in front of their residence, and to provide for guest parking. It does appear that vehicles parked on the street belong to Third Street residents and guests of existing residents as several homes south of Lincoln Avenue have limited to no on-site parking. If the excessive street parking results from the project's occupants and visitors, a resident neighborhood parking permit from Lincoln south along Third Street should be considered, since the Project occupants may park along and north of Lincoln.

The proposed project includes one, on-site, covered parking space per unit. The applicant will be marketing the units to young adults and "empty nesters" desiring to live in a more urban environment with amenities in walking distance and where the need for and reliance on two vehicles per household is reduced. However, in response to neighbor concerns, staff worked with the applicant to identify additional areas for on-site parking for both residents and limited term guests if/when adjacent on-street parking is unavailable. Six additional on-site spaces were identified to meet this purpose.

Ownership - Staff has received questions and concern from nearby residents regarding eventual ownership status of each unit. Some neighbors have expressed concern about the number of rental properties in the immediate vicinity of the project. This project includes all market-rate, for-sale units. Each unit is intended to be individually owned; however there is no exclusion prohibiting an owner from renting his/her unit over time.

Design - During the neighborhood meeting, several attendees commented on the architectural style and design of the project. Several felt strongly that the project design should better reflect the traditional and historical character of the existing homes in the vicinity, while others supported the more contemporary design of the project.

The Downtown Specific Plan requires high-quality design that is compatible with the historic quality of the community, while encouraging creativity and diversity. It does not require new development to resemble or replicate traditional/historic style architecture. Staff review of the proposed project focused on reinforcing the existing rhythm of downtown development patterns including proximity to the street, transparency through added windows and open style fencing, minimizing driveway entrances to enhance and improve the pedestrian experience, and by ensuring interesting massing and articulation of the buildings particularly along Third Street and Lincoln Avenue.

Entitlements

The Planning Commission shall base its decision on the conformity of the tentative map, together with the provisions for its design and improvements, with the requirements of the Subdivision Ordinance, the Zoning Ordinance, the General Plan, any applicable specific plans and any other applicable ordinance, resolutions or provisions of law. If the tentative map complies with all of the requirements of the Chapter and the Subdivision Map Act, the Planning Commission may approve or conditionally approve the map. Site Plan and Design Review approval shall be based on a determination that the project is consistent with applicable provisions of the Zoning Ordinance, Downtown Specific Plan, Community Design Standards and the General Plan.

Appeal

The subdivider, or any party adversely affected by the decision, the City Council, an individual City Council Member, or the City Manager or Community Development Director, may appeal any action of the Planning Commission with respect to a tentative map to the City Council within ten (10) days after the action of the Planning Commission. No conflict of interest shall exist solely by reason of the filing of an appeal by the City Council, an individual City Council Member, or the City Manager or Community Development Director. Any such appeal shall be filed with the City Clerk and, except an appeal by the City Council, a City Council member, or the City Manager, shall be accompanied by a filing fee as prescribed by City Council resolution. Upon the filing of an appeal, the City Clerk shall set the matter for hearing. Such hearing shall be held within thirty days after the date of filing the appeal. Within ten days or at its next regular meeting following the conclusion of the hearing; the City Council shall render its decision on the appeal.

Conclusion:

Staff recommends approval of the project by making an affirmative motion as follows:

1. Motion #1: Move that the Planning Commission Adopt Resolution No. PC 18-_____,
approving Tentative Subdivision Map No.5141, and approving the Site Plan and Design Review application
for a 14-unit, residential development proposal at 447 & 451 Third Street in the Downtown Specific Plan, Area D.

Prepared By: Erika Bumgardner, Senior Planner

Reviewed By: Cindy Norris, Principal Planner

ATTACHMENTS:

Description	Upload Date	Type
1 - Resolution and Conditions of Approval	2/23/2018	Resolution
Tentative Subdivision Map No 5141	2/22/2018	Map
Site Plan, Elevations, Floor Plans	2/22/2018	Exhibit
Project Rendering 1	2/22/2018	Exhibit
Project Rendering 2	2/22/2018	Exhibit
Project Rendering 3	2/22/2018	Exhibit
General Application	2/22/2018	Backup Material

RESOLUTION NO. PC 18 - _____

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WOODLAND APPROVING TENTATIVE SUBDIVISION MAP NO. 5141
AND SITE PLAN AND DESIGN REVIEW FOR A 14-UNIT
RESIDENTIAL PROJECT LOCATED AT 447 AND 451 THIRD STREET
(APN 006-571-011 AND 006-571-012)**

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on March 1, 2018, to review and consider a request for Tentative Subdivision Map No. 5141, to subdivide two existing 0.32 and 0.14 acre parcels into 14 parcels measuring 1,200 square feet to 1,943 square feet, with an average lot size of 1,442 square feet as shown in **Exhibit A**. The Planning Commission also considered a related three-story, 14-unit residential, infill development project on the property, including Site Plan and Design Review of the proposal (**Exhibit B**). The property is located at 447 and 451 Third Street (APN 006-571-012 and 006-571-011); and

WHEREAS, the proposed project, as conditioned, is consistent with the provisions that have been outlined by the General Plan and meets all regulatory requirements of the Zoning Ordinance and Downtown Specific Plan; and

WHEREAS, pursuant to California state law and the Woodland Municipal Code, public hearing notices were mailed to all property owners within an area exceeding a three hundred foot radius of the subject property, and a public hearing notice was published for a minimum of ten days prior to the public hearing in the Woodland Daily Democrat; and

WHEREAS, the site for the intended use is adequate in size, shape, topography, accessibility, and other physical characteristics to accommodate the use and required provisions of the Zoning Code and satisfies all minimum physical standards required under the City's Zoning Code for a residential development; and

WHEREAS, the proposed use will be organized, designed, constructed, operated, and maintained so as to be compatible with the character of the area as intended in the General Plan; and

WHEREAS, the proposed use will not constitute a nuisance or be detrimental to the public welfare of the community, in that the intensity of the use is modest and designed at the minimum functional height required, and the use would be consistent with existing and permitted uses in the area; all conditions and requirements deemed necessary and in the public interest have been or will be met as they have been imposed on the application approval to reduce the impact of the use on adjacent properties and vicinity; and there are no significant privacy, noise, traffic, or parking concerns raised by the use; and

WHEREAS, pursuant to the California Environmental Quality Act (“CEQA”), the proposed modified use is exempt from CEQA review per CEQA regulation (Title 14 of the California Code of Regulations) 15332. Regulation 15332 applies to infill development projects on less than five acres that will not have a significant effect on the environment; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Woodland, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby make the following findings, and determinations with respect to the proposed Tentative Parcel Map No. 5141 and the proposed 14-unit residential development project at 447 and 451 Third Street:

1. The proposed Tentative Subdivision Map is consistent with the City’s General Plan. The proposed Tentative Map will implement the General Plan by providing the opportunity for development of for-sale, residential land within the community.
2. The Tentative Subdivision Map depicts a site that is physically suitable for development. There are no conditions that would render the property unsuitable for residential development.
3. The site is physically suitable for the proposed density of development. The site is of sufficient size and shape to allow the proposed density, and the parcel will be able to accommodate future development of residential uses given the shape and topography of the Project site.
4. The design of the parcel or the proposed improvements will not create substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
5. The design of the proposed parcel will not cause serious public health problems and is not anticipated to have substantial negative impacts on Project residents or occupants of the surrounding area.

The Planning Commission does hereby approve Application No. PLNG 18-00006 for Tentative Subdivision Map No. 5141 (**Exhibit A**) and Site Plan and Design Review for a proposed 14-unit residential development project at 447 & 451 Third Street (**Exhibit B**), subject to the recommended conditions of approval as provided in **Exhibit C**.

PASSED AND ADOPTED by the Planning Commission of the City of Woodland at a regular meeting on March 1, 2018, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Marco Lizarraga, Chairperson

ATTEST:

Cindy Norris, Principal Planner

Exhibit A – Tentative Subdivision Map No. 5141

Exhibit B – Project Site Plan, Elevations and Floor Plans

Exhibit C – Conditions of Approval

Exhibit A

[Insert Tentative Subdivision Map No. 5141]

Exhibit B

[Insert Project Site Plan, Elevations and Floor Plans]

Exhibit C

Conditions of Approval

GENERAL

1. The project is as described in the staff report prepared for the March 1, 2018, Planning Commission meeting to approve Tentative Subdivision Map No. 5141 to divide the properties located at 447 and 451 Third Street into fourteen separate parcels with an average parcel size of 1,442 square feet. The project shall be carried out in substantial compliance with the submitted Tentative Subdivision Map No. 5141 dated January 2018, included in Exhibit A, and the submitted Site Plan and Elevations dated February 12, 2018, included in Exhibit B, except as modified in these conditions of approval and with any changes necessary to meet city codes and specifications.
2. The applicant shall defend, indemnify, and hold harmless the City of Woodland, its agents, officers or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the subject application by the City, its legislative body, advisory agencies or administrative officers. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either, at the City's discretion, undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City Attorney.
3. Upon approval, the applicant will be required to submit a final parcel map. Prior to official recordation of the legal description and revised lots, the Community Development Department must approve this map.
4. Prior to issuance of a Certificate of Occupancy, all conditions of approval and required improvements shall be completed to the satisfaction of the Community Development Department. Minor design modifications shall require approval by the Community Development Director.
5. Prior to submittal for plan check, the applicant shall submit plans and elevations for review and approval by the Community Development Department. Once the final design drawings have been approved by the Community Development Department, two sets of the final plan set shall be provided to the Community Development Department to be date stamped and included in the project file. This set of plans shall be used for reference during the plan check review process. This Final Plan set, shall include all conditions of approval incorporated or clearly listed on the plans. The conditions shall be printed on a full-size plan sheet(s).
6. Final plans and building elevations incorporating all conditions of approval shall be coordinated and submitted to the Community Development Department as one package in accordance with plan check requirements. All plans, including site, landscape, lighting, mechanical and street improvement plans shall be coordinated for consistency prior to issuance of permits (such as encroachment or building). Any changes to the size, colors, construction materials, design or location of any structure or any other site or landscape improvement shall not be made without prior city approval. The applicant shall be responsible for coordinating all plans to ensure

consistency throughout site plan, landscaping plans, and improvement plans, prior to submittal for review.

7. Secure approval and satisfy requirements of all agencies of jurisdiction.
8. The applicant will be required to file a copy of the recorded instruments with the City of Woodland Community Development and the Public Works Department upon recordation of the revised parcels.
9. Applicant shall provide the Community Development Department with a check for the sum of \$25.00 made out to Yolo County to record the environmental document with Yolo County.
10. Prior to issuance of any permit or inception of any construction activity on the site, the developer shall submit a construction impact management plan including a project development schedule and “good neighbor” information for review and approval by the Community Development Department. The plan shall include, but is not limited to public notice requirements for periods of significant impacts (noise/vibration/street closures, tree removal, etc.), special street posting, construction vehicle parking plan, phone listing for community concerns, names of persons who can be contacted to correct problems, hours of construction activity, noise limits, dust control measures, and security fencing and temporary walkways.
11. Applicant shall be responsible for informing all subcontractors, consultants, engineers or other business entities providing services related to the project of their responsibilities to comply with all pertinent requirements herein in the City of Woodland Municipal Code, including the requirement that a business license be obtained by all entities.

PLANNING

12. Color and Materials. Applicant shall provide a color and materials sample board to be approved by the Community Development Department prior to building permit issuance. Stucco finish shall be light sand. Stucco trim shall be smooth finish. Applicant shall consider and incorporate appropriate glazing and placement of windows to minimize privacy related impacts to immediately adjacent neighbors, as well as balcony design/materials.
13. Landscape and Fencing. Applicant shall submit detailed landscape, irrigation and fencing plans to be approved by the Community Development Department prior to building permit issuance. The project shall comply with City and State Water Conservation Ordinance. All wood fence footings and foundations shall be constructed of galvanized steel, reinforced concrete, or masonry. No treated wood materials in contact with the ground will be permitted. All wood fencing shall be stained with a water sealant to prevent water damage and staining.

Application shall work with Planning Staff to determine appropriate placement of trees and vegetation to provide added buffering and screening between the units and immediately adjacent properties.

Landscape plans shall specify the following:

- Locations, size and quantity of all plant materials.
- A plant legend specifying species type (botanical and common names), container size, maximum growth habit and quantity of all plant materials.
- Location of all pavements, fencing, buildings, accessory structures, parking lot light poles, property lines and other pertinent site plan features.
- Planting and installation details and notes including soil amendments. A soil fertility test shall be prepared prior to approval of plans to determine planting and amendment requirements.
- Existing trees on site shall be identified. Trees planned for removal or relocation shall be marked on the plans, methodology to preserve trees in place provided on plans.
- Details of all irrigation (drip, sprinkler, bubbler) as well as equipment such as backflow controller and water meter devices identified.
- Any additional information and specifications as required by the State's Water Efficient Landscape Ordinance for residential landscapes.

14. Lighting. Applicant shall submit a detailed lighting plan including lighting design and specifications for all exterior lighting. Lighting within the shared driveways shall be a minimum of one foot-candle and shall not exceed 10 foot-candles unless otherwise determined by City.
15. Trash and Recycling. Each unit shall have adequate on-site storage for trash and recycle totes. Storage locations shall be on a paved surface and shown on the final site plan. Totes shall be screened from public view to the satisfaction of the Community Development Department. Applicant shall coordinate with Waste Management regarding effective location for trash pick up and/or consolidation of totes.
16. EV Charging. All units shall include a dedicated circuit for electric vehicle charging.
17. Solar. Each unit shall be photovoltaic ready and shall: 1) be pre-wired; 2) have adequate roof strength to support solar panels; 3) roofs to have minimal penetrations in order to accommodate solar panels; 4) a 200 amp main electrical panel; and 5) space provided adjacent to main panel for solar disconnect and associated equipment (inverter) unless otherwise determined by City.
18. Roof Mounted Mechanical Equipment. Roof mounted mechanical or utility equipment, other than solar panels and related equipment, visible to the public shall be screened to the satisfaction of the Community Development Director. The method of screening shall be architecturally integrated with the structure in terms of materials, color, shape, and size.
19. Ground Mounted Mechanical Equipment. Any new ground mounted mechanical or utility structures, including air conditioning condensers and electrical transformers, shall be underground, located behind buildings and screened from public view where possible. If not possible, adequate screening shall be provided on three sides. Screening may include a combination of landscaping and masonry or lattice walls/horizontal fencing subject to Community Development Department approval.

20. Covenants Conditions & Restrictions. Prior to approval of the final map applicant shall submit three (3) copies of the CC&Rs to the Community Development Department for review and approval prior to recordation. CC&Rs to include:

- Garage conversion to residential use is prohibited.
- Garages shall not be converted for storage use only. Garages shall be kept clear for residential vehicle parking.

DEVELOPMENT ENGINEERING

Roadways

Third Street and Lincoln Avenue

21. After construction of the site, utility connections, and frontage connections, Owner shall micro-surface the full street in front of the project, inclusive of the intersection of Third Street and Lincoln Avenue in order to repair any damage from the resulting construction related to the project to along the frontage terminating 25-feet past the last disturbance of the road (to the east on Lincoln Avenue and north on Third Street).
22. The OWNER shall construct City Standard monolithic sidewalk, curb, gutter, and ADA compliant driveways along the frontage of the property.
23. OWNER shall reconstruct the corner of Third Street and Lincoln Avenue with a curb radius that meets ADA and City Engineering Standards to the satisfaction of the City Engineer prior to approval of Final Map and Subdivision Improvement Plans.
24. The OWNER shall replace/install City Standard ADA compliant curb ramps.
25. Unless otherwise determined by the City, Owner shall install two historic style streetlights of a type approved by the City, along the frontage of the property. Light poles shall not be located so as to conflict with planting or future growth and shading of trees throughout the site. Review shall be provided prior to issuance of final map.
26. Private street section shall be in accordance with City public works standards structural section. Owner may present calculations for alternate materials.

Map Circulation

NA

Easements and Right of Way

27. A six (6) foot public utility easement back of (monolithic) sidewalk adjacent to all public streets within the development shall be dedicated to the City and may be required elsewhere as requested by the utility companies and approved by the City.

Final map shall dedicate in fee right of way a chord at the corner of Third Street and Lincoln Avenue large enough to accommodate the new curb radius listed in Condition #23 above as determined by the City.

28. Final map shall dedicate easements to allow connection of sewer, water, storm drain facilities across parcels and vehicular and pedestrian access, so that each parcel may attach to the public system. Easements may be dedicated through one of the following mechanisms:
- A. A legally binding CC&R document, reviewed and approved by the City and recorded on the title of the land;
 - B. Prior to approval of the final map the applicant shall enter into an agreement for Conveyance of Easements and record it against the property. The map shall reference the agreement; or
 - C. A statement on the map as follows, “We hereby reserve easements for reciprocal private access, drainage, utilities, and maintenance, on, over, and across Parcels __ and __ these easements shall bind and insure to the benefit of the heirs, administrators, executors, and successors of the grantors and are for the benefit of each of Parcels so described.”

Wastewater and Sewer Collection System

29. The property shall be connected to the City of Woodland’s sewer system, with a separate sewer lateral required for each parcel, in accordance with City of Woodland standards. Clean outs shall be installed at the property line for the on-site mains. If the main crosses the property line through a driveway the clean out shall be in a traffic rated box.
30. Private sewer mains shall be constructed in accordance with City Standards.

Storm Water

31. Owner shall provide pre project and post project storm drain run-off calculations during the design of public improvements; and demonstrate that hydromodification requirements have been met.

Storm Water Quality Control

32. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit. Applications/projects disturbing less than one acre of soil shall implement BMP’s to prevent and minimize erosion. The improvement plans for construction of less than 1 acre shall include a BMP to be approved by the City Engineer.
33. Project shall include low impact development standards to minimize storm drain run off, applicant shall submit a plan to minimize run off to the City for approval. The plan shall include such measures as bioretention basins, porous pavement, dry wells/trench drains, or other approved method as described in section E.12.b.(ii) of the phase II MS4 General permit (CAS000004), and demonstrate

that the amount of treated run off is in accordance with the section E.12.f E.12.e.ii.c of the phase II MS4 General permit. Applicant shall enter into an access, maintenance, and reporting agreement for such measures prior to certificate of occupancy. Owner will be required to enter into a maintenance agreement for onsite storm water treatment devices.

34. Prior to Final Map Owner shall submit post construction work sheet in accordance with Appendix 8 of the City's Post Construction Standards Manual; to demonstrate how the project is meeting low impact development standards, Hydromodification standards, and Storm Water Quality Standards. These calculations will be necessary to determine the final sizing of the proposed Storm Water Quality Measures.

OWNER may reference the City's Post Construction Standards Manual on the web.

<http://www.cityofwoodland.org/gov/depts/cd/divisions/engineering/development/h2oquality.asp>

35. Owner shall enter into a Stormwater Treatment Measure Access and Maintenance Agreement prior to final map.

Water Infrastructure Conditions

36. Private Water mains shall be constructed in accordance with City standards.
37. Until such time as actual service connections are approved for the subdivision, the water agency may withhold water service due to a water shortage declared by the water agency.
38. Two inch back of walk water main shall be abandoned to the main and reconnected at the north edge of the property (i.e. no 2" main will be in the front of project).
39. Each property shall have its own dedicated meter located in the PUE.
40. Landscape irrigation should be split proportionally to each property on site (i.e. sprinklers shall be plumbed for each lot to that lot's SFD).
41. All final plans for fire hydrant systems and private water mains supplying a fire hydrant system shall be submitted to the City of Woodland Fire Department for approval prior to construction of the system. All fire protection systems and appurtenances thereto shall be subject to such periodic tests as required by the City of Woodland Fire Department.
42. Any fire hydrant installed will require, in addition to the blue reflector noted in Standard Drawings, an additional blue reflector and glue kit that is to be supplied to the City of Woodland Fire Department for replacement purposes.

Broadband

NA

Grading

43. A topographic survey of the entire site and a comprehensive grading and drainage Construction Standards for additional requirements.
44. The Tentative map Grading and Drainage plan showing grading and drainage information including topographic information, drainage routing, pipe slopes and sizing and locations and excluding topographic information, and overland drainage routing are preliminary only and do not constitute approval in any way. Final approval for the grading and Drainage Plan shall occur with the final improvements based on the requirements set forth in these conditions of approval.
45. The differential in elevation between rear and side abutting lot lines shall not exceed twelve inches (12") without construction of concrete or masonry block retaining walls.

Flood

NA

Fees

46. The Owner shall pay all required fees for processing final maps (technical check) with final map submittal.
47. Prior to approval of improvement plans, the Owner shall pay all fees for plan check and inspection of offsite infrastructure improvements, as approved by City Council and defined in the City Fee Schedule. If Owner pays a deposit only at improvement plan submittal, the balance shall be paid prior to improvement plan approval by the City Engineer. If contract inspection is necessary for the project Owner shall prefund a liability account and sign an advanced funding agreement.
48. All building shall pay applicable Multi Family Development Impact Fees or connection fees in effect at the time of building permit issuance
49. Prior to final map owner shall provide an appraisal of land costs or other value assessment to the City and pay Quimby fees in accordance with the City Municipal Code. These fees are in addition to the City's Parks Development Impact Fees.
50. The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and/or other exactions. Pursuant to Government Code, Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of project approval, has begun. If the applicant fails to file a timely protest regarding any of the fees, dedication requirements, reservation requirements and/or other exactions contained in this notice, complying with all the requirements of Government Code, Section 66020, the applicant will be legally barred from later challenging such fees, dedications requirements, reservation requirements and/or other

such exactions. Notwithstanding the foregoing, the City does not waive any rights it may have to enforce any settlement agreement, memorandum of understanding, or other agreement with the applicant which authorizes the City to impose certain fees, and which may waive the applicant's right to challenge the imposition of some or all of the fees, dedication requirements, reservation requirements, and/or other exactions set forth in these conditions of approval.

General Conditions

51. Developer shall document and show evidence that all tentative map conditions are met with submittal of final map
52. Owner shall enter into a (Subdivision) Improvement Agreement for the construction of public improvements prior to construction of any improvements, approval of improvement plans, approval of final map, or building permits.
53. Prepare improvement plans for any work within the public right-of-way and submit them to the Engineering Division for review and approval. The improvement plan sheets shall include the title block as outlined in the City of Woodland Standard Specifications. This submittal is separate from the building permit submittal. All public improvements shall conform to the current City of Woodland Standard Specifications.
54. The project shall conform to County Health regulations and requirements for the abandonment of any onsite septic tanks and water wells. Prior to the approval of any construction permits, grading permits or the improvement plan the existing well shall be abandoned, and prior to abandonment of the well the developer shall provide to the City permission from all recipients that receive water to abandon the well.
55. Public improvements in addition to roadway, sidewalk curb and gutter, construction shall include water, sewer and storm drain mains, fire hydrants, street lights, landscaping and railroad crossing improvements.
56. All utility poles that are to be relocated in conjunction with this project shall be identified on the improvement plans, with existing and proposed locations indicated. New utility lines shall be underground.
57. Sidewalk and right of way dedications shall be adjusted as necessary to maintain an ADA compliant path of travel around Utility poles and obstructions.
58. If improvements are constructed and/or installed by a party or parties other than the Developer, which improvements benefit Developer's property, Developer shall pay a proportionate share of the costs of said improvements, including interest, prior to the issuance of building permit(s) (approval of the final map) to Developer.
59. If conditions for the project require Owner to construct improvements which benefit parties other than Owner, and are subject to reimbursement by others as determined by the City Engineer, Owner may request to enter into a reimbursement agreement drafted by the City. City shall endeavor to

collect reimbursements from the benefiting party(ies) including requiring payment prior to approval of any entitlements for benefiting party(ies). All reimbursement agreements shall be executed prior to final map approval.

60. Final map shall tie into two City control network monuments in accordance with the City's electronic submission ordinance.
61. Prior to approval of the final map the applicant shall establish a Home Owners Association.
62. This project is subject to the construction and demolition debris recycling and diversion ordinance; contact Reyna Pinon, Environmental Resource Analyst, at 661-2063 for more information.
63. Joint trench/utility plans shall be submitted to the City Engineer for review, prior to approval of the final map and improvement plans.

BUILDING

64. This project must meet all criteria and mandates for these City adopted codes or the most current code:
 - A. 2016 California Building Code
 - B. 2016 California Plumbing Code
 - C. 2016 California Mechanical Code
 - D. 2016 California Electrical Code
 - E. 2016 Building Energy Efficiency Standards
 - F. 2016 California Green Building Code
 - G. The Code of the City of Woodland
65. Other City and County Agencies (Health, Fire, Public Works, and Planning) may be required to approve the project prior to a building permit being issued.
 - a. Recycle plan is required at time of permit issuance along with a \$1000 deposit.
 - b. Prior to any work being performed, clearance from Yolo Solano Air Quality Management District is required.
66. Any deferred submittals that are not a part of the initial permit application must be listed on the cover sheet of the plan at the time of application for the project.
67. All plans, computations and specifications to be prepared and designed by an architect or engineer licensed by the state of California.
68. A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the building.
69. A soils investigation report shall be provide as specified in section 1803.2 of the 2016 CBC.
 - c. Footings or foundations for buildings founded on expansive soils shall be designed in accordance with *CBC 1808.6.1* **and for concrete slab foundations** the design shall be in

accordance with *CBC 1806.6.2 and PTI Standard Requirements for Design of Shallow Post-Tensioned Concrete Foundations on Expansive Soils* or *WRI/CRSI Design of Slab-on-Ground Foundations* and the specific recommendations as noted in the geotechnical engineering report.

- d. Other foundation and slab designs, approved by the soils engineer, would be acceptable as all living areas are located on the second and third floors.

70. Projects smaller than one acre shall meet all requirements to prevent storm water runoff from entering the City's storm system per the City's Stormwater Ordinance (Section 23D), and may be required to submit an Erosion and Sediment Control Plan prepared by a Qualified SWPPP Developer (QSD).

71. Low Impact Development and Hydromodification: All projects within the City of Woodland are required to comply with City's newly adopted Post Construction Standard Plan to reduce post-runoff in compliance with the City's Phase II MS4 permit with the State Water Resources Control Board. For specific requirements, check the flowchart on the City's website.

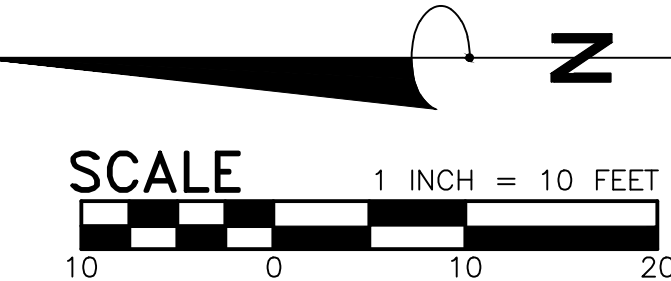
TENTATIVE MAP No. 5141

FOR
WOODLAND DOWNTOWN SUITES
A PORTION OF THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 10 NORTH, RANGE 2 EAST AND WITHIN THE
INCORPORATED CITY OF WOODLAND, COUNTY OF YOLO, CALIFORNIA.

A.P.N.: 06-571-11 & 12
JANUARY 2018

SHEET 1 OF 2 SHEETS

NELSON
ENGINEERING
Civil Engineering, Surveying, & Land Planning
18881 Wildflower Drive (530) 432-4818
Penn Valley, CA 95946 e-mail: kevin@nelsonengineer.com
Visit us online at: www.nelsonengineer.com



LEGEND

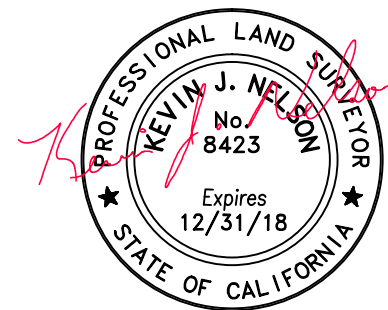
- 64 EXISTING MAJOR CONTOUR
- 63.5 EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED CONCRETE AREA

PROPERTY OWNER/DEVELOPER:

DAVID SNOW, SZ DOWNTOWN PARTNERS
1310 WEST ST.
WOODLAND, CA 95695
(916) 804-1357
dave@dashhomes.net

CIVIL ENGINEER/SURVEYOR:

KEVIN J. NELSON, P.E., P.L.S.
NELSON ENGINEERING
18881 WILDFLOWER DRIVE
PENN VALLEY, CA 95946
(530) 432-4818
e-mail: kevin@nelsonengineer.com



ASSESSOR'S PARCEL NUMBER:

06-571-11 & 12

EXISTING ZONING:

CENTRAL BUSINESS DISTRICT (CBD)

SITE ADDRESS:

447 & 451 3RD STREET

LAND AREA:

TOTAL AREA = 20,160± SF or 0.463± AC

FIRE PROTECTION:

WOODLAND FIRE DEPARTMENT

WATER:

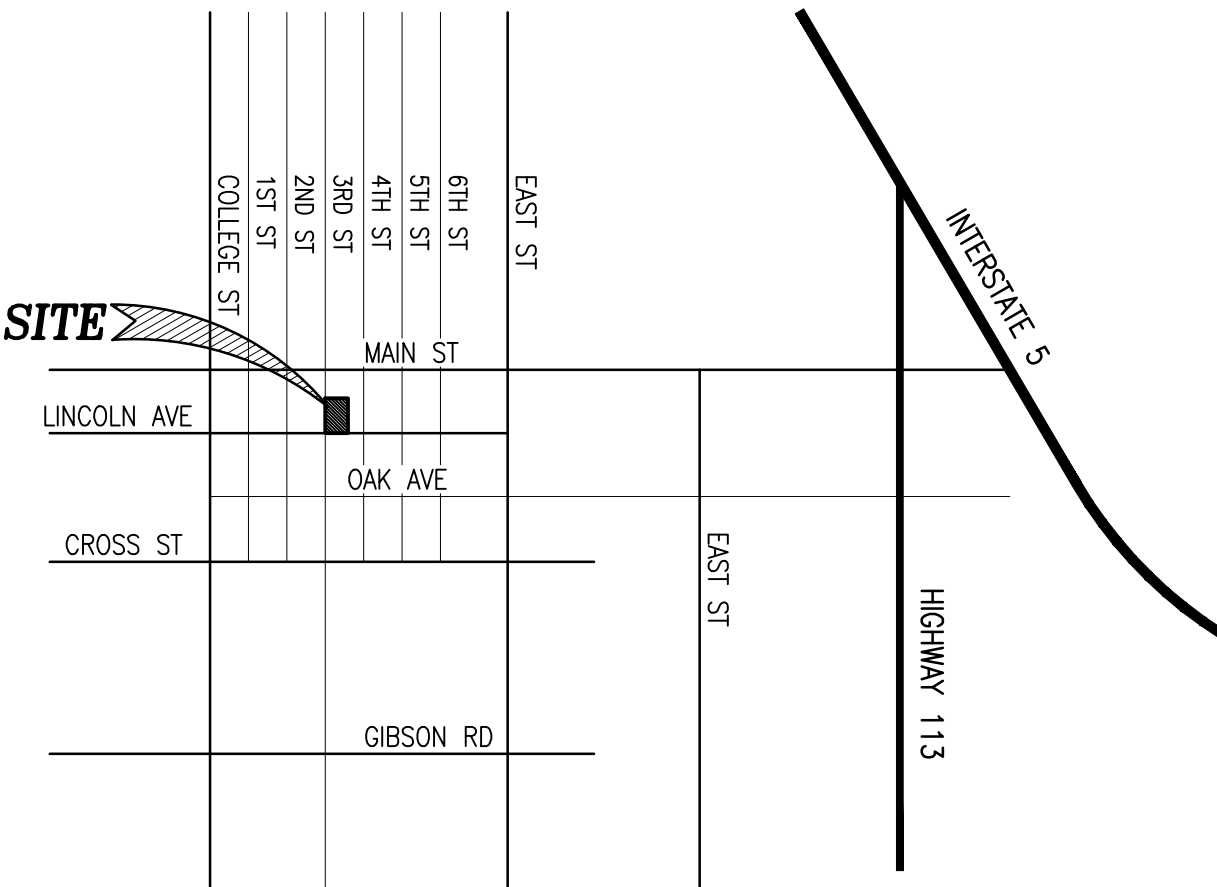
CITY OF WOODLAND

SEWER DISPOSAL:

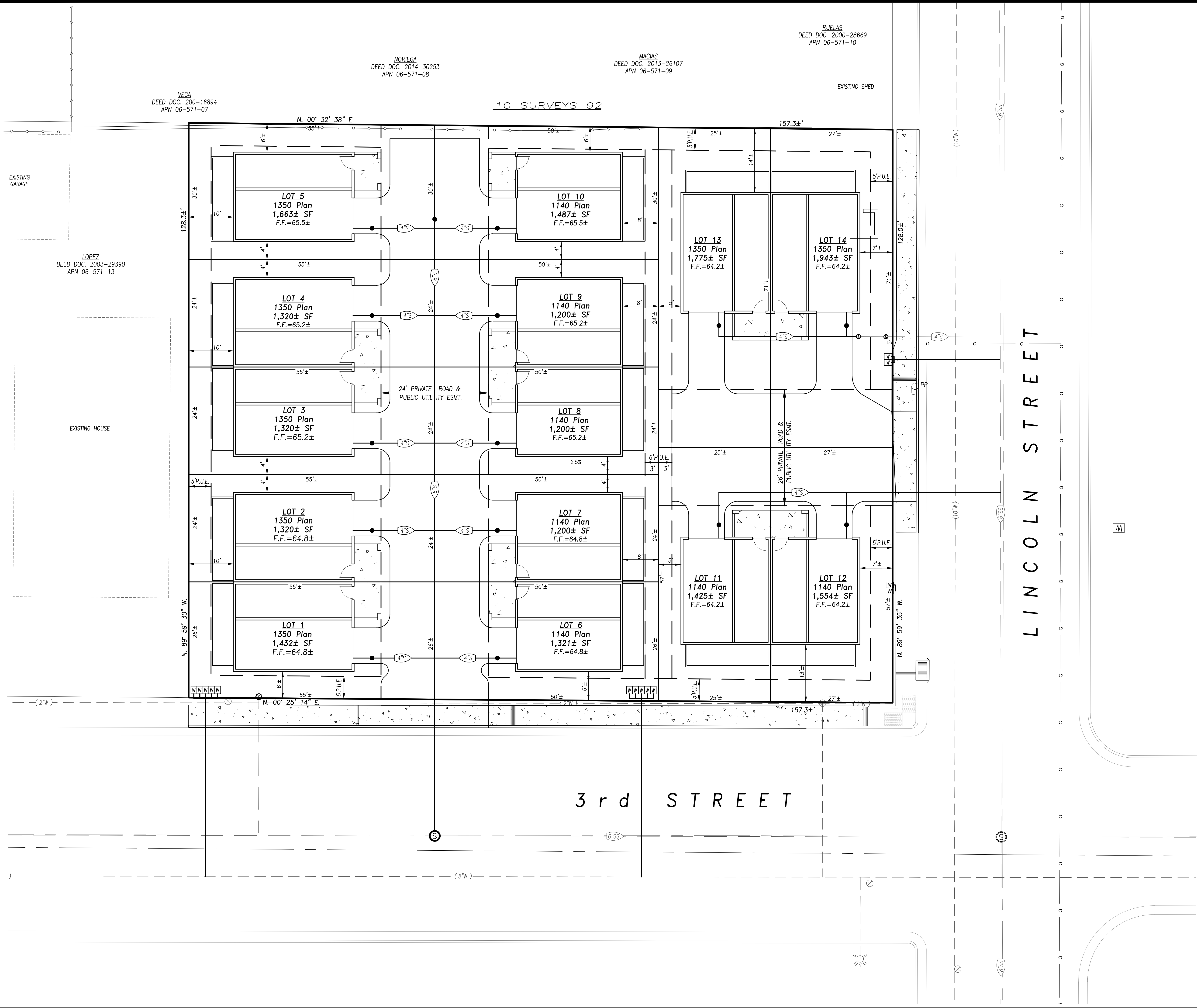
CITY OF WOODLAND

ELECTRICAL UTILITIES:

PACIFIC, GAS, & ELECTRIC



VICINITY MAP
NO SCALE



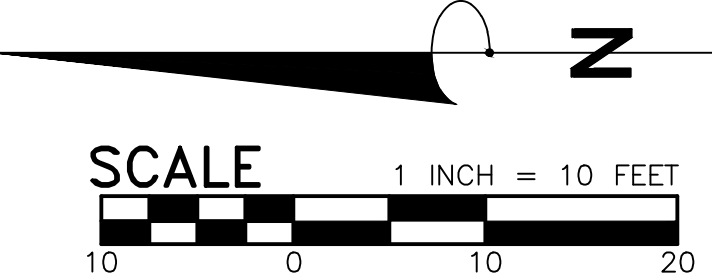
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A.P.N.: 06-571-11 & 12
JANUARY 2018

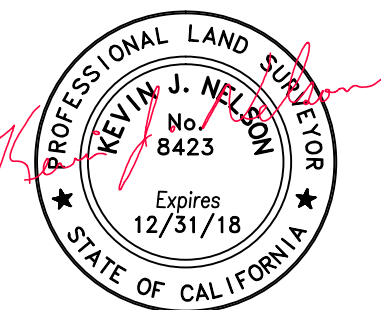
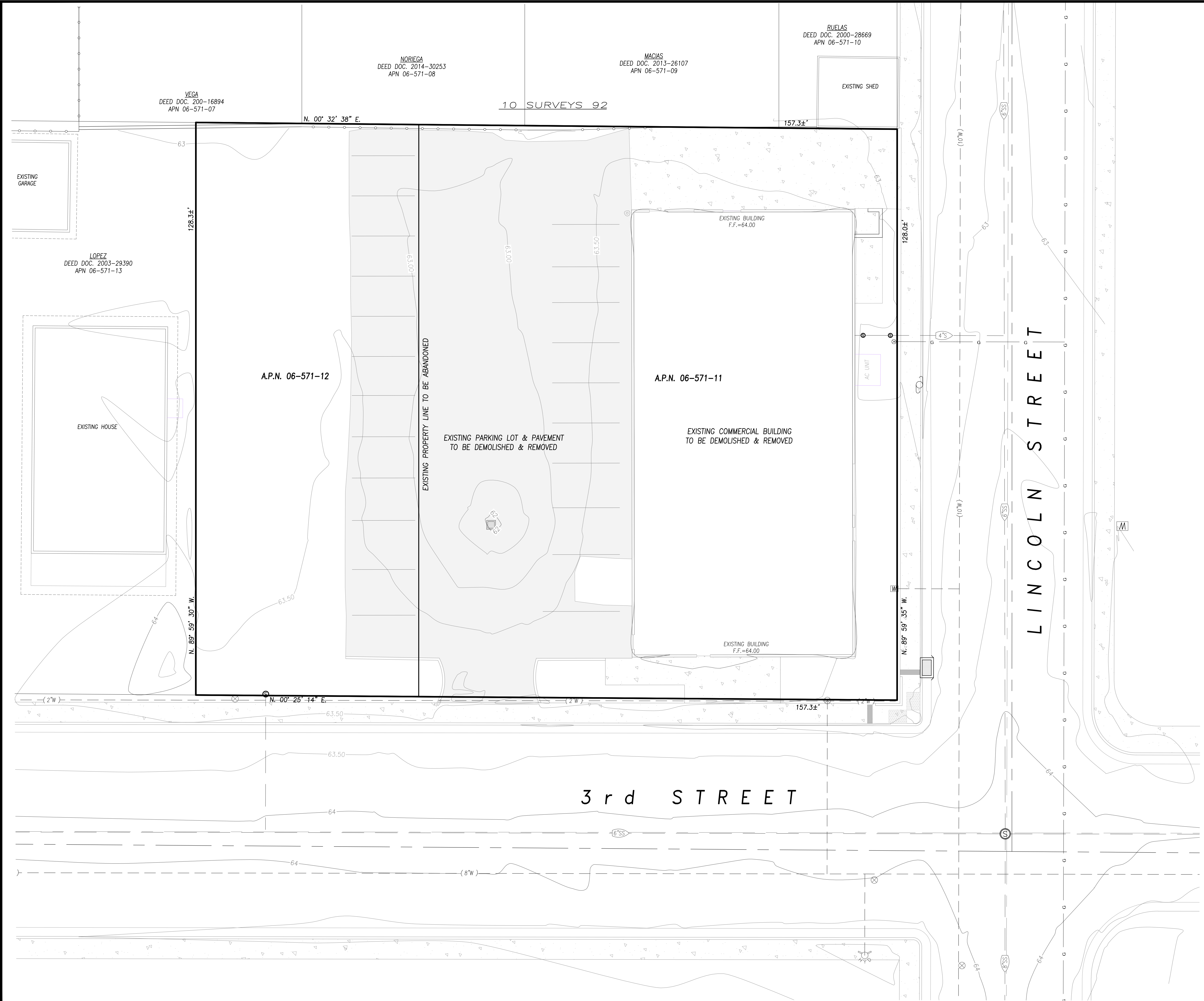
SHEET 2 OF 2 SHEETS

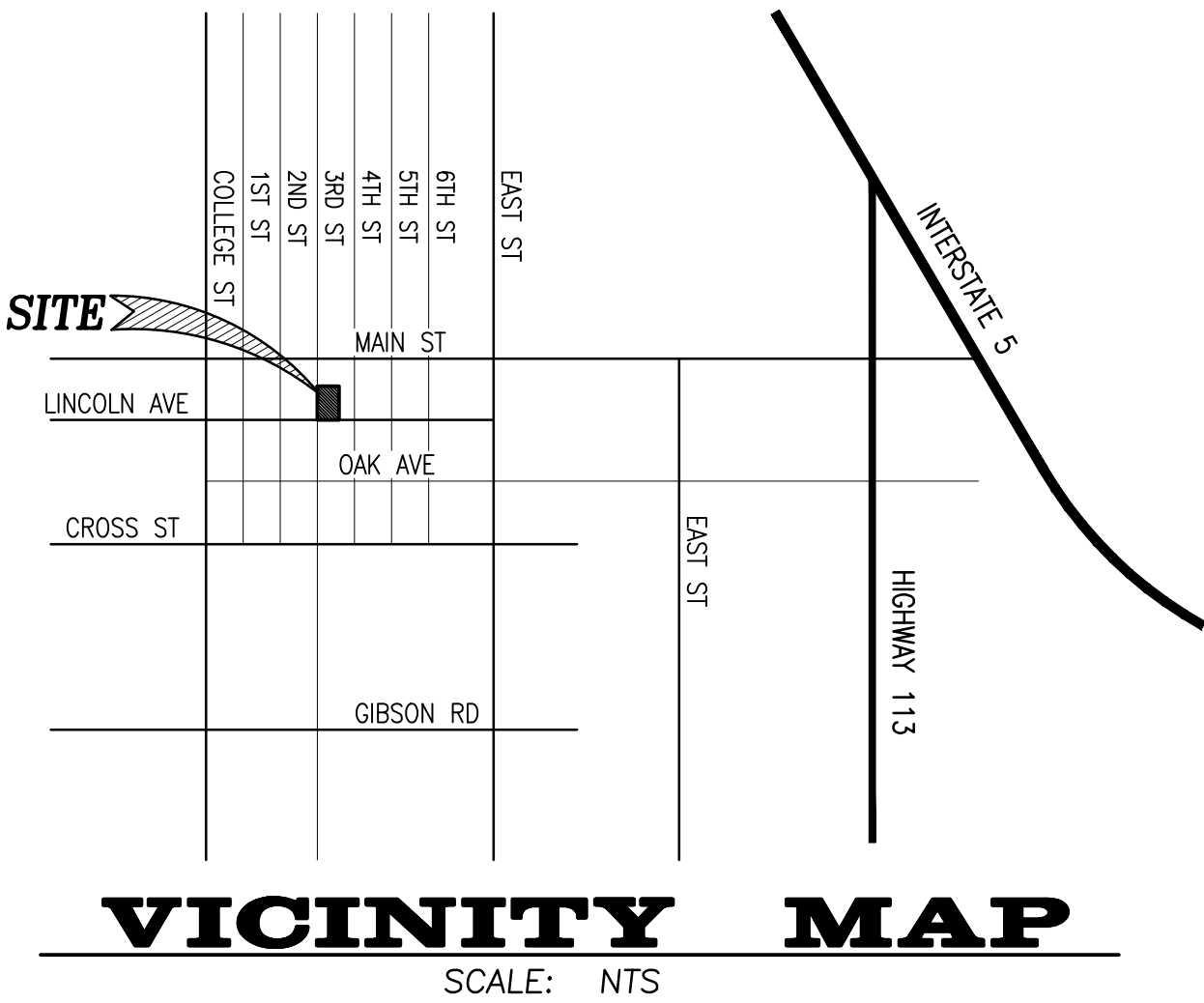
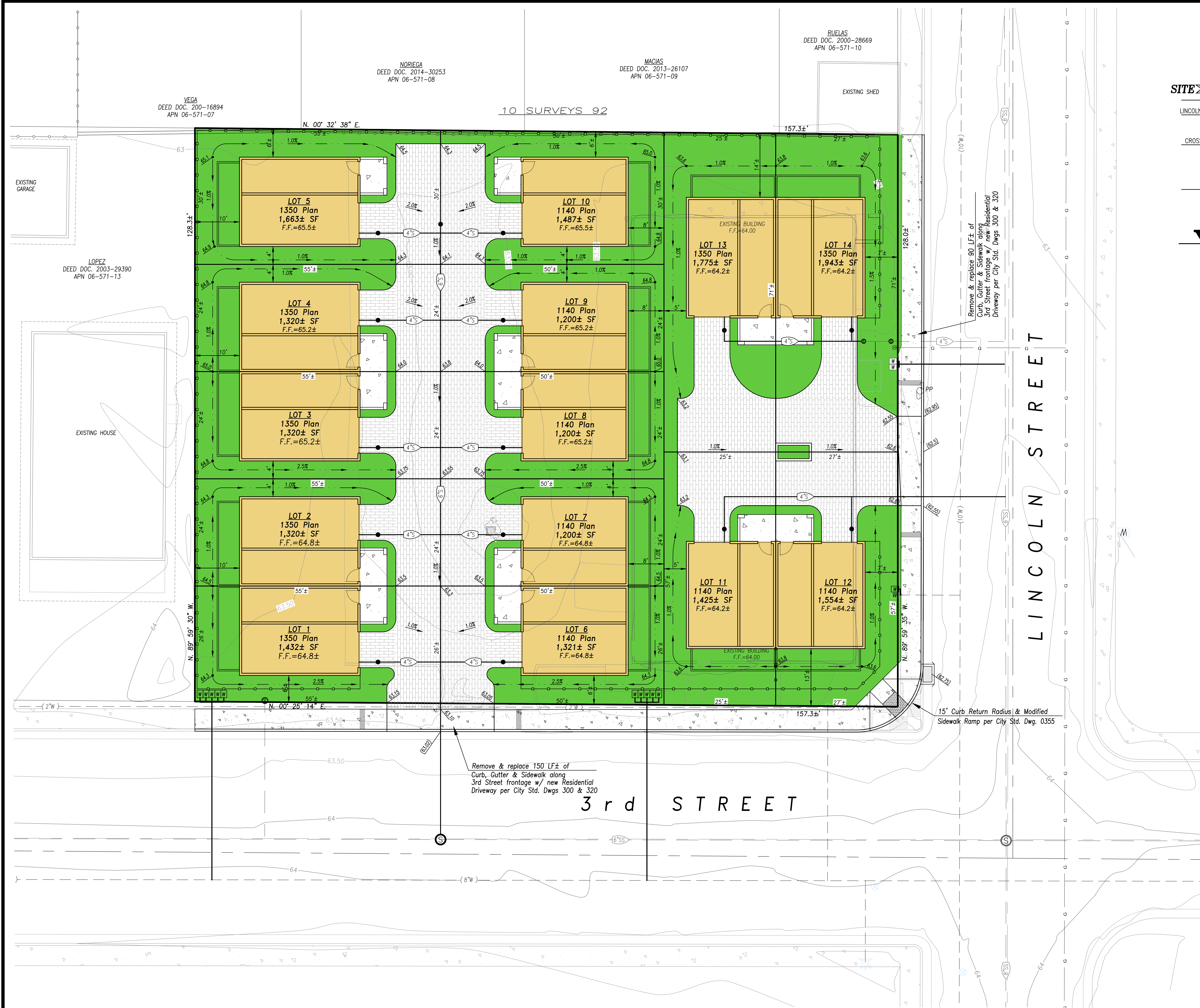
 **NELSON**
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Civil Engineering, Surveying, & Land Planning
18881 Wildflower Drive (530) 432-4818
Penn Valley, CA 95946 e-mail: kevin@nelsonengineer.com
Visit us online at: www.nelsonengineer.com



LEGEND

- 64 — EXISTING MAJOR CONTOUR
- 63.5 — EXISTING MINOR CONTOUR
- — EXISTING PROPERTY LINE
- — PROPOSED PROPERTY LINE
- EXISTING CONCRETE AREA
- EXISTING PAVEMENT





- LEGEND**
- 64 EXISTING MAJOR CONTOUR
 - 63.5 EXISTING MINOR CONTOUR
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED FENCE
 - PROPOSED PAVERS
 - PROPOSED BUILDING AREA
 - PROPOSED CONCRETE AREA
 - PROPOSED LANDSCAPE AREA
 - EXISTING PAVEMENT

PROPERTY OWNER/DEVELOPER:
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06-571-11 & 12

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SITE ADDRESS:
447 & 451 3RD STREET

LAND AREA:
TOTAL AREA = 20,160± SF or 0.463± AC

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WOODLAND FIRE DEPARTMENT

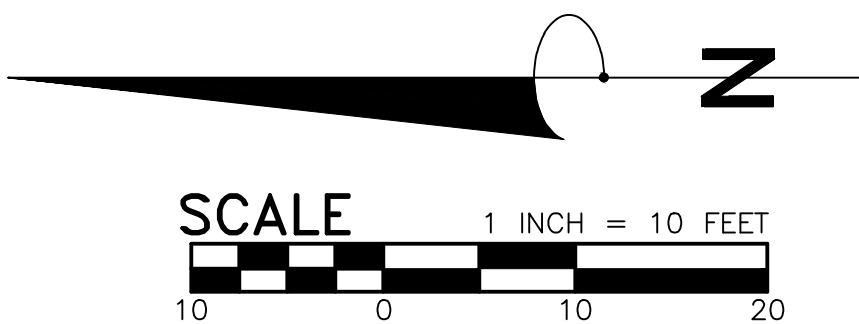
WATER:
CITY OF WOODLAND

SEWER DISPOSAL:
CITY OF WOODLAND

ELECTRICAL UTILITIES:
PACIFIC, GAS, & ELECTRIC

DESCRIPTION	Existing	
	SQUARE FOOTAGE	PERCENTAGE
BUILDING COVERAGE	5,012 s.f.	24.9%
ASPHALT AREA	7,550 s.f.	37.4%
CONCRETE, CURBS & WALKWAYS	1,600 s.f.	7.9%
LANDSCAPE AREA	5,998 s.f.	29.8%
TOTALS:	20,160 s.f.	100.0%

DESCRIPTION	Proposed	
	SQUARE FOOTAGE	PERCENTAGE
BUILDING COVERAGE	7,140 s.f.	35.4%
PAVERS AREA	4,860 s.f.	24.1%
CONCRETE, CURBS & WALKWAYS	715 s.f.	3.6%
LANDSCAPE AREA	7,445 s.f.	36.9%
TOTALS:	20,160 s.f.	100.0%



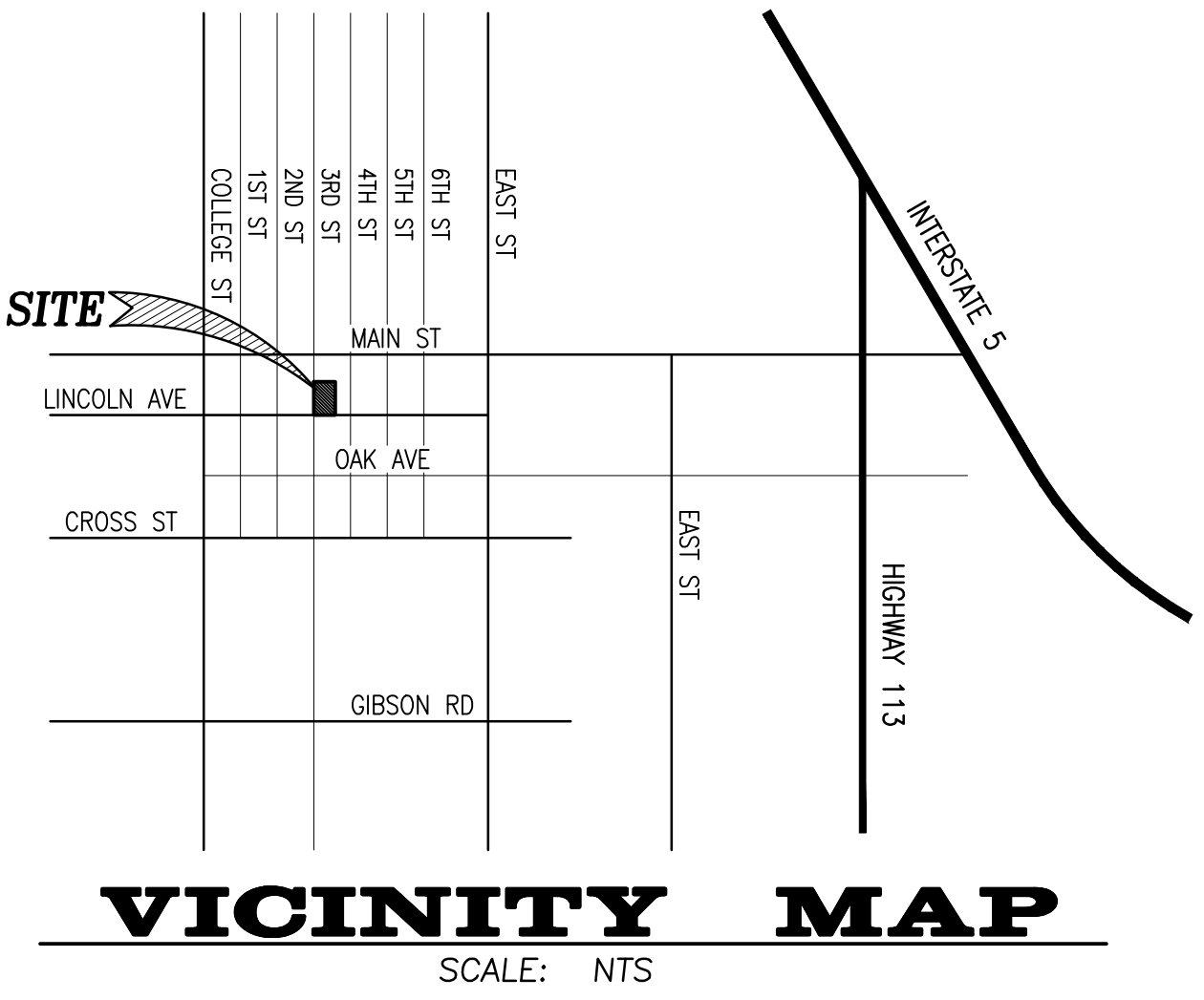
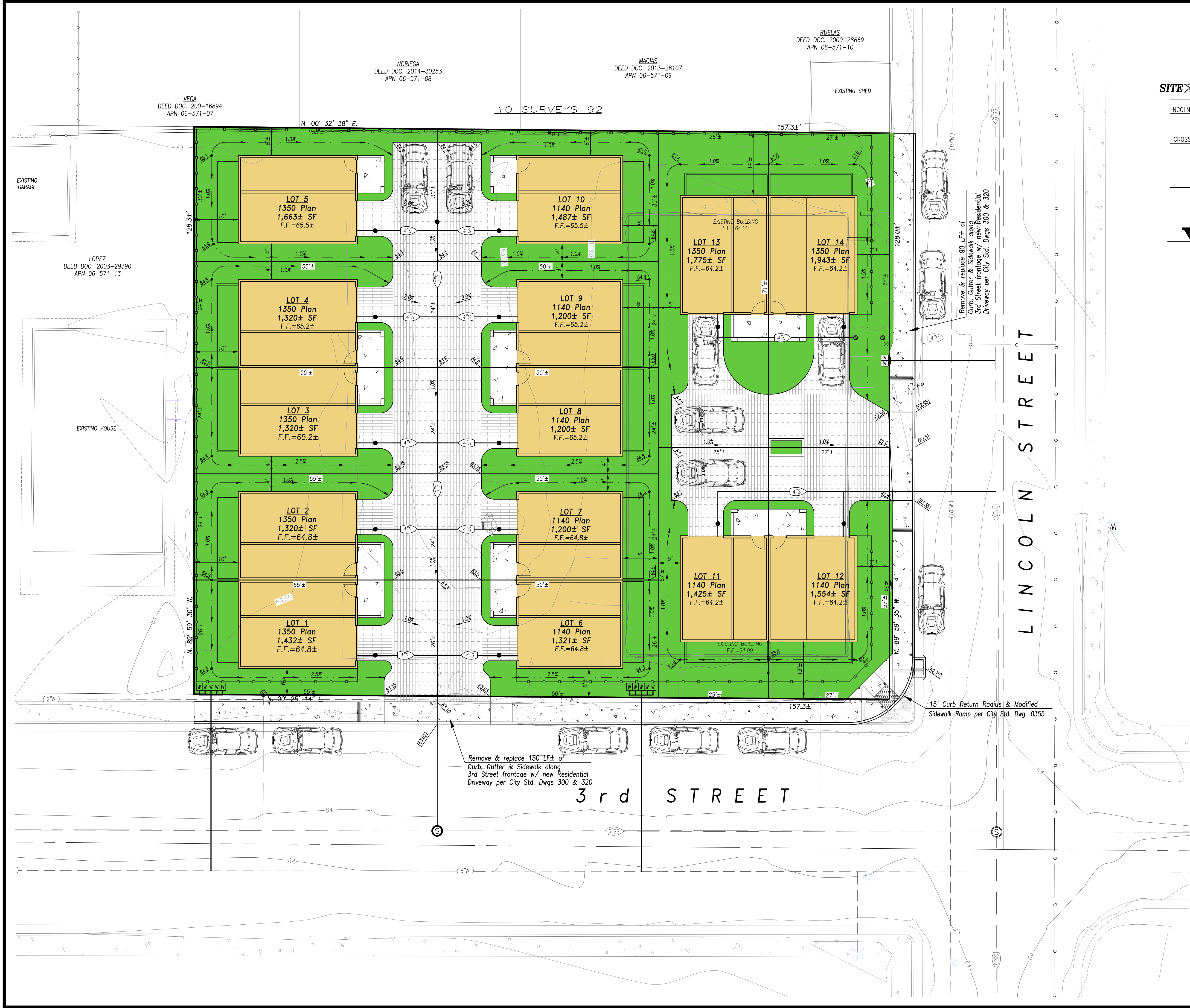
DESIGNED: KJN
DRAWN: KJN
CHECKED BY: KJN
DATE: February 20, 2018
PROJECT No.: 17-220
DWG. NAME: 17-220 Woodland Downtown Suites.dwg

NO. REVISIONS

SITE PLAN FOR:
WOODLAND DOWNTOWN SUITES
447 & 451 3RD STREET
A.P.N. 06-571-11 & 12
CITY OF WOODLAND
CALIFORNIA

NELSON ENGINEERING
Civil Engineering, Surveying & Land Planning
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1 OF 1



- LEGEND**
- 64 EXISTING MAJOR CONTOUR
 - 63.5 EXISTING MINOR CONTOUR
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED FENCE
 - PROPOSED PAVERS
 - PROPOSED BUILDING AREA
 - PROPOSED CONCRETE AREA
 - PROPOSED LANDSCAPE AREA
 - EXISTING PAVEMENT

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CITY OF WOODLAND

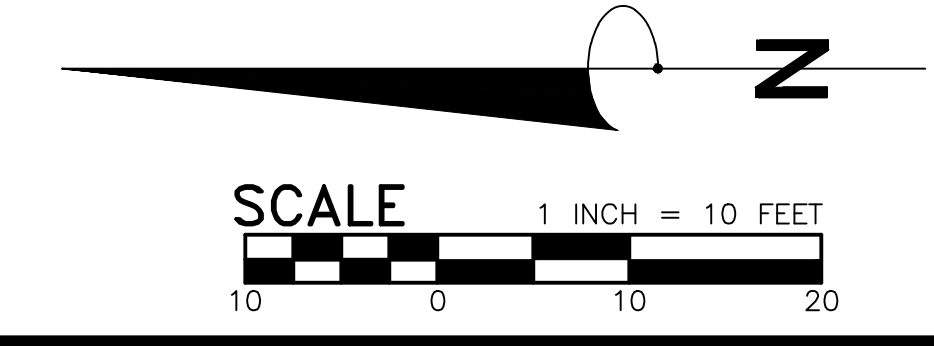
SEWER DISPOSAL:
CITY OF WOODLAND

ELECTRICAL UTILITIES:
PACIFIC, GAS, & ELECTRIC

SITE STATISTICS:

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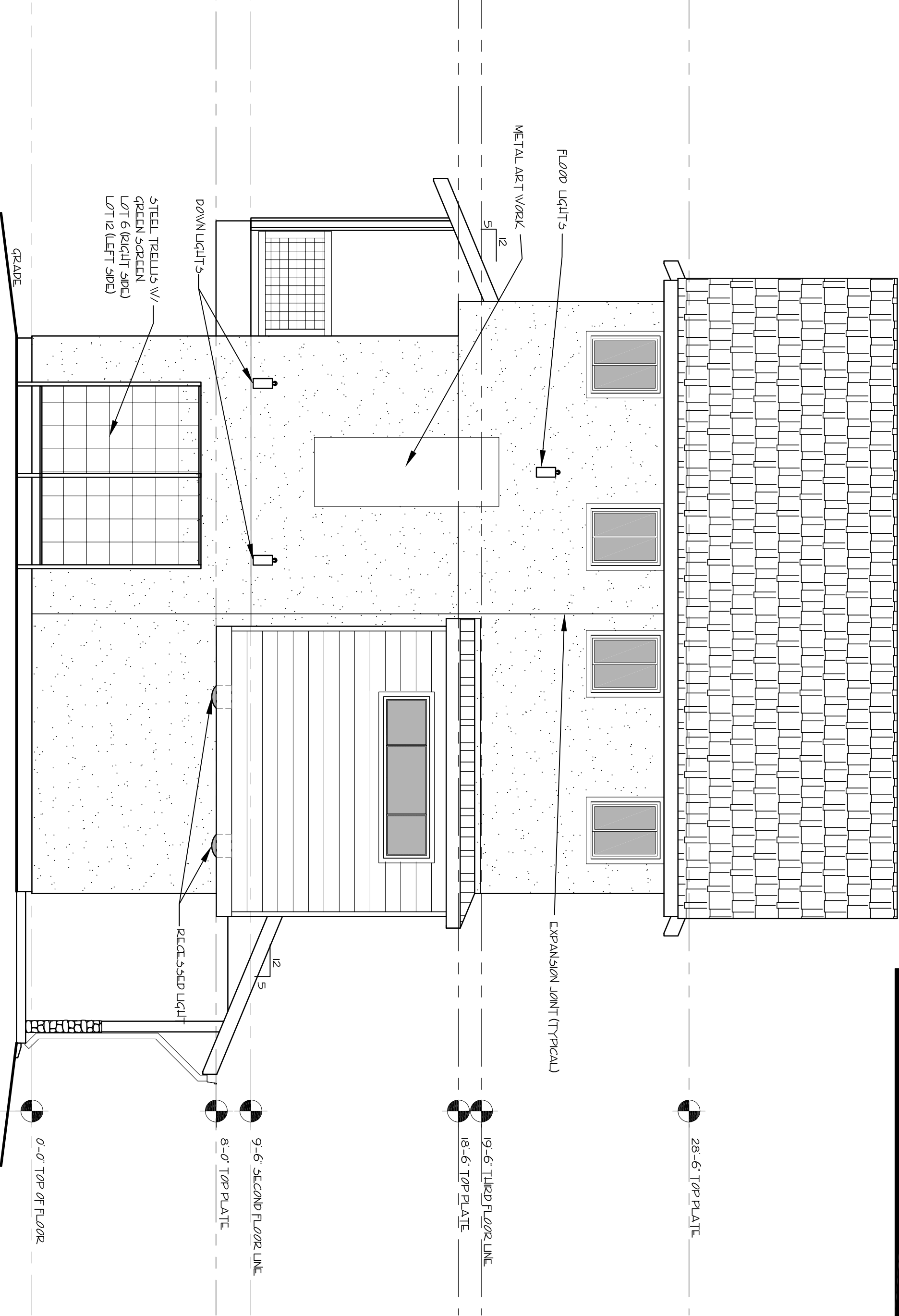
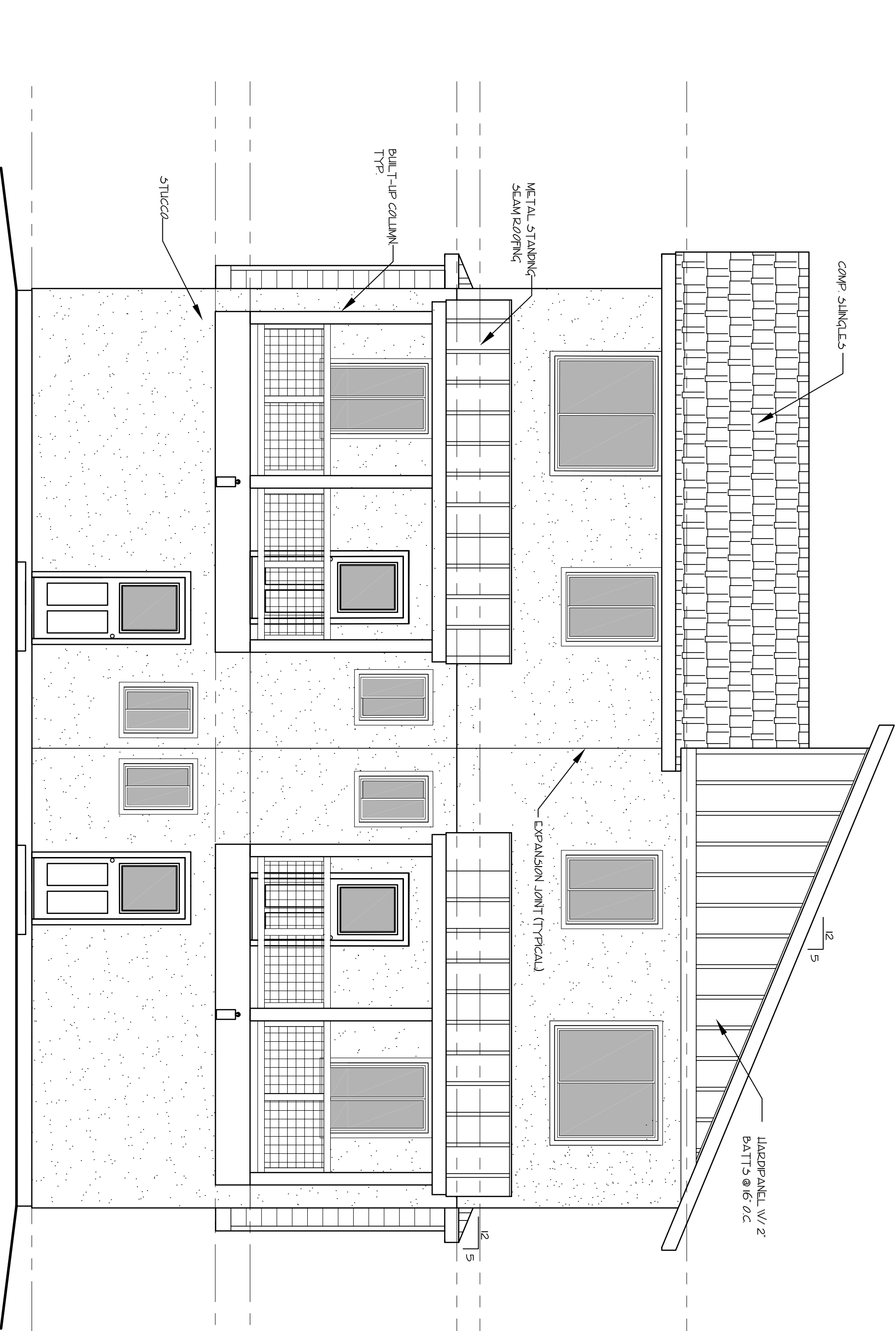
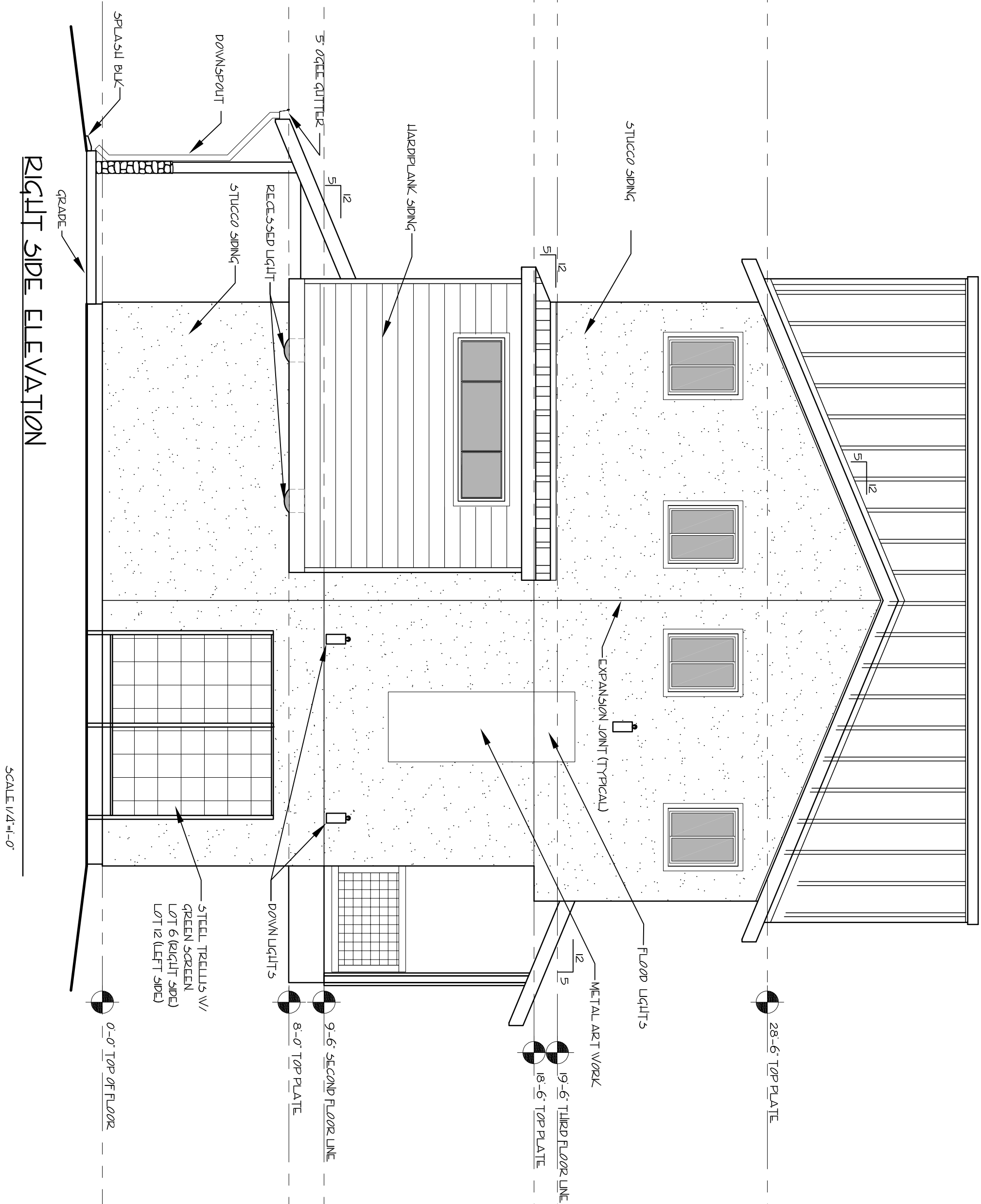
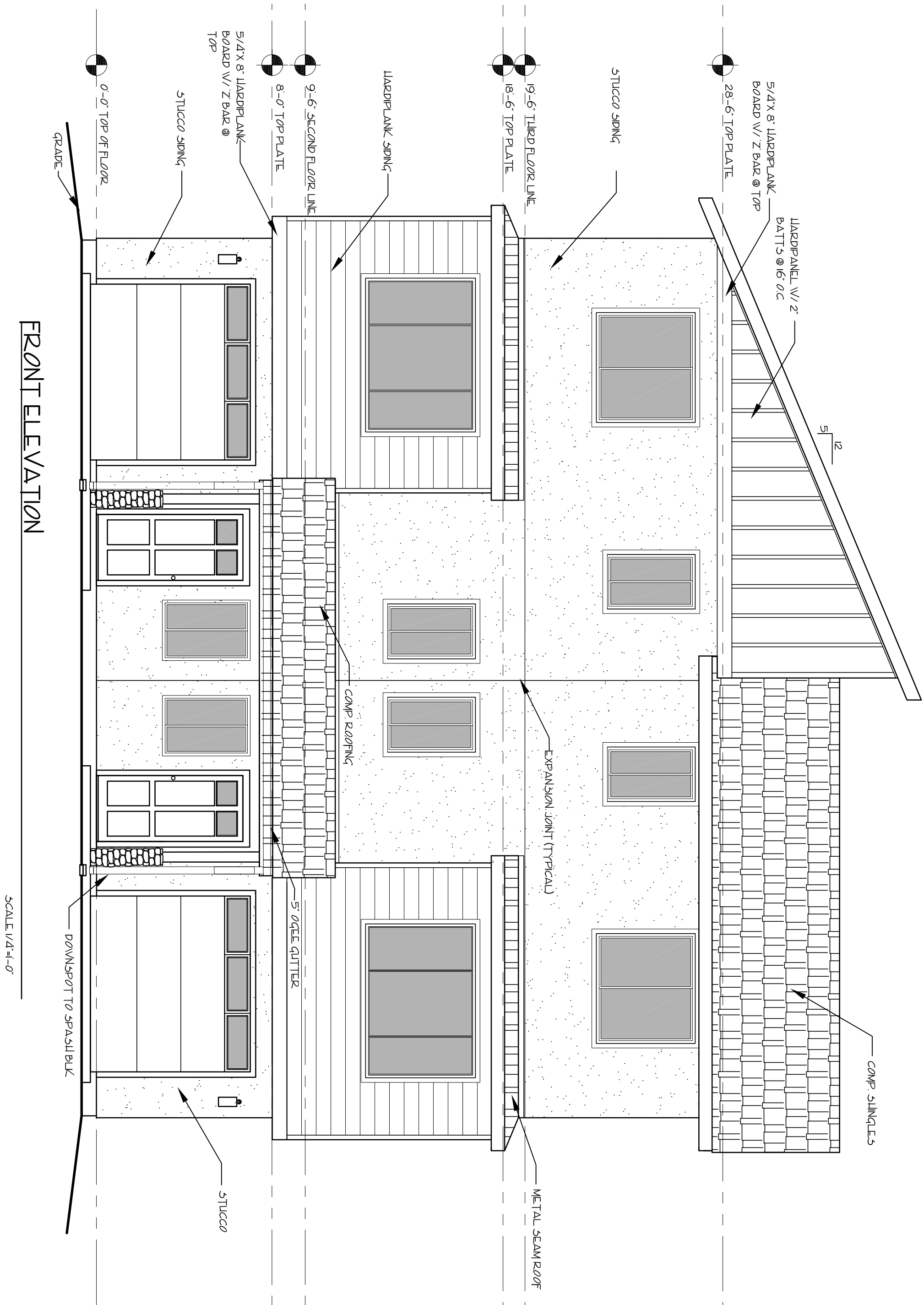
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NO. REVISIONS

SITE PLAN FOR:
WOODLAND DOWNTOWN SUITES
447 & 451 3RD STREET
A.P.N. 06-571-11 & 12
CITY OF WOODLAND
CALIFORNIA

NELSON ENGINEERING
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1 OF 1



- 1) NO SWITCH/PULL/O CELL ACTIVATION
- 2) ALL LOTS AT GARAGE FRONT'S
- 3) PERIMETER LOTS AT THIRD AND
- UNCLON ON SIDE ELEVATIONS ON LOTS 1, 6, 12, 8, 14 ONLY.

2 BEDROOM ELEVATIONS

DOWNTOWN SUITES
451 + 447 THIRD STREET
WOODLAND, CA.

DAS Homes Inc.

RESIDENTIAL DEVELOPEMENT

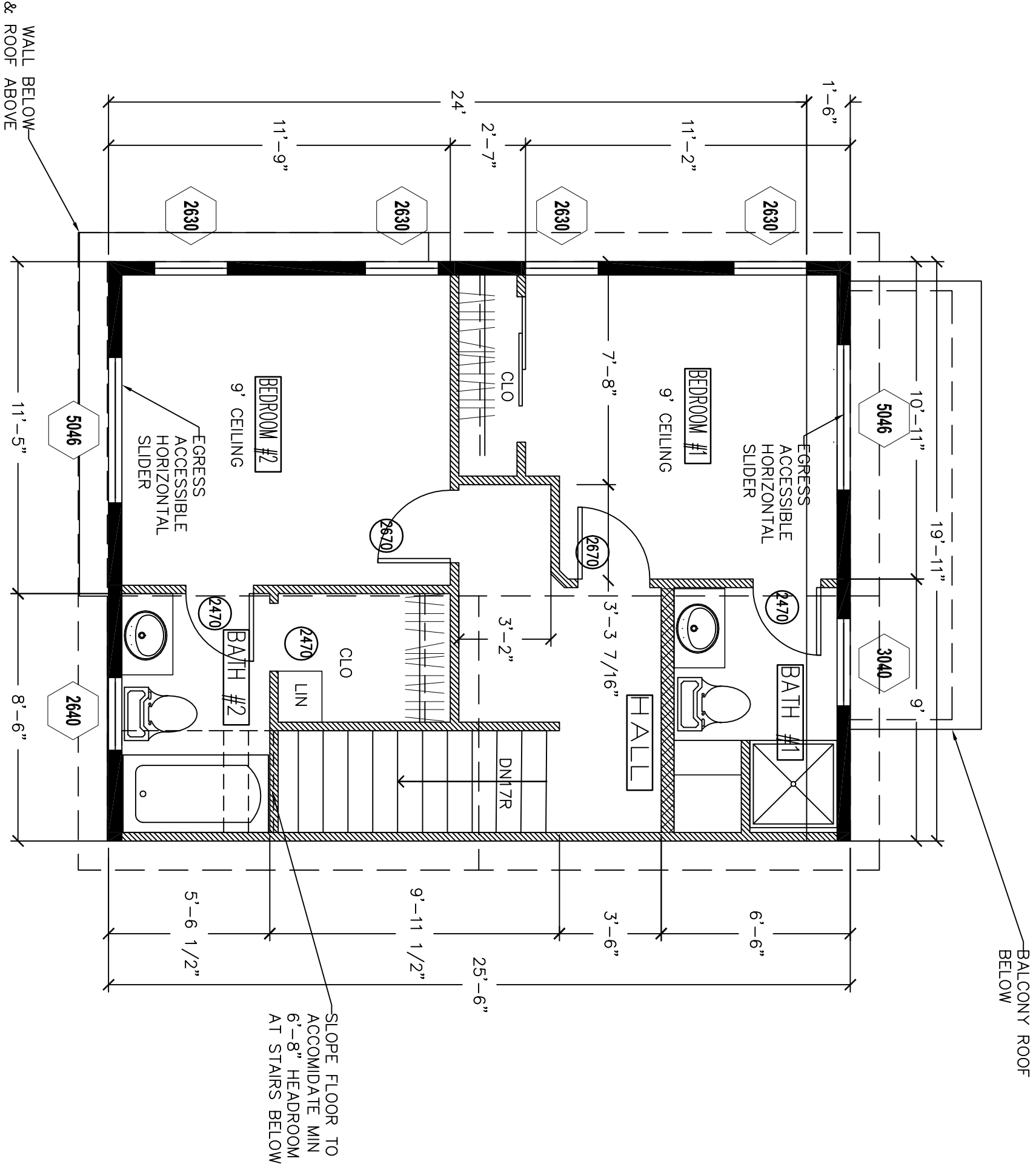
1310 West Street

Woodland, CA 95695

JOB	17-168
DATE	01/17/18
SCALE	AS NOTED
DRAWN BY	AK
APPR. BY	DSH
REVISIONS	DATE
	02/12/18

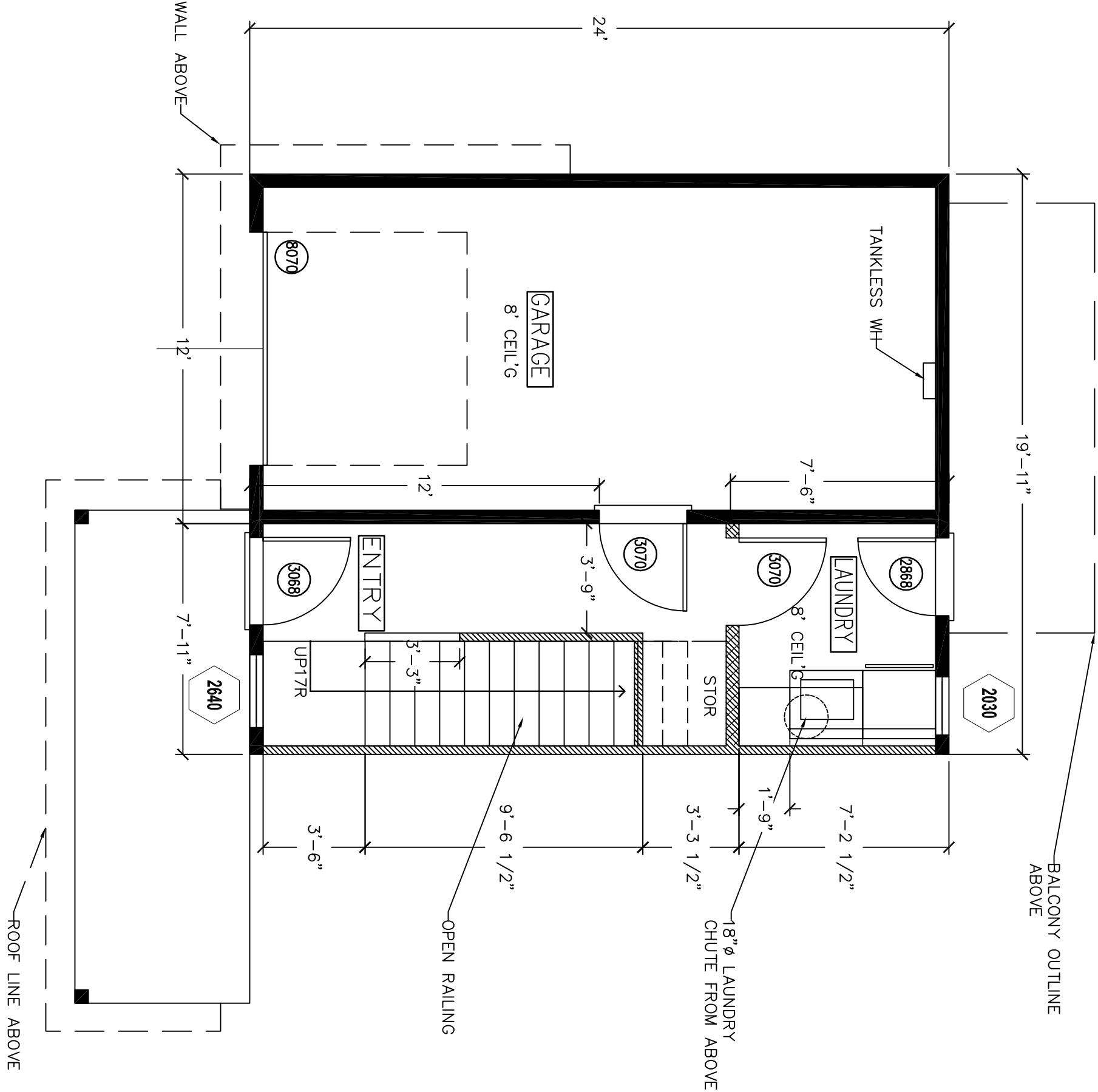
17-168 A3.dwg

SHEET



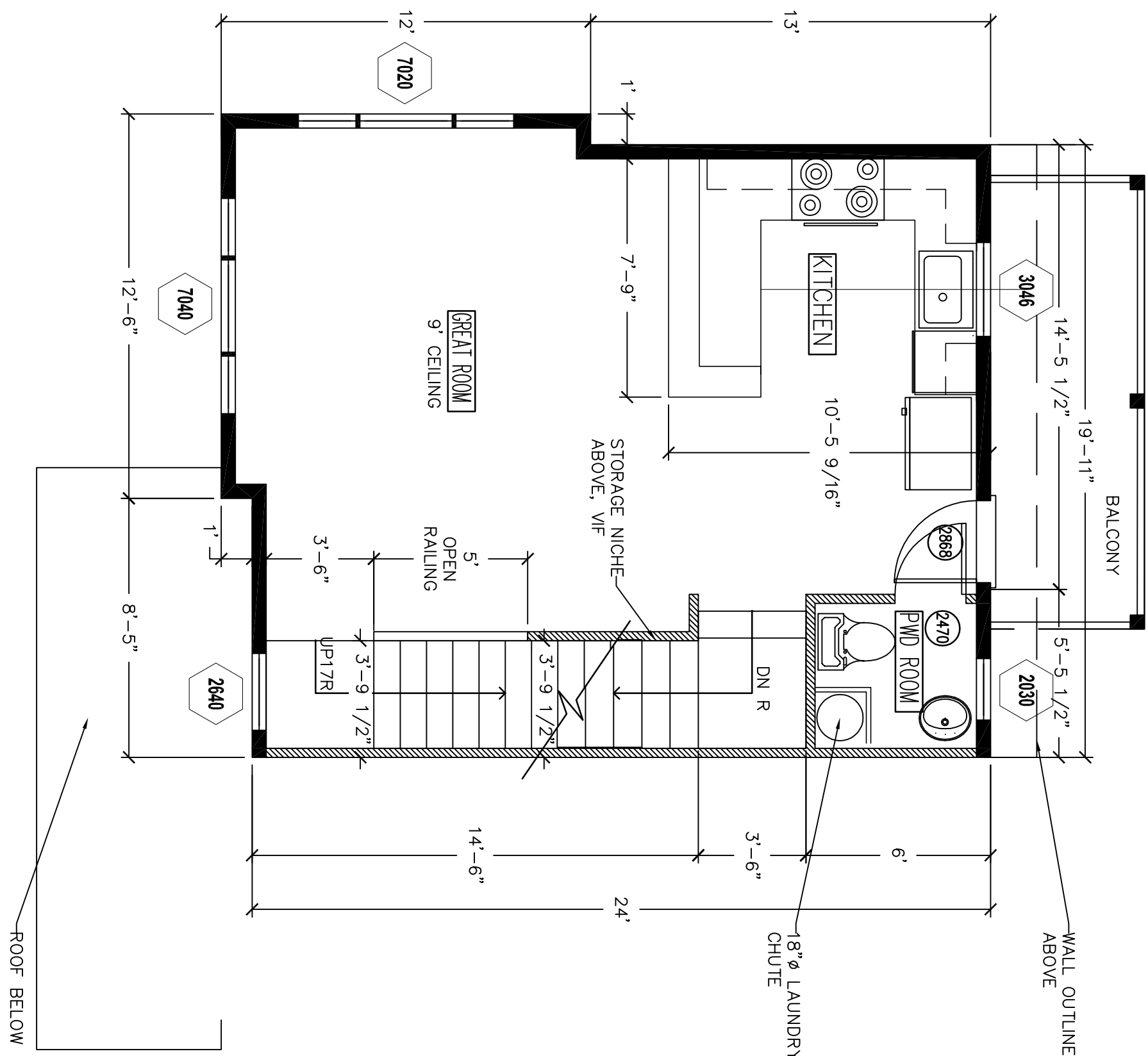
THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0" 9' CEILING HT. 478 SF



FIRST FLOOR PLAN TWO BEDROOM

SCALE: 1/4" = 1'-0" 8' CEILING HT. 208 LIVABLE SF 276 GARAGE SF 494 SF TOTAL



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" 9' CEILING HT. 449 SF 74 BALCONY SF

WALL KEY	
	= 2x6 EXTERIOR WALLS
	= 2x4 INTERIOR WALLS
	= 2x6 INTERIOR WALLS

TWO BEDROOM FLOOR PLAN

DOWNTOWN SUITES

451 + 447 THIRD STREET

WOODLAND, CA.

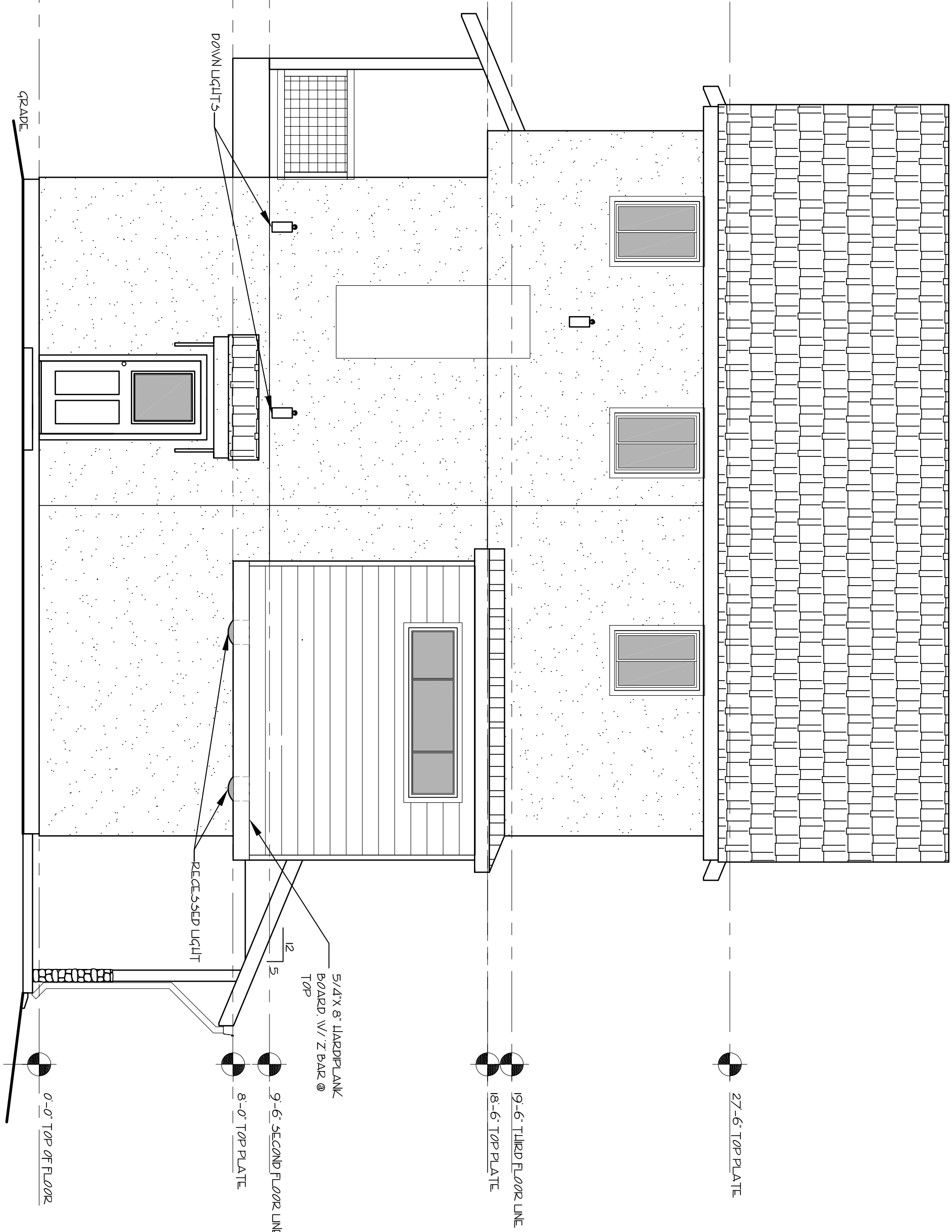
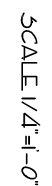
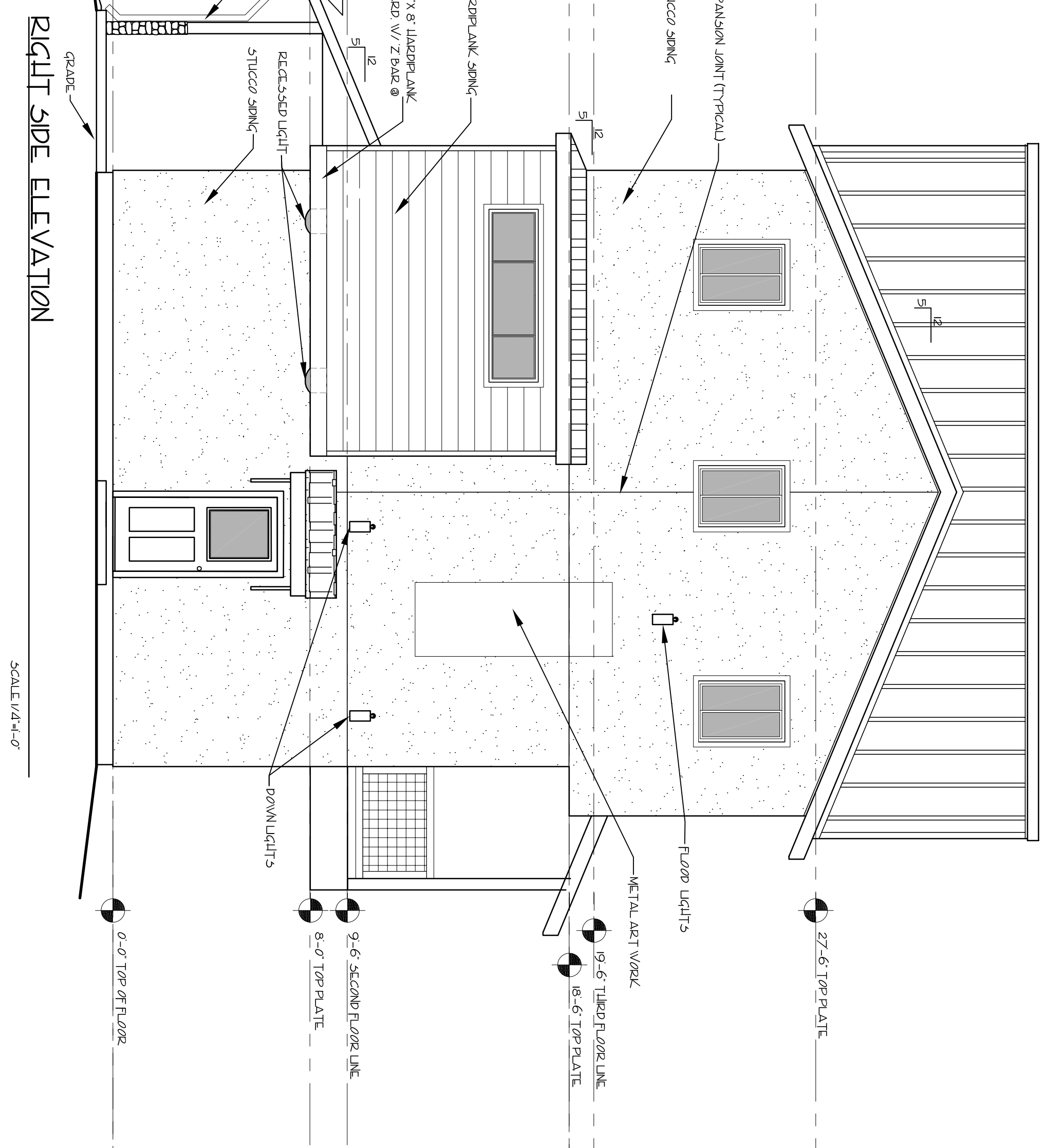
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DATE	01/7/18
SCALE	AS NOTED
DRAWN BY	AK
APPR. BY	DSH
REVISIONS	DATE
	02/12/18

17-168 A2.dwg

SHEET

A2.1

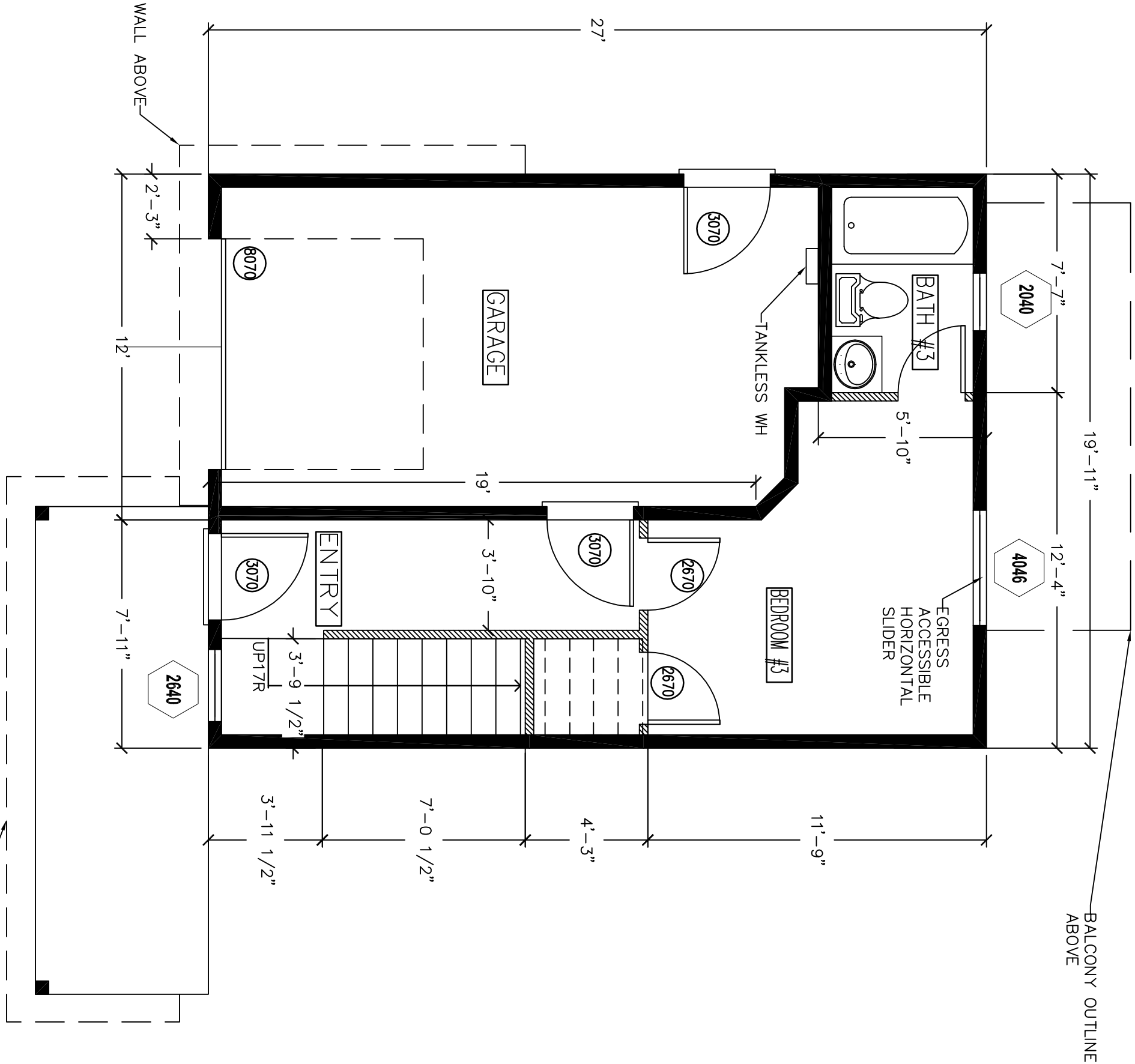
OF SHEETS



					02/12/18
				Page 30	

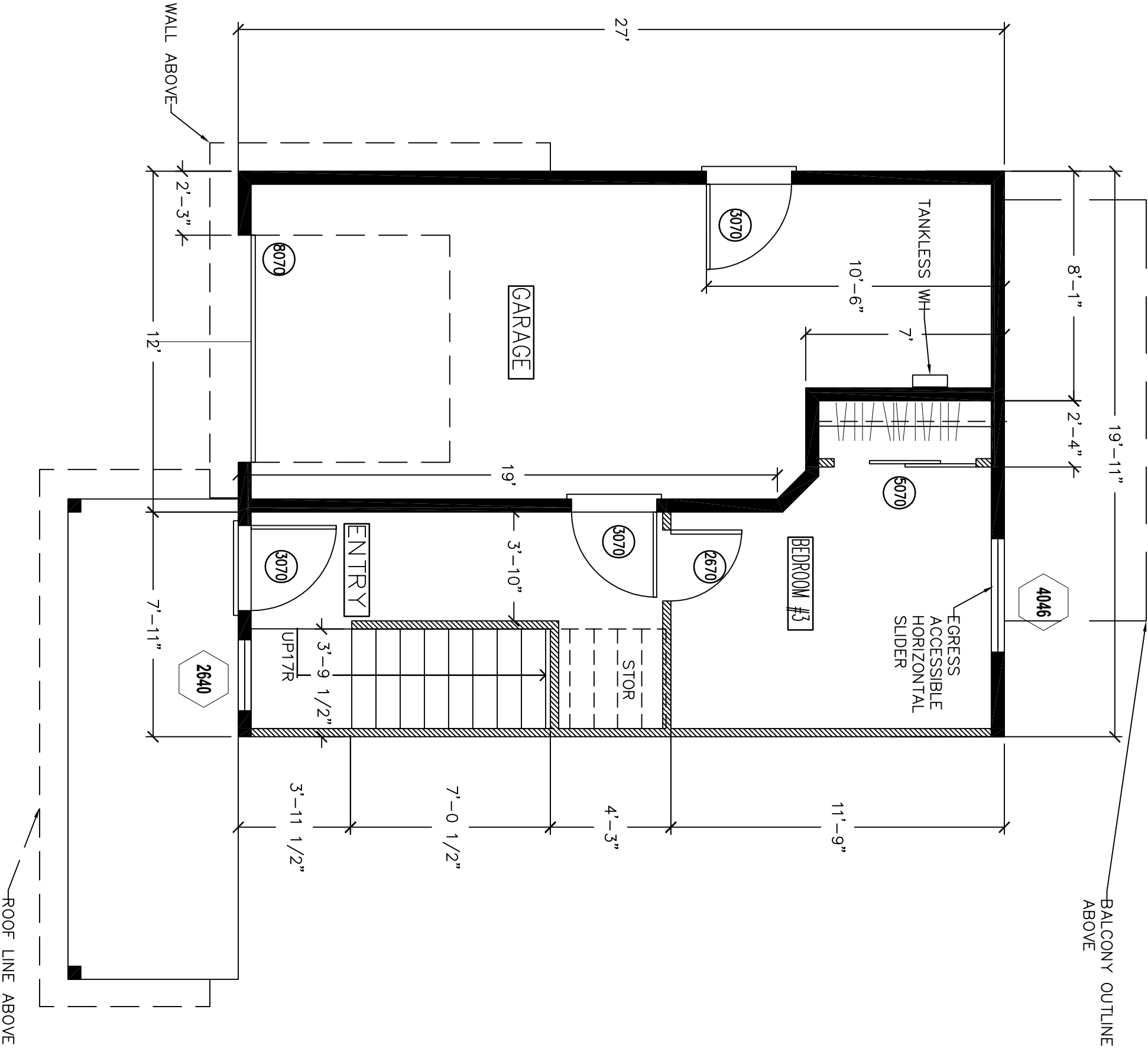
DAS Homes Inc.
RESIDENTIAL DEVELOPEMENT

Woodland, CA 95695



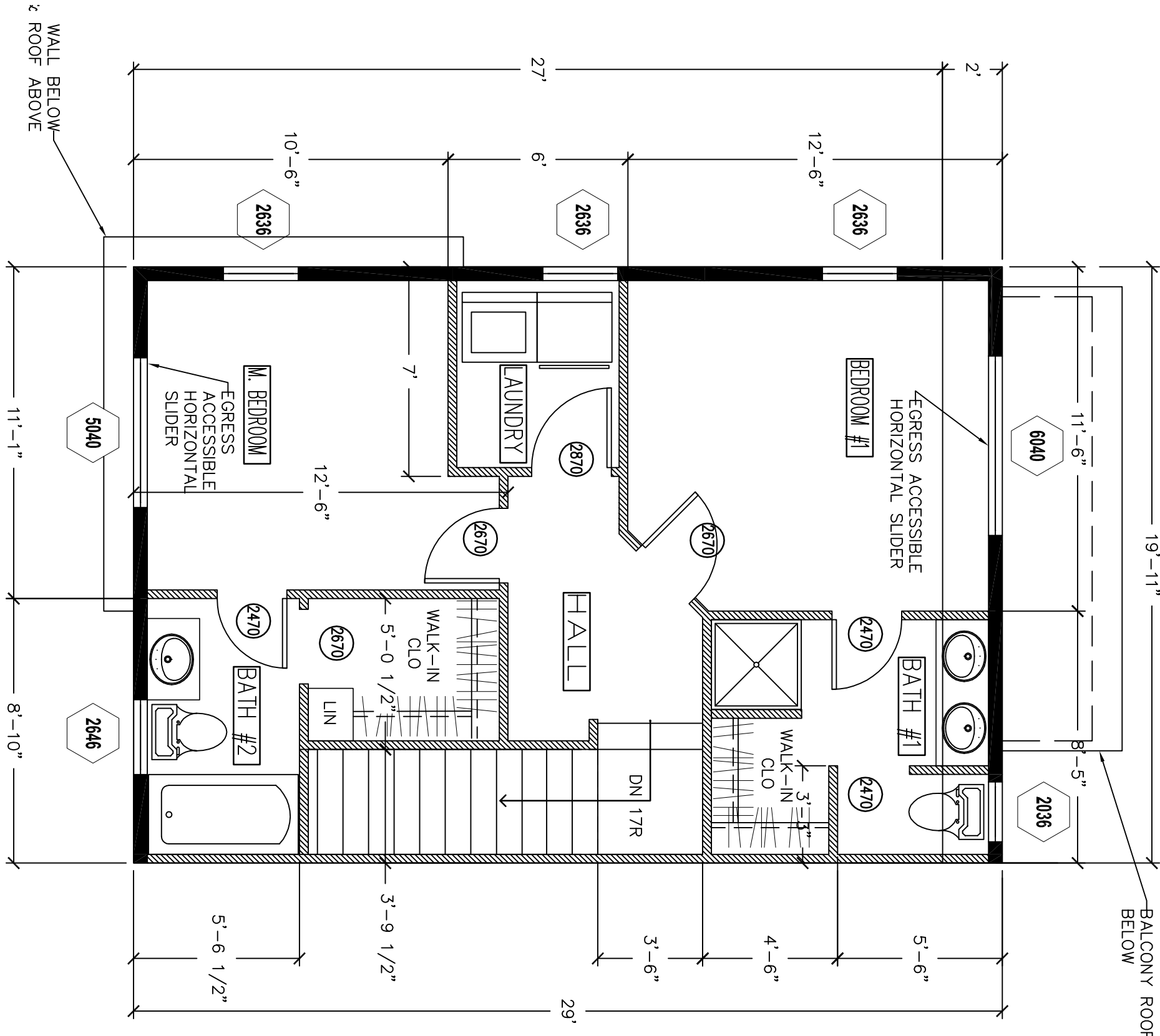
FIRST FLOOR PLAN THREE BEDROOM OPTION B

SCALE: 1/4" = 1'-0"
8' CEILING HT.
298 LIVING SF
239 GARAGE SF
538 SF TOTAL



FIRST FLOOR PLAN THREE BEDROOM

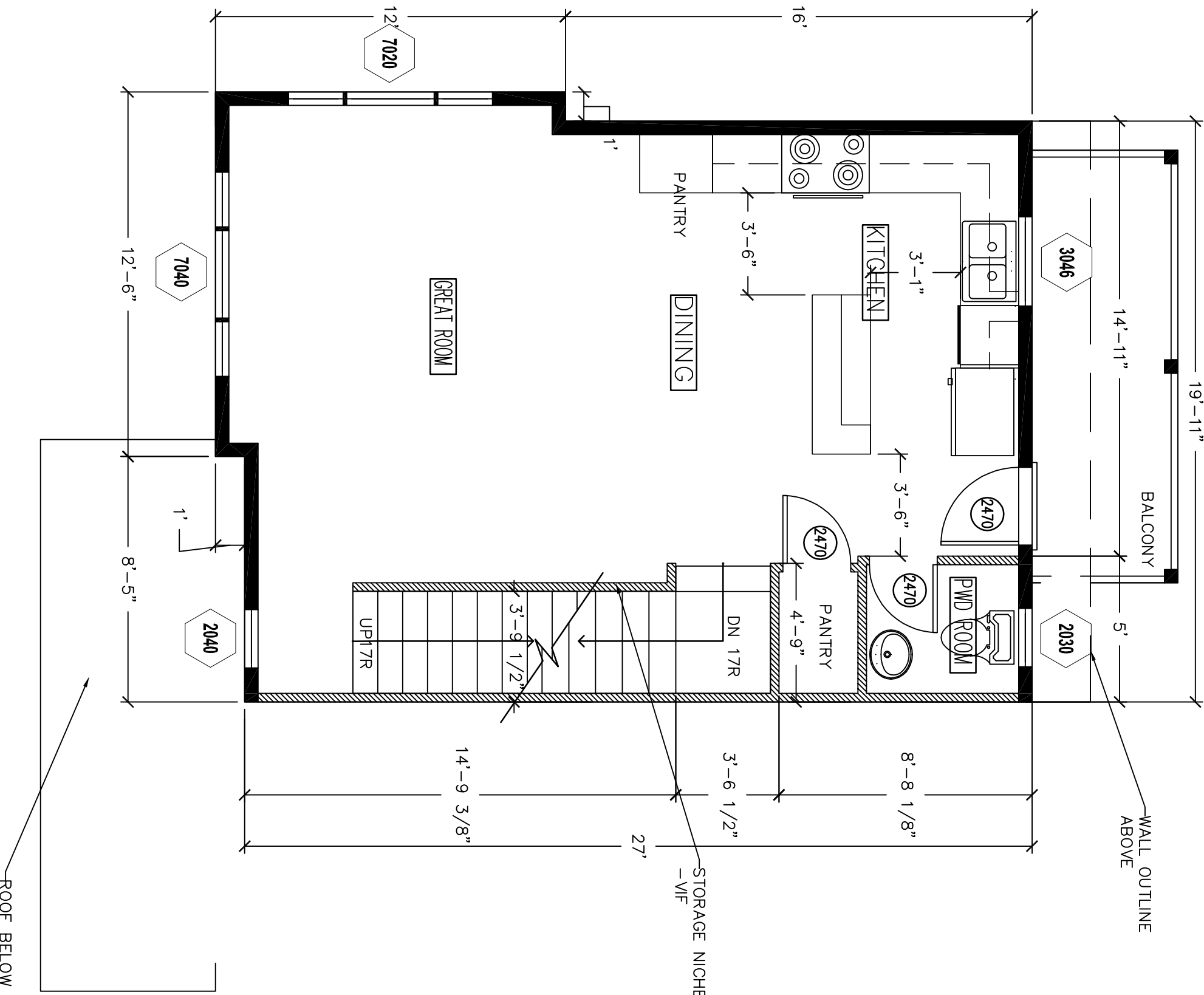
SCALE: 1/4" = 1'-0"
8' CEILING HT.
294 LIVING SF
284 GARAGE SF
538 SF TOTAL



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"
9' CEILING HT.
537.5 SF

AREA KEY	
STANDARD PLAN	= 1338 SF
OPTION B PLAN	= 1383.5 SF
BALCONY	= 76 SF
GARAGE STANDARD PLAN	= 284 SF
GARAGE OPTION B PLAN	= 239 SF



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
9' CEILING HT.
547 SF
76 BALCONY SF

WALL KEY	
	= 2x6 EXTERIOR WALLS
	= 2x4 INTERIOR WALLS
	= 2x6 INTERIOR WALLS

THREE BEDROOM FLOOR PLAN
DOWNTOWN SUITES
451 + 447 THIRD STREET
WOODLAND, CA.

DAS Homes Inc.

RESIDENTIAL DEVELOPEMENT

1310 West Street

Woodland, CA 95695

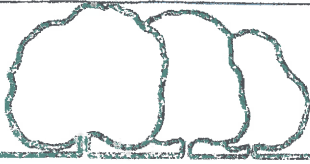
JOB	17-168
DATE	01/7/18
SCALE	AS NOTED
DRAWN BY	AK
APPR. BY	DSH
REVISIONS	DATE
	02/12/18







dd 2456 \$10K



City of Woodland

Community Development Department

300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER:

David Snow - SZ Downtown Partners

PROJECT APPLICANT

Same as Owner

MAILING ADDRESS:

1310 West Street

MAILING ADDRESS:

CITY STATE ZIP CODE:

Woodland, CA 95695

CITY STATE ZIP CODE:

PHONE NUMBER:

(916) 804-1357

PHONE NUMBER:

E-MAIL ADDRESS:

dave@dashomes.net

E-MAIL ADDRESS:

2. Application Requested

- | | | |
|---|--|---|
| ☐ General Plan Petition | ☐ Zoning Amendment | ☐ General Plan Amendment |
| ☒ Tentative Subdivision Map | ☐ Tentative Parcel Map | ☐ Lot Line Adjustment |
| ☒ Site Plan Review | ☒ Design Review | ☐ Sign Design Review |
| ☐ Conditional Use Permit (CUP) | ☐ Zoning Administrator Permit | ☐ Variance |
| ☐ Public Convenience or Necessity | ☐ Other _____ | |

Is this request part of another application? ☐ Yes ☐ No If so, what? _____

3. Project Description

Project Name:

Woodland Downtown Suites

Site address or location:

447 & 451 3rd Street

Total Acres or Square Feet

20,160 sf or 0.463 Acres

Assessor's Parcel Number:

006-571-01 & 012

Is Your Project Located in a Flood Zone?

☐ Yes

☒ No

Does this request include signage?

☐ Yes

☒ No

4. Justification for Request



On a separate sheet, explain in detail your request and why you believe your request is justified.

5. General Plan Amendment

Existing General Plan Designation
Downtown Mix Use (DX)

Gross Acres
0.463

Proposed General Plan Designation
Downtown Mix Use (DX)

Gross Acres
0.463

6. Zoning Amendment

Existing Land Use Zone
Central Business District (CBD)

Gross Acres
0.463

Proposed Land Use Zone
Duplex Zone (R-2)

Gross Acres
0.463

7. Residential Development

No. of residential units are being requested? 14

Single Family 2 Half-plex _____

Duplex 12 Apartments _____

Condominiums _____ Other _____

Townhomes _____ Total Units 14

No. of lots will be created by this project? _____

Do you intend to market the units for sale?

☒ YES ☐ No

Do you intend to market the units for rent?

☐ YES ☒ No

8. Commercial/Industrial Development

Indicate the type of commercial/industrial
development proposed:

N/A

Indicate the gross and leasable square footage for
each type of development:

9. Authority to File Application

Check one:

☒ Property Ownership ☐ Power of Attorney*

☐ Contract to Purchase* ☐ Other

Specify _____

* Attach Evidence of Authority

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

**APPLICATION WILL NOT BE ACCEPTED WITHOUT
SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT**

Applicant: _____

Date 1/2/15

Legal Owner: _____

Date _____

Legal Owner: _____

Date _____

DEPARTMENT USE ONLY

Amount Paid: _____

Project No: _____

Amount Due: _____

Logged by: _____ Date: _____

GP / Zoning Designation: _____

Planner: _____ Date: _____



December 28, 2017

**City of Woodland
Planning Department**
300 First Street
Woodland, CA 95695

RE: Statement of Justification for Woodland Downtown Suites, APNs 06-571-11 & 12

Dear Planning Department:

This letter is to provide a Statement of Justification for our proposed ¹⁴~~12~~-Lot Residential Subdivision pursuant to your Tentative Map application requirements.

Project Description:

The project consists of a 14-Lot Residential Subdivision located on the northeast corner of 3rd Street and Lincoln Street in downtown Woodland. The existing vacant 5,000 sf commercial building and parking lot will be demolished. The 14 residential units shall consist of two models, one a 1,140 sf two-bedroom unit and the other a 1,350 sf three-bedroom unit. The units shall be available for sale with a projected price range from \$295,000 to \$330,00. All utilities (sewer, water, storm drain, power, phone, cable & gas) are existing and available to serve this proposed development.

Justification for Approval:

This is an in-fill project near downtown that will provide work-force housing to the City. It shall provide attractive craftsman style homes with street side landscaping to continue improving the overall look in the downtown area and conform to the recently adopted Downtown Design Standards. Due to the close proximity to the Downtown, this project will help stimulate economic growth to the downtown businesses. In addition, the project reduces the amount of overall impervious area over the existing commercial building & parking lot by 7.1% (1,447 sf), which will lessen the impact to the storm water quality and downstream facilities.

If you have any questions or need additional information regarding our application, please don't hesitate to call me.

Very truly yours,

NELSON ENGINEERING

Kevin J. Nelson, PE, PLS
Principal Engineer/Surveyor



TO: MEMBERS OF THE PLANNING COMMISSION
DATE: March 1, 2018
ITEM #: 2.
SUBJECT: Mobilitie Small Cell Co-location Sites

Recommendation for Action:

- 1) Receive the staff report;
- 2) Conduct the public hearing;
- 3) Adopt Resolution No. PC18- _____ recommending City Council approval of the Conditional Use Permit allowing Mobilitie to construct and operate two small cell colocation telecommunications facilities and the installation of related equipment collocated on two separate City of Woodland light poles within the public right-of-way. Site One: located on the north side of West Cross Street just east of Community Lane (Lat-Long 38.67223300, -121.79109100) APN 065-300-009; Site two: located on Lincoln Avenue, near the intersection of Summertree Lane (Lat-Long 38.676177, -121.789697) APN 065-280-039.

Staff Contact:

Megan Meier, Associate Planner, (530) 661-5814, megan.meier@cityofwoodland.org

Report in Brief:

Project Location and Description - Project applicant, Mobilitie LLC., submitted Planning Application (PLNG 18 -00011) requesting a Conditional Use Permit to allow the construction and operation of two small cell co-location telecommunications facilities and the installation of related equipment. The proposed telecommunications facility will be collocated on two separate City of Woodland light poles within the public right-of-way.

Location:

Site One: located on the north side of West Cross Street just east of Community Lane (Lat-Long 38.67223300, -121.79109100) APN 065-300-009 (See Exhibit B Project Site Plan/Elevations)

Site two: located on Lincoln Avenue, near the intersection of Summertree Lane (Lat-Long 38.676177, -121.789697) APN 065-280-039 (See Exhibit B Project Site Plan/Elevations)

Adjacent Land Uses & Zoning:

Site One: located on the north side of West Cross just east of Community Lane

<u>DIRECTION</u>	<u>LAND USE</u>	<u>ZONING</u>
North	Multifamily Residential	R-M
South	Athletic Club	R-M
East	Multifamily Residential	R-M
West	Post-Acute Rehab	R-M

Site two: located on Lincoln Avenue, near the intersection of Summertree Lane

<u>DIRECTION</u>	<u>LAND USE</u>	<u>ZONING</u>
North	Car Wash	R-5, C-2
South	Multifamily Residential	N

East
West

Commercial Office
Multifamily Residential

Yolo
Yolo

Project Site Description

Site One:

The proposed colocation for site one will replace an existing 20-foot tall light pole located on the north side of West Cross Street just east of Community Lane (see Att. 1, Exhibit B, Site Plans/Elevations). The pole location is adjacent to multifamily residential. All equipment will be in the public right of way (PROW). The proposed telecommunications equipment shelter will be located east of the colocation light pole. Utilities will be run underground from the equipment shelter to the tower and from the shelter to an existing telephone pole and power pole.

Site Two:

Site two proposed colocation will also be replacing an existing 20-foot tall light pole located on Lincoln Avenue, near the intersection of Summertree Lane (see Att. 1, Exhibit B, Site Plans/Elevations). The pole location is within the public right of way directly adjacent to a self-service car wash. The proposed telecommunications equipment shelter will be located east of the proposed colocation facility.

Background:

The telecommunications industry is always evolving to meet the needs of its customers and environment in which it operates. Rather than locating antennas on large monopoles or lattice tower structures in and around the City, many providers are opting to supplement coverage with the use of “small cell” sites that can be collocated on existing street light poles, joint utility poles or on stoplights. The advantages to such a network can include better distribution and consistency of cellular coverage and signal strength throughout the community, with smaller scale and less powerful, but more frequently occurring equipment. The key challenge to such systems is to locate them within residential areas of the City while minimizing the aesthetic impacts both in the short and long-term. The industry is deploying smaller cell sites in the future to work in tandem with large cell towers to fill in gaps not fully covered by the towers and to start the infrastructure for the idea of a “Smart City;” potentially to meet the future requirements of 5G and the use of autonomous vehicles.

The siting of wireless facilities are subject to a mix of federal and state law. Historically, the most important federal law was the Telecommunications Act of 1996 (TCA). The TCA imposes substantive and procedural limitations on the City’s approval of wireless facilities. In recent years, the Federal Communications Commission (FCC) has imposed additional limitations on local control. In 2006, the Legislature enacted SB 1627 (Government Code section 65860.6). Section 65860.6 principally deals with co-locations and removes discretionary permit authority over some co-locations. Similarly, Public Utilities Code sections 7901 and 7901.1 entitle some telecommunications providers to install facilities within the public right-of-way subject to time, manner and place regulations. Excepting the public right-of-way, the above requirements generally do not apply to facilities located on City property. In those cases, the City retains the discretion to place restrictions on these facilities, including restricting or conditioning co-locations on City owned facilities within the PROW, such as conduit and street light poles. It should also be noted that pursuant to Federal Law, the City does not have the authority to render a decision against a telecommunication facility based on perceived health impacts, provided the proposed equipment is in conformance with RF emissions limits established by the FCC.

Discussion:

The applicant, Mobilitie, proposes to construct and operate two small cell colocation telecommunications facilities and the installation of related ground equipment in the City’s public right-of-way. Mobility is licensed by the California Public Utility Commission as a CLED (Competitive Local Exchange Carrier) to construct the network infrastructure. Mobilitie does not provide wireless services to customers directly, rather they lease infrastructure capacity to various wireless/cellular carriers who provide service to customers.

Site One is located in the PROW adjacent to multifamily housing, located on the north side of West Cross just east of Community Lane (Lat-Long 38.67223300, -121.79109100). The project consists of a proposed small cell site that includes removing the existing 20-foot gray cement light pole to be replaced with a 26-foot gray steel pole with a luminaire that projects up to a height of 28-feet. The 4-foot antenna will be attached to the top of the 26-foot pole for a total height of 30-feet. From the front of the light pole the antenna will visibly project a total of 2-feet above the luminaire. The new replacement pole will internally house all electrical conduit with three (3) external attachments and mandatory signage. The three attachments on the pole include the disconnect switch mounted 9-feet up, the radio head mounted 15-feet up, and the UE relay mounted at 17-feet up from the base of the light pole. (See Exhibit B Project Site Plan/Elevations)

Site Two is also located in the PROW on Lincoln Avenue, near the intersection of Summertree Lane (Lat-Long 38.676177, -121.789697). This project differs slightly from site one with the existing pole slated for removal measuring 28-feet in height to be replaced by a 28-foot tall steel pole with a luminaire that projects up to a height of 30-feet 9-inches. The 4-foot antenna will be attached to the top of the 26-foot pole for a total height of 32-feet. Site two replacement pole will have the same three externally attached equipment and internal conduit outlined in the site one description, above. (See Exhibit B Project Site Plan/Elevations)

Both sites will also have associated infrastructure requiring a bore pit to be attached to an underground vault. Additionally, two options are being looked at for the antennas potential power source. The applicants proposal and subsequent discussion with staff initially proposed a separate pedestal meter with landscaping for PG&E metering, however the applicant recently presented a newer technology that would allow the metering to be performed remotely by adding a sensor on the outside of the antenna with a smooth shroud placed over the antenna and sensor. The resulting colocation is not substantially larger in size than the original antenna-only design with the shroud measuring approximately 1-foot taller making the total height of Site One at 31-feet tall and Site Two at 33-feet tall with the diameter changing from 4.7 inches to approximately 10.75 inches. This option potentially reduces the visual impact of the pedestal from the pedestrian level. Staff is recommending the use of this new technology option that includes a remote censor and additional shroud over the antenna, and a condition of approval has been added to the resolution that requires the applicant to work with Public Works to verify the use of this technology for each site. If Public Works finds that the use of this new technology is not compatible with the site or other Public Works requirements the build out will revert back to the ground mounted pedestal design with added landscape to provide screening around the equipment(see Attachment 2 – Example Photos and Elevation Small Cell with Censor/Shroud).

The applicant has provided photo simulations of the small cell colocation light pole without the shroud and example photos with the remote sensor and shroud. The photo simulations depict the colocation at the two proposed sites without the added sensor and shroud. The color images show a recent installation in Chico of a colocation light pole with the added sensor and shroud to aid in visualizing the change in view upon implementation of the proposed project (see Attachment 2 - Photo Simulations).

Public notice advertising for the public hearing on this project was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Woodland's Municipal Code and State Planning Law. Two methods of public notice were used:

- Legal notice was published in the Woodland Daily Democrat on February 17, 2018.
- Notices were mailed to all property owners within 300 feet of the two project site on Tuesday, February 20, 2018.

Copies of the staff report for the proposed project have been on file at City Hall since February 23, 2018.

Applicable Laws, Codes & Ordinances

The project is subject to the following laws, codes, and ordinances:

- The California Environmental Quality Act (CEQA)
- The City of Woodland General Plan

- The City of Woodland Zoning Ordinance

Environmental Assessment Status

The proposed Conditional Use Permit qualifies for CEQA, Article 19, Section 15302 Class 2 (Replacement or Reconstruction) and Class 3 (New Construction or Conversion of Small Structures) Categorical Exemptions as the project consists of replacing an existing structure with a new structure in the same location and will involve negligible expansion of capacity, with only minor exterior modifications to the structure. The proposed small cell colocation facility will replace an existing light pole, and if implemented the equipment shelter is not more than 100 square feet in size and shall be located directly adjacent to the small cell site.

Reviewing Agency Comments

The project has been circulated to other City divisions and departments for review. All reviewing comments have been integrated into the conditions of approval.

Discussion

The Planning Commission's consideration of the Conditional Use Permit (CUP) is governed by both the City's local zoning regulations and the Federal Telecommunications Act (47 USCS § 332). Under the City's local regulations, in order to approve the CUP, the project must be consistent with the General Plan and Zoning for the site and comply with the development standards for wireless telecommunication facilities set forth in the Wireless Communication Facilities Ordinance, and the Commission must make the findings required for a Conditional Use Permit per Article 27 of the Woodland Zoning Ordinance.

The Federal Telecommunications Act limits the Commission's consideration of the project under these local standards in two significant ways. First, the federal law prohibits the City from either conditioning or denying the project based on concerns stemming from the environmental effects of radio frequency emissions ("RF") if the proposed facility complies with federal RF standards. Secondly, the federal law prohibits the City from denying the project if (a) the facility is necessary to fill a significant service gap in the applicant's wireless network and (b) the facility is the least intrusive means of filling the service gap. The applicant has provided information on both items, 1) a RF Compliance report and 2) Service Coverage Maps, indicating the proposed project complies with federal RF standards and is necessary to fill a significant gap. (See Attachment 3 – Radio Frequency – Electromagnetic Energy Compliance Report) and (See Attachment 4 – Service Coverage Maps).

STAFF ANALYSIS

PUC §§ 7901 and 7901.1 –Public Utilities Code sections 7901 and 7901.1. Section 7901 gives particular CPUC-regulated entities the right to construct facilities in the public right of way (specifically, public roads, highways, and waterways), subject to local time, place, and manner control under Section 7901.1. Time, place, and manner control, similar to the "least intrusive means analysis" under the TCA, allows the City to consider how its public rights-of-way are accessed. Specifically, the Planning Commission may consider:

- visual and aesthetic impacts of each proposed Wireless Telecommunications Facility site and whether the proposals are compatible with neighborhoods (including proliferation of such facilities in the public rights of way);
- whether a particular site would "incommode the public use" of roads and highways; and
- whether there are alternative sites within the public right of way that would be less aesthetically intrusive.

Staff supports this project subject to the recommended conditions of approval and provides the following analysis:

Telecommunications facilities are public utilities, which provide communications systems to meet the needs of residents and businesses in Woodland. The proposed facility would improve coverage, and in addition to meeting the needs of residents and businesses, would benefit public safety response to health and safety concerns. The applicant has worked with staff to provide the latest technology to streamline the look and minimize the size of the colocation small cell facility.

GENERAL PLAN/ZONING CONSISTENCY

The General Plan (GP) designation and zoning designation for the site one is Medium Density Residential (MD). The General Plan (GP) designation for the site two is Community Commercial (CC) with a zoning designation of General Commercial (C-2). The proposed project is consistent with the intent of the General Plan and Zoning Ordinance.

Conclusion:

Staff recommends approval of the project by making an affirmative motion as follows:

Approve Resolution No. PC18-_____ recommending City Council approval of the Conditional Use Permit allowing Mobilitie to construct and operate two small cell colocation telecommunications facilities and the installation of related equipment collocated on two separate City of Woodland light poles within the public right-of-way. Site One: located on the north side of West Cross just east of Community Lane Site two: located on Lincoln Avenue, near the intersection of Summertree Lane.

Prepared By: Megan Meier, Associate Planner

Reviewed By: Cindy Norris, Principal Planner

ATTACHMENTS:

Description	Upload Date	Type
Attachment 1: Planning Commission Resolution and Conditions of Approval	2/23/2018	Cover Memo
Attachment 1: Exhibit B - Site Plan Elevations	2/23/2018	Cover Memo
Attachment 2: Application, Photo Simulations, Example Photos	2/23/2018	Backup Material
Attachment 3: Radio Frequency – Electromagnetic Compliance Report	2/23/2018	Backup Material
Attachment 4: Service Coverage Maps	2/23/2018	Backup Material

RESOLUTION NO. PC 18 - ____

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WOODLAND RECOMMENDING TO THE CITY COUNCIL
APPROVAL OF A CONDITIONAL USE PERMIT APPROVING THE
CONSTRUCTION AND OPERATION OF TWO SMALL CELL
COLOCATION TELECOMMUNICATIONS FACILITIES LOCATED
ON CITY OF WOODLAND LIGHT POLES WITHIN THE PUBLIC
RIGHT-OF-WAY. LOCATED AT APNs 065-300-009 (LAT-LONG
38.67223300, -121.79109100) AND APN 065-280-039 LOCATED AT (LAT-
LONG 38.676177,-121.789697)**

WHEREAS, the Woodland Planning Commission held a duly noticed public hearing on February 1, 2018, to review and consider recommending to the City Council approval of a Conditional Use Permit to allow the construction and operation of two small cell colocation facilities on City light poles located at in the public right-of-way: (1) Site One: located on the north side of West Cross just east of Community Lane APN 065-300-009 (Lat-Long 38.67223300, -121.79109100) and (2) Site two: located on Lincoln Avenue, near the intersection of Summertree Lane APN 065-280-039 (Lat-Long 38.676177, -121.789697) ; and

WHEREAS, the proposed project conforms to the City of Woodland General Plan and Zoning Ordinance, in that the use is conditionally permitted in the RM and C-2 Zone, is consistent with the zoning and general plan, and appropriate conditions have been made part of the approval; and

WHEREAS, the site for the intended use is adequate in size, shape, topography, accessibility, and other physical characteristics to accommodate the use and required provisions of the Zoning Ordinance and satisfies all minimum physical standards required under the City's Zoning Ordinance for wireless facilities; and

WHEREAS, the design and appearance of the telecommunications facility is consistent or compatible with the development and design of the surrounding structures and neighborhood; and

WHEREAS, the proposed use will be organized, designed, constructed, operated, and maintained so as to be compatible with the character of the area as intended in the General Plan; and

WHEREAS, adequate streets and highways exist to carry the type and quantity of traffic anticipated to accommodate access for maintenance and/or service vehicles; and

WHEREAS, the proposed use will not constitute a nuisance or be detrimental to the public welfare of the community, in that the intensity of the use is modest and designed at the minimum functional height required, and the use would be consistent with existing and permitted

uses in the area; all conditions and requirements deemed necessary and in the public interest have been or will be met as they have been imposed on the application approval to reduce the impact of the use on adjacent properties and vicinity; and there are no significant privacy, noise, traffic, or parking concerns raised by the use; and

WHEREAS, pursuant to the California Environmental Quality Act (“CEQA”) Section _____, the proposed Conditional Use Permit qualifies for CEQA Class 2 (Replacement or Reconstruction) and Class 3 (New Construction or Conversion of Small Structures) Categorical Exemptions as the project consists of replacing an existing structure with a new structure in the same location and will involve negligible expansion, with only minor exterior modifications to the structure. The proposed colocation facility will replace an existing light pole, and the equipment shelter is not more than 300 square feet in size and shall be located directly adjacent to the existing soccer field; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Woodland, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, hereby:

1. Finds that the proposed project meets all minimum physical standards for a wireless facility, as provided for in the City’s Zoning Code.
2. Finds that the proposed 30-foot and 32-foot tall telecommunication cellular towers are the minimum height necessary to meet the technical requirements of the facility.
3. Recommends City Council approval of the Conditional Use Permit (CUP) allowing the applicant, Mobilitie, to construct and operate a 30-foot and 32-foot colocation facility and if needed install related ground equipment at two separate sites within the City of Woodland. The project Conditions of Approval are attached hereto as Exhibit A and incorporated by this reference. The approved site plans and elevations are attached hereto as Exhibit B and incorporated by this reference.

PASSED AND ADOPTED by the Planning Commission of the City of Woodland at a regular meeting on the 1st day of March 2018, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Marco Lizarraga, Chairperson

ATTEST:

Cindy Norris, Planning Commission Secretary

EXHIBIT A

CONDITIONS OF APPROVAL

PLANNING

1. The approved project is as described in the staff report and exhibits for the March 20th City Council meeting to allow the construction and operation of a 30-foot tall and a 32-foot tall small cell colocation facility on two separate City light poles and if needed the installation of related ground equipment. Site one located at (Lat-Long 38.67223300, -121.79109100) and site two located at (Lat-Long 38.676177, -121.789697)
2. The project shall be constructed as depicted on the attached elevations (Exhibit B).
3. The applicant shall defend, indemnify, and hold harmless the City of Woodland, its agents, officers or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the subject application by the City, its legislative body, advisory agencies or administrative officers. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either, at the City's discretion, undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City Attorney.
4. The applicant shall secure approval and satisfy requirements of all agencies that have jurisdiction.
5. Final Plan Set: Prior to the issuance of building permits, the applicant shall include a Final plan set, with all conditions of approval incorporated or clearly listed on the plans. The conditions shall be printed on a full-size plan sheet(s).
6. The CUP must be exercised within one year of issuance, or it shall be null and void without further action; except that the Community Development Director may extend the approval of a CUP for one (1) additional year, with the same conditions of approval, if circumstances have not changed. The request in writing must be received prior to the expiration of the use permit.
7. Applicant shall work with the Public Works Divisions to finalize the design and installation of all mechanical equipment.
8. Applicant shall install the replacement light pole in compliance with all Public Works requirements at the direction of the Public Works Director.
9. Any replacement and/or upgrade of the antennae and associated equipment shall be consistent with the Zoning Ordinance.
10. No signs, other than warning, FAA structure identification, and safety signage, shall be located on the tower or ancillary facility.

11. Forty-five (45) days from the initiation of service, the applicant shall provide the City certification by an RF engineer, stating the RFR measurements meet the FCC Radiofrequency (RF) Radiation Standards.
12. Within three days of the City Council hearing, the applicant shall provide the Community Development Department with a check for the sum of \$25 made payable to Yolo County for recording the environmental document with the County.
13. If the operation of this use results in conflicts with the General Plan or Zoning Ordinance pertaining to appearance, exterior noise, or other factors that detract from the normal land use associated with the zoning designation and at the discretion of the Director of Community Development, this conditional use permit may be submitted to the Planning Commission for their subsequent review at a public hearing. If necessary, the Planning Commission may modify or add conditions of approval to mitigate such impacts, or may revoke the said conditional use permit approval.

DEVELOPMENT ENGINEERING DIVISION

14. Prior to construction, applicant shall obtain an encroachment permit from the City for any work within the right-of-way. Applicant shall be responsible for all encroachment permit fees including; plan check, traffic control, inspection of improvements, and inspections of existing facilities and repair of same. All repairs shall be done by a qualified licensed contractor subject to the approval of the City.
15. The light standard is property of the City and shall be removed, salvaged, and returned to the City. Not less than 10 Calendar days prior to start of construction applicant shall contact the inspector and the Public Works Department to determine location of delivery of the light standard.
16. A minimum of 10 calendar days prior to start of construction applicant shall contact the City Inspector and the City Community Services Department. Unless otherwise approved in writing construction time shall be limited to M-F from 7 am – 3 pm.
17. Applicant shall submit insurance naming the City additionally insured. Additionally, as determined by the City Engineer, applicant may be required to post security and enter into an agreement for improvement of the site.
18. Applicant shall maintain a safe and secure job site at all times and shall provide a 24 hour emergency contact to the City prior to start of construction.

BUILDING

19. This project must meet all criteria and mandates for these City adopted codes or the most current code:

- 2016 California Building Code
 - 2016 California Plumbing Code
 - 2016 California Mechanical Code
 - 2063 California Electrical Code
 - 2016 Building Energy Efficiency Standards
 - The Code of the City of Woodland
20. Other City and County Agencies (Health, Fire, Public Works, and Planning) may be required to approve the project prior to a building permit being issued.
 21. Any deferred submittals that are not a part of the initial permit application must be listed on the cover sheet of the plan at the time of application for the project.
 22. All plans, computations and specifications to be prepared and designed by an architect or engineer licensed by the state of California.
 23. A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the buildings.
 24. Applicant to submit for review a geotechnical soils report with construction documents.

PUBLIC WORKS

25. Upon approval of the Conditional Use Permit, prior to installation of any facility or related equipment, will be approved by Public Works and shall be incorporated into the final plans approval.
26. The applicant shall provide a 24 hour service hotline for all maintenance on small cell equipment and light pole
27. The applicant shall provide a replacement pole to be stored at the Public Works maintenance yard for emergency pole replacement
28. The applicant shall provide an independent energy source for all small cell equipment.

POLICE

29. In coordination and upon request by either or both Police Department and Fire Departments, a frequency/modulation study shall be prepared. Service shall not be initiated until the departments have reviewed and found the study to be acceptable.
30. If it is found that the project causes or will cause interference with Public Safety communications, then the service provider(s) shall be solely responsible for the removal, adjustment, or replacement of the facilities.

PG&E

31. The relocation of any existing PG&E facilities shall be done at the applicant's sole cost and expense. The applicant shall contact USA at (800) 227-2600 to locate existing facilities prior to digging.

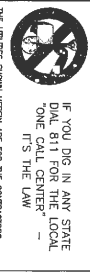
EXHIBIT B
(Site Plan/ Elevations & Mechanical)

inteligent infrastructure
SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER:
9CAB014159C/SF90XSGCIC

LATITUDE/LONGITUDE:
38.67223300/-121.79109100

CROSS STREET:
W. CROSS ST. & SUMMERTREE LN.
CITY, STATE, ZIP:
WOODLAND, CA 95695

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED



THE UNDERTAKER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE UNDERTAKER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE UNDERTAKER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OF EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE. PORTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL STORAGE IS (N).

SITE INFORMATION

SITE ID:	9CAB014159C
CASCADE ID:	SF90XSGCIC
LATITUDE:	38.67223300
LONGITUDE:	-121.79109100
CROSS STREET:	W. CROSS ST. & SUMMERTREE LN.
CITY, STATE, ZIP:	WOODLAND, CA 95695
COUNTY:	YOLCO COUNTY
JURISDICTION:	CITY OF WOODLAND
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MOBILITE LLC 1575 N. BAYVIEW ST. SUITE 10 ORANGE, CA 92667 CONTACT: DAVID GRIFFIN PHONE: (530) 906-1233 EMAIL: david.griffin@mobilitie.com
ENGINEER:	JOSE FRIAS 1575 N. BAYVIEW ST. SUITE 10 ORANGE, CA 92667 PROJECT NUMBER: 9CAB014159C

DO NOT SCALE DRAWINGS

CONTRACTORS SHALL VERIFY ALL PLANS. (E) DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

VICINITY MAP



PROJECT DESCRIPTION

END USER REQUESTS TO INSTALL EQUIPMENT ON A CASCADED COMPLETE LIGHT POLE WITHIN AN EXISTING RIGHT-OF-WAY. THE SCOPE WILL CONSIST OF THE FOLLOWING:
- INSTALL PROPOSED BACKHAUL TRANSPORT EQUIPMENT ON REPLACEMENT STREETLIGHT POLE.
- CONTRACTOR SHALL INSTALL NEW STEEL STREETLIGHT POLE AND HANDRAIL.

CODES

2015 INTERNATIONAL BUILDING CODE GENERAL ORDER 95
2014 NATIONAL ELECTRICAL CODE GENERAL ORDER 96
TIA/EIA-222-C-2 OR LATEST EDITION
LOCAL BUILDING/PLANNING CODE

DRAWING INDEX

SHEET NO:	TITLE
T-1	GENERAL NOTES
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
SP-1	EXHIBIT PHOTO & SITE PLAN
SP-2	OVERALL SITE PLAN
EV-1	ELEVATIONS
EV-2	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EQ-1	EQUIPMENT DETAILS
EQ-2	POLE DETAILS
EQ-3	LUMINAIRE ARM SPECS
EX-1	TRENCH DETAILS
E-1	ELECTRICAL
G-1	GROUNDING
TC-1	VEHICLE TRAFFIC CONTROL PLAN



PROJECT NO:	SF90XSGCIC
DRAWN BY:	LA
CHECKED BY:	JF

DATE:	09/20/21	CLIENT COMMENTS:
DATE:	09/20/21	CONSTRUCTION MARKING:

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS THEY ARE AN ENGINEER OR ARCHITECT TO ALTER THIS DOCUMENT.

NOT FOR CONSTRUCTION

SF90XSGCIC
WOODLAND, CA 95695
(M) STEEL LIGHT POLE

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST MOBILE CONSTRUCTION STANDARDS. THE SPECIFICATION, THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILE CM PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE (N) WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND ALL INFORMATION RELAYED TO THEM BY THE ARCHITECT/ENGINEER OR MOBILE CM PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY/ALL ITEMS FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM SUBJECT ONLY TO THE FIELD CONDITIONS AND ITEMS SHOWN ON THE DRAWINGS.
3. CONTRACTOR SHALL PROVIDE ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
4. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A GUIDELINE ONLY. UNLESS OTHERWISE NOTED, THE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST MOBILE CONSTRUCTION STANDARDS NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED AND CONTRACTOR INSTALLED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:
 - A) TRANSMITTER
 - B) UHF ANTENNA AND MOUNTING BRACKETS, GPS ANTENNAS AND KU ANTENNAS
 - C) UHF COAX AND HANGERS
 - D) INTEGRATED LOAD CENTER
5. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, (E) CONDITIONS AND/OR DISCREPANCIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE MOBILE CM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
6. DETAILS REQUIRED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MATERIALS AND METHODS FOR THE CONSTRUCTION OF THE WORK SHALL BE SPECIFIED BY THE CONTRACT DOCUMENTS AND SHALL BE INCLUDED AS PART OF THE WORK.
7. CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING REQUIRED TO OBTAIN SUBMITTALS PRIOR TO OBTAINING MATERIALS AND THE COMMENCEMENT OF WORK.
8. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
9. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
10. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY-STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SCHEDULING OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES.
12. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES.
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15. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
16. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (E) SURFACES, CONDITIONS, ANY DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
17. IN DRILLING HOLES, OR CORING, INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RINGS, PIPE RINGS, ETC., MUST BE CLEANLY UNDERSTOOD THAT REINFORCING

STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (E) CONCRETE.

1. CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (E) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
2. CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR OTHER FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
3. CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN A CLEAN, ORDERLY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
4. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
5. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION CONTROL. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL REGULATORY AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
6. ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANT'S INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
7. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING CODE AND BY THE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE CODE OF REGULATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL REGULATORY AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
8. ADVERTISE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
9. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS AND CORROSION FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST MOBILE CONSTRUCTION STANDARDS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL REPORT TO THE MOBILE CM AS SOON AS POSSIBLE. AFTER THE DISCOVERY OF THE PROBLEM, THE MOBILE CM SHALL BE RESPONSIBLE FOR THE WORK. UNTIL THE MOBILE CM HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIP., ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE SUBMITTING RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, ALL CODES AND ORDINANCES OF THE LOCAL JURISDICTION, AND POWER & TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT ARE NOT BE LIMITED TO:

- A) UL - UNDERWRITERS LABORATORIES
- B) NEC - NATIONAL ELECTRICAL CODE
- C) NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
- D) OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
- E) SEC - STANDARD BUILDING CODE
- F) NFPA - NATIONAL FIRE PROTECTION AGENCY
- G) IEEE - AMERICAN NATIONAL STANDARDS INSTITUTE
- H) IEEE - INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
- I) ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS

4. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH MOBILE CM ANY SIZES AND LOCATIONS WHEN NEEDED.
5. CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRAYS, ETC., THAT SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILE CM, PRIOR TO BEGINNING ANY WORK.
7. MINIMUM WIRE SIZE SHALL BE #12 AWG. NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THIN INSULATION, UNLESS OTHERWISE NOTED.
8. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH OTHER CLASSIFIED AREAS.
9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
10. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.

ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES.

12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.



1572 N. BAYVIEW ST. STE. 10
CHANDLER, AZ 84507

PROJECT NO: SPK03G0C

DRAWN BY: LA

CHECKED BY: JF

1 02/20/17 CLIENT COMMENTS

0 02/09/17 CONSTRUCTION DRAWING

IF IT IS A VIOLATION OF THE LAW FOR ANY REASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE MOBILE CM AND THE MOBILE CM'S EMPLOYEES.

NOT FOR CONSTRUCTION

SPK03G0C

WOODLAND, CA 95695

(N) STEEL LIGHT POLE

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-1

8. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY, UNLESS OTHERWISE NOTED.

- [illegible]

CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUPTIONS AND WAVES.

19. (C) GRAVEL SURFACING MATERIAL MAY NOT BE REUSED.
20. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING. ALL MATERIALS NOT RESTORED ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND GRAVEL SURFACING SHALL BE COMPLETED TO THE CORRECT SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
21. PROTECT (E) GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING MATERIALS OR OTHER NECESSARY REPAIR ANY DAMAGE TO (E) GRAVEL SURFACING OR SUB GRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTORS OPERATIONS.
22. DAMAGE TO (E) STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/ OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACTOR.
23. ALL SURFACE BROWARD MATERIAL FROM BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID EXCESS 10%SD AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACTOR.

PROJECT NO:	SP90XSJGCH
DRAWN BY:	LA
CHECKED BY:	JF

1	09/20/17	CLIENT COMMENTS
0	09/09/17	CONSTRUCTION DRAWING

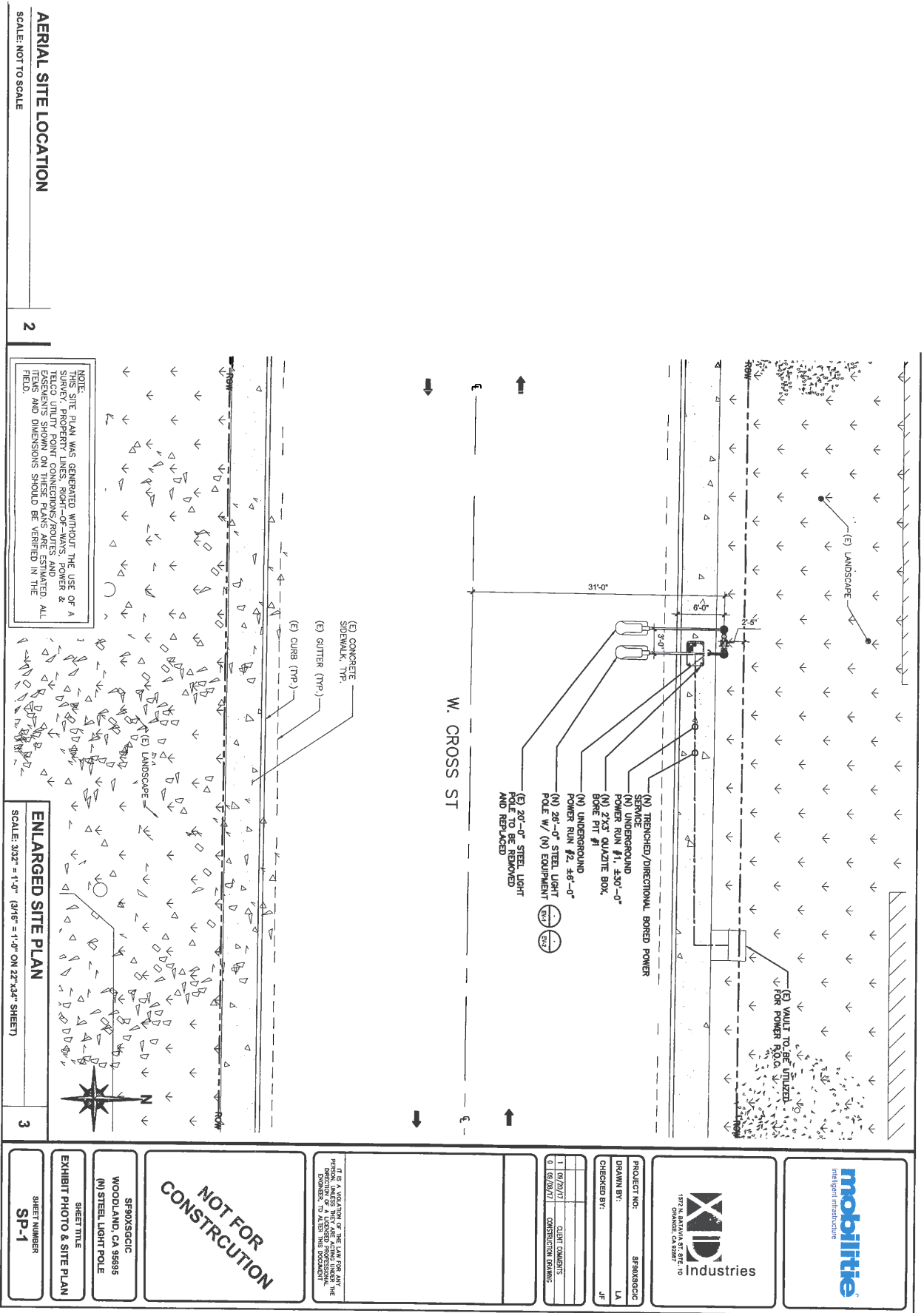
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

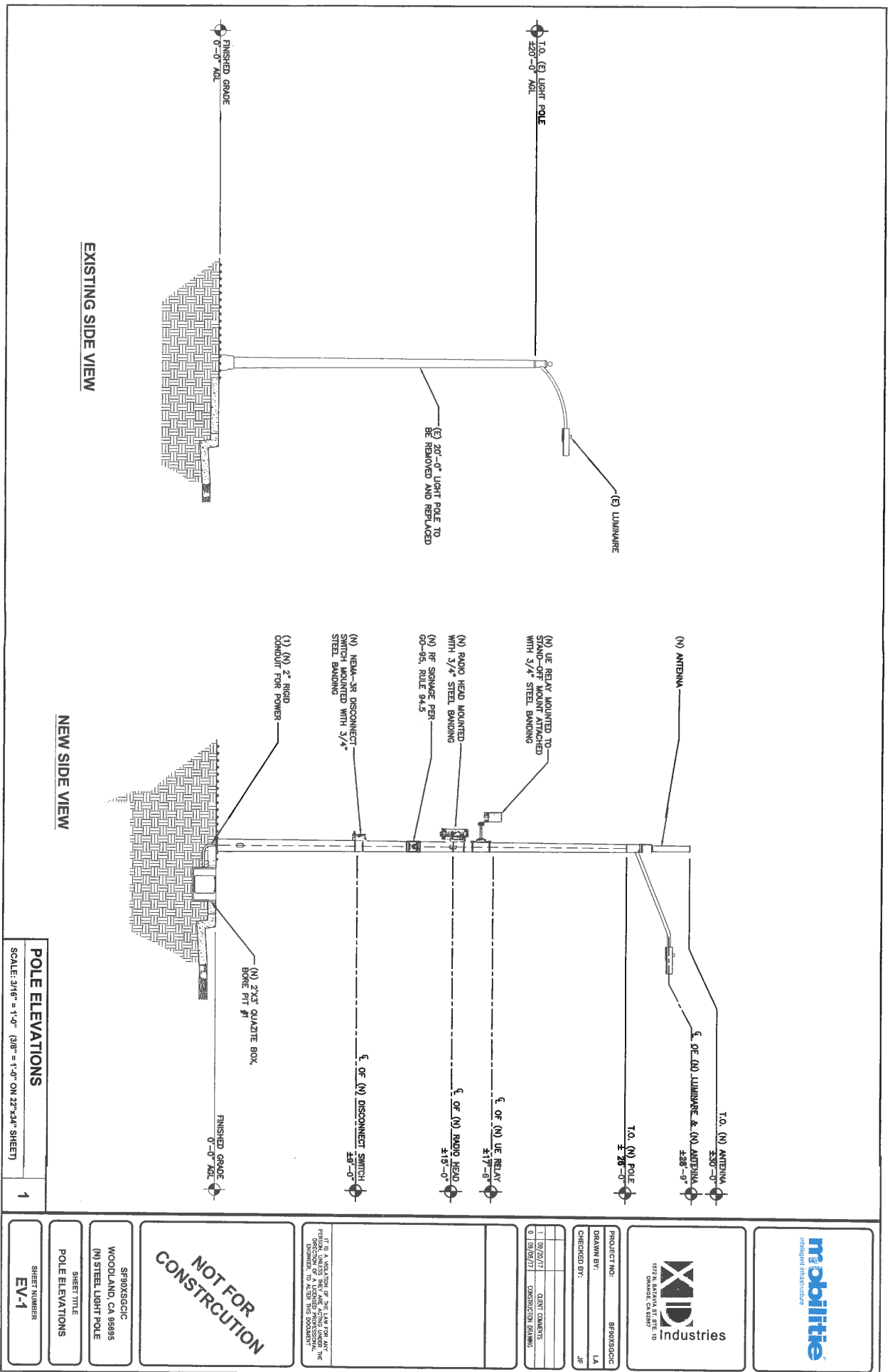
NOT FOR
CONSTRUCTION

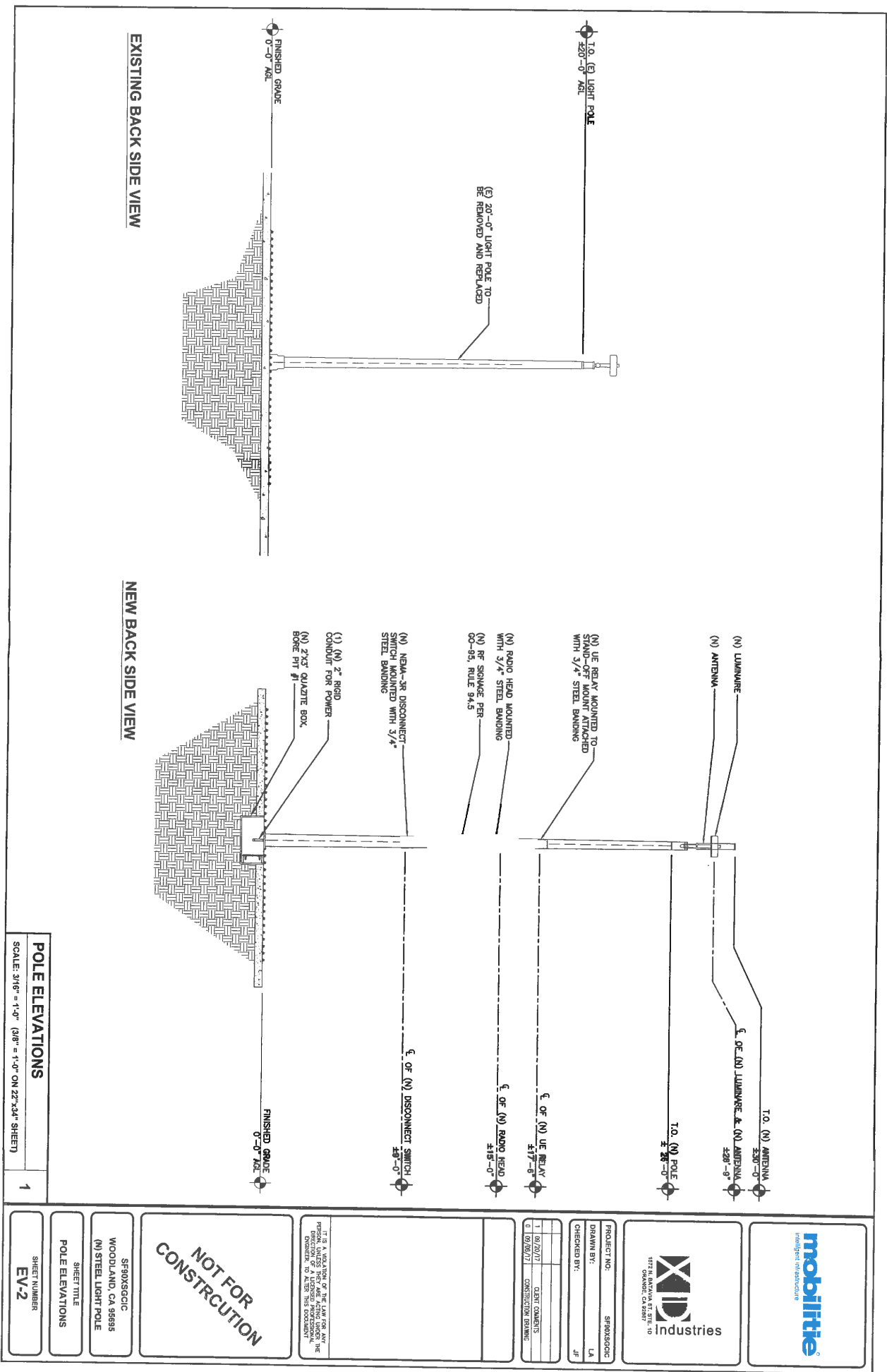
SF90XSGCIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3







POLE ELEVATIONS	
SCALE: 3/16" = 1'-0" (3/8" = 1'-0" ON 22"x34" SHEET)	1





1872 N. BAYVIEW ST. STE. 10
OAKLAND, CA 94612

PROJECT NO: SF90XSGCIC
DRAWN BY: LA
CHECKED BY: JF

1	8/20/17	CLIENT COMMENTS
2	10/06/17	CONSTRUCTION DRAWING

IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO REPRODUCE OR TRANSMIT THE CONTENTS OF A LICENSED PROFESSIONAL DRAWING, IN ANY MANNER, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. NO ACTION WILL BE TAKEN WITHOUT THIS DOCUMENT.

NOT FOR CONSTRUCTION

SF90XSGCIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

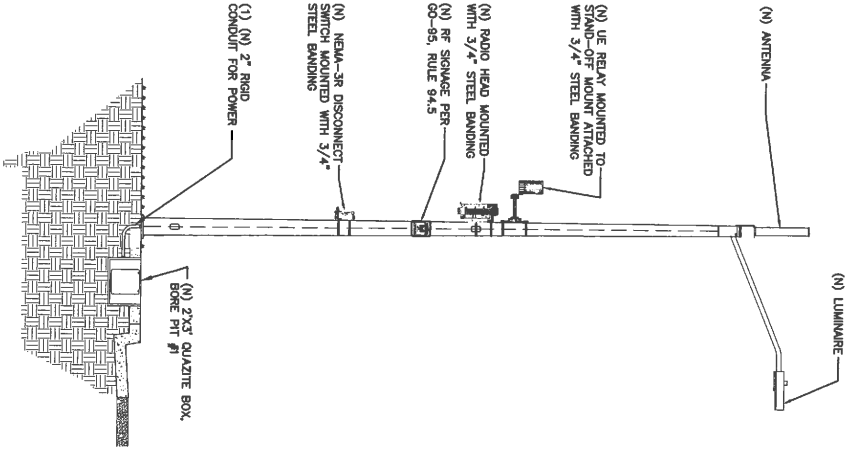
SHEET TITLE
POLE ELEVATIONS

SHEET NUMBER
EV-2

NOTE:
CABLEING DIAGRAM IS FOR CLARITY OF CABLE ROUTE AND TERMINATION LOCATIONS. SHALL INSTALL CABLES WITH MINIMAL VISUAL IMPACT ON (N) STEEL LIGHT POLE. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

CABLEING NOTES:

- WOOD, CONCRETE AND EXISTING METALLIC POLES
- FROM GRADE LINE TO 11'-0" ABOVE GRADE, ALL CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
- GROUNDING CONDUCTORS IN EXPOSED LOCATIONS MUST BE INSTALLED IN PVC
- IN EXPOSED LOCATIONS, CONDUIT FOR BACKHAUL AND ELECTRICAL SERVICE, TRANSITION TO RGS AT GRADE LINE.
- ABOVE 11'-0" ALL CABLES (POWER, ETHERNET, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
- ALL EXPOSED EQUIPMENT, EXPOSED UTILITY DUCT CABLES MUST BE PROTECTED BY THE EQUIPMENT. ALL CABLES IN THE UTILITY POLE RISER CREATING CABLE DRIP LOOPS NOT LESS THAN THE CABLE BENDING RADIUS.
- PROTECT THE UTILITY POLE RISER, UTILIZE 1/2" COAX AND MW POWER, RF COAX, AND ETHERNET CABLES TO WITHIN 12" OF THE EQUIPMENT BEING SERVED AND ON INTERVALS NOT TO EXCEED 6'.
- FOR UNDERGROUND (HFC/POLE), BACKHAUL, ROUTE ETHERNET CONDUIT TO THE EQUIPMENT AND ENTER THE UTILITY POLE RISER, SEAL EXPOSED END OF CONDUIT WITH A CABLE TERMINATION FITTING.
- BY APPROVAL, IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LMC) MAY BE USED IN EXPOSED LOCATIONS TO TEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX. EXAMPLE: UTILITY-REQUIRED DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON OPPOSITE SIDE OF POLE.
- DISCONNECT (N) POLES WITH SUITABLE HAND HOLES
- DISCONNECT (N) HAND HOLES EXIST AT ALL EQUIPMENT LOCATIONS.
- WITH CLIENT APPROVAL, IN SELECT CASES TO FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL CABLES MAY BE "SUPERLEAF" IN LIEU OF LDF-4.
- WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL SERVICE CONDUIT (IF UNDERGROUND) CIRCUIT ENTER THE POLE FROM THE TOP CASE. IF A DISCONNECTING MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY, WITH APPROVAL, IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LMC) CAN BE USED IN EXPOSED LOCATIONS TO TEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.



PLUMBING DIAGRAM

SCALE: 3/16" = 1'-0" (3/8" = 1'-0" ON 22"x34" SHEET)

1

BILL OF MATERIALS				
QUANTITY	DESCRIPTION	CABLE LENGTH	DIMENSIONS (HxWxD)	WEIGHT
1	ALPHA WIRELESS AW3477-SI-G OMNI DIRECTIONAL ANTENNA	TBD	29.5" x 4.7"	7 LBS
1	AIRSPAN IR460 UE RELAY	TBD	7" x 13"	8.8 LBS
1	AIRSPAN AH 4000 REMOTE RADIO HEAD	TBD	9.2" x 12.5" x 6.3"	124.7 LBS
1	SIEMENS ONE321R NEMA TYPE-3R DISCONNECT SWITCH	TBD	8.25" x 7.68" x 3.125"	24 LBS

BILL OF MATERIALS

SCALE: NOT TO SCALE

2



mobilitie
fiber-optic infrastructure

PROJECT NO: SF80XSGCIC
DRAWN BY: LA
CHECKED BY: JF

1. 09/20/12 CLIENT COMMENTS
2. 09/26/12 CONSTRUCTION DRAWING

IT IS A VIOLATION OF THE LAW FOR ANY REPRODUCTION OF THIS DOCUMENT IN ANY MANNER, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF THE PROJECT OWNER. DO NOT ALTER THIS DOCUMENT.

NOT FOR CONSTRUCTION

SF80XSGCIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

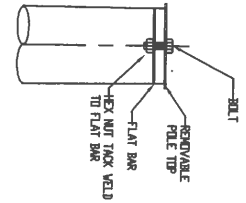
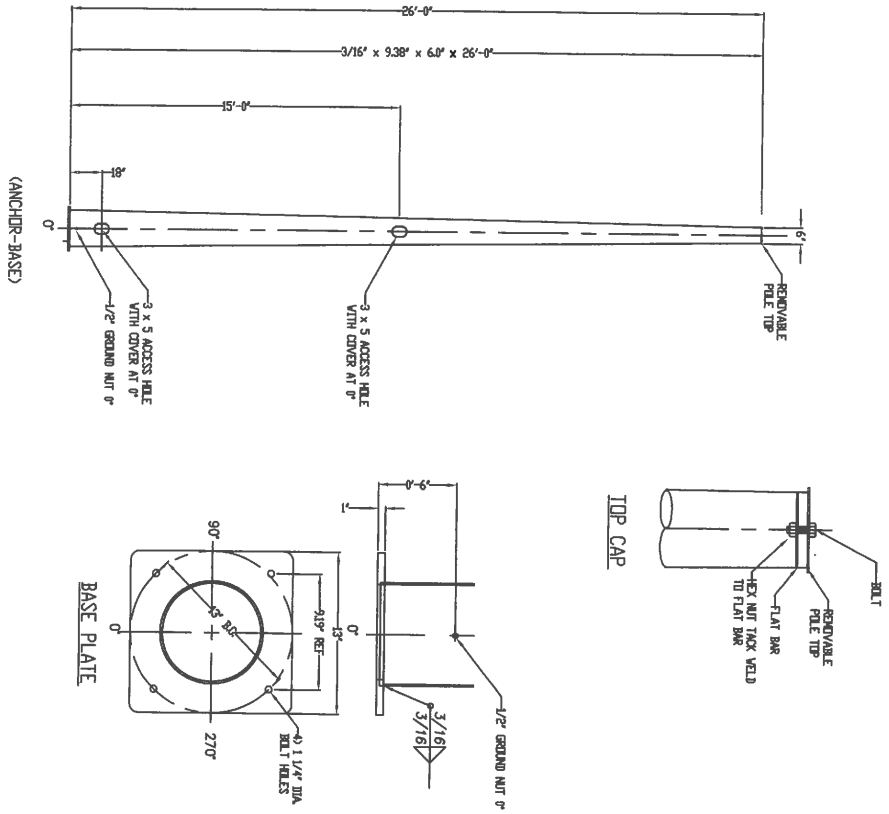
SHEET TITLE
PLUMBING & RISER DIAGRAM

NOT USED
SCALE: NOT TO SCALE

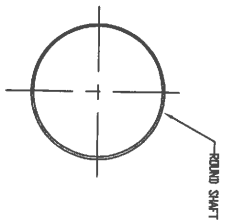
3

SHEET NUMBER
PL-1

MANUFACTURER: ALPHA WIRELESS MODEL: AW3477-S1-G (OR APPROVED EQUAL) HEIGHT: 30.7 IN DIAMETER: 4.7 IN Ø WEIGHT: 4.4 LBS	MANUFACTURER: AIRSPAN MODEL: R460 (OR APPROVED EQUAL) HEIGHT: 11.7 IN DIAMETER: 7 IN DEPTH: 7 IN WEIGHT: 8.8 LBS	MANUFACTURER: AIRSPAN MODEL: AH 4000 B41 (OR APPROVED EQUAL) HEIGHT: 15.1502 IN DIAMETER: 9.14 IN DEPTH: 10.3 IN WEIGHT: 6.8 LBS	MANUFACTURER: SIEMENS MODEL: 3RT10-3R (OR APPROVED EQUAL) HEIGHT: 8.5 IN DIAMETER: 4.5 IN DEPTH: 4.5 IN WEIGHT: 5.1 LBS	
MANUFACTURER: TBO MODEL: TBO (OR APPROVED EQUAL) HEIGHT: 6.3 IN DIAMETER: 0.7 IN WEIGHT: 5 AMPS	MANUFACTURER: ALUMA-FORM, INC. MODEL: ALUMA-FORM (OR APPROVED EQUAL) HEIGHT: 8 IN WIDTH: 24 IN WEIGHT: 24.48 LBS	MANUFACTURER: AIRSPAN MODEL: AH 4000 B41 (OR APPROVED EQUAL) HEIGHT: 10.3 IN WIDTH: 9.9 IN DEPTH: 10.3 IN WEIGHT: 6.8 LBS	NOT USED	NOT USED
MANUFACTURER: TBO MODEL: TBO (OR APPROVED EQUAL) HEIGHT: 6.3 IN DIAMETER: 0.7 IN WEIGHT: 5 AMPS	MANUFACTURER: TBO MODEL: TBO (OR APPROVED EQUAL) HEIGHT: 6.3 IN DIAMETER: 0.7 IN WEIGHT: 5 AMPS	MANUFACTURER: AIRSPAN MODEL: AH 4000 B41 (OR APPROVED EQUAL) HEIGHT: 15.1502 IN DIAMETER: 9.14 IN DEPTH: 10.3 IN WEIGHT: 6.8 LBS	NOT USED	NOT USED
MANUFACTURER: TBO MODEL: TBO (OR APPROVED EQUAL) HEIGHT: 6.3 IN DIAMETER: 0.7 IN WEIGHT: 5 AMPS	MANUFACTURER: TBO MODEL: TBO (OR APPROVED EQUAL) HEIGHT: 6.3 IN DIAMETER: 0.7 IN WEIGHT: 5 AMPS	MANUFACTURER: AIRSPAN MODEL: AH 4000 B41 (OR APPROVED EQUAL) HEIGHT: 15.1502 IN DIAMETER: 9.14 IN DEPTH: 10.3 IN WEIGHT: 6.8 LBS	NOT USED	NOT USED



TOP CAP



ROUND POLE

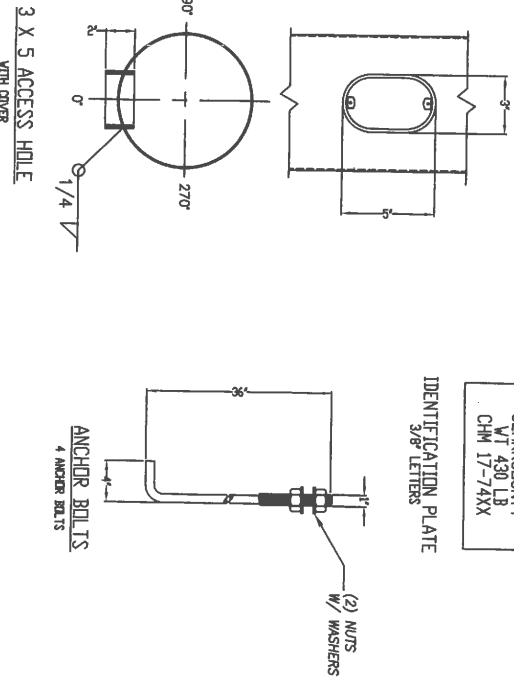
MATERIAL
POLE SWART A-572 GR65
HANDHOLE FRAME A-580
BASE PLATE A-572 GR50
POLE TOPS A-36
ANCHER BOLTS F1554 GR55
HANDHOLE COVERS A-36

POLE WEIGHT 430 LBS

GENERAL NOTES:
FINISH NOT DIPPED GALVANIZED
SWART IS ROUND

MOBILITTE
CLARK COUNTY
VT 430 LB
CHN 17-74XX

IDENTIFICATION PLATE
3/8" LETTERS



POLE DETAILS

SCALE: NOT TO SCALE

2



PROJECT NO.: SPROXSGIC
DRAWN BY: LA
CHECKED BY: JF

1 06/02/17 C.SAT GRANITE
0 06/02/17 CONSTRUCTION TRAINING

IT IS A VIOLATION OF THE LAW FOR ANY
PORTION OF A DRAWING OR ANY OTHER
DRAWING TO BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY
MEANS, TO ALTER THIS DOCUMENT.

NOT FOR
CONSTRUCTION

SFDXSGIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

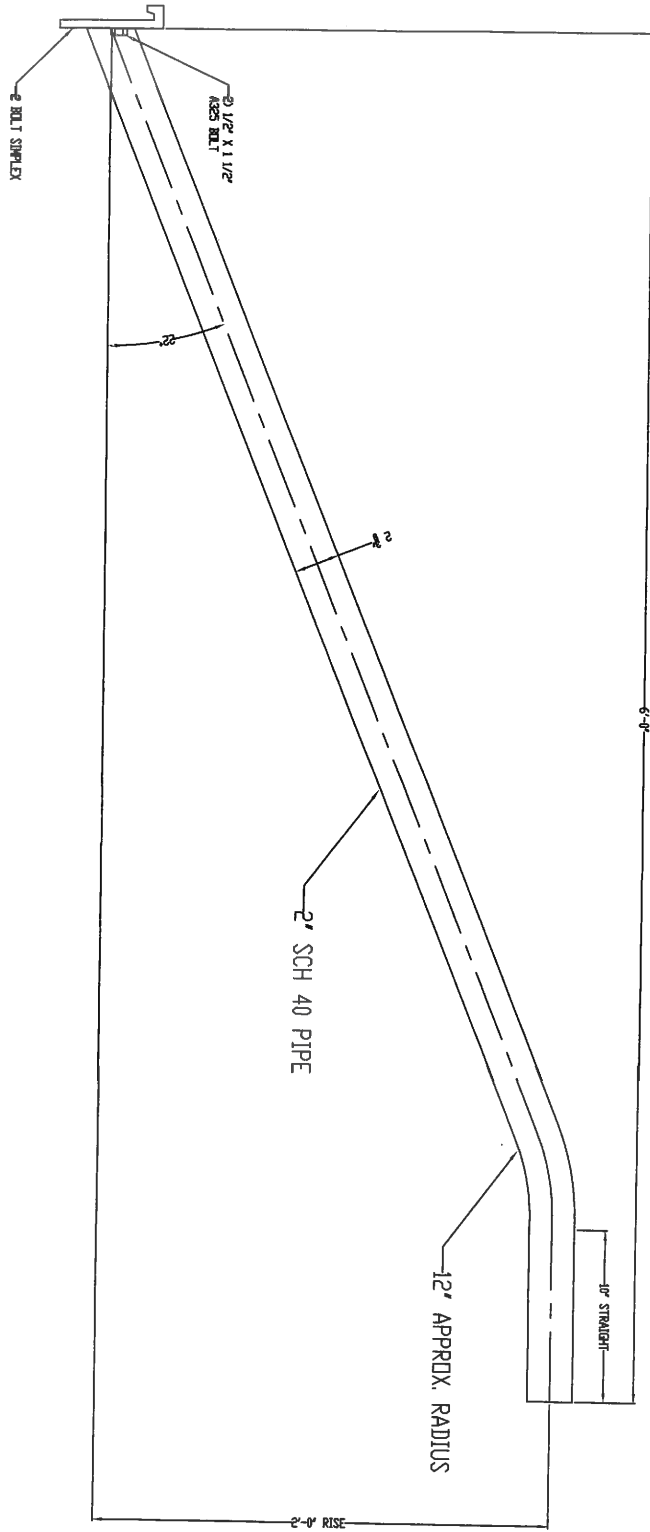
SHEET TITLE
POLE DETAILS

SHEET NUMBER
EQ-2

MATERIAL
PIPE A-53 OR A-500
2 BOLT SIMPLEX CASTING A27

WEIGHT 25 LBS

GENERAL NOTES:
FINISH HOT DIPPED GALVANIZED



POLE DETAILS
SCALE: NOT TO SCALE
2



PROJECT NO:	SF90XSGCIC
DRAWN BY:	LA
CHECKED BY:	JF
DATE:	10/20/07
CLIENT COMMENTS:	
CONSTRUCTION MARKING:	

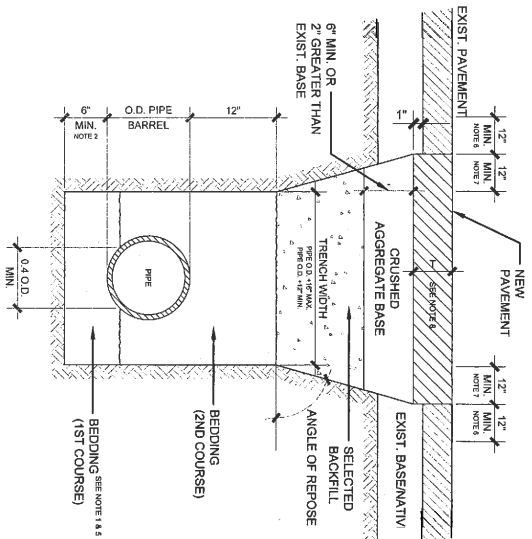
IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS THEY ARE A LICENSED ENGINEER TO ALTER THIS DOCUMENT.

NOT FOR CONSTRUCTION

SF90XSGCIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

SHEET TITLE
LUMINAIRE ARM SPECS

SHEET NUMBER
EQ-3



- NOTES:**
1. BEDDING MATERIAL SHALL FIRST BE PLACED SO THAT THE PIPE IS SUPPORTED FOR FULL LENGTH OF THE BARREL WITH FULL BEDDING @ 4" O.D. MIN.
 2. THE TRENCH SHALL BE EXCAVATED TO A POINT ABOVE THE INVERT GRADE AND THE TRENCH BOTTOM HAND-SHAPED SO THAT THE BOTTOM SEGMENT OF THE PIPE IS FIRMLY SUPPORTED ON UNDISTURBED MATERIAL.
 3. IF THE MAXIMUM TRENCH WIDTH IS EXCEEDED, ADDITIONAL BEDDING, ANOTHER TYPE BEDDING OR A COMBINATION THEREOF SHALL BE USED TO SUPPORT THE PIPE.
 4. BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION, WITH THE EXCEPTION OF THE UPPER SIX (6) INCHES OF SUBGRADE WHICH SHALL BE COMPACTED TO A MINIMUM OF 85% RELATIVE COMPACTION. COMPACTION METHODS SHALL COMPLY WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 5. BEDDING MATERIAL SHALL BE SAND.
 6. PRIOR TO INSTALLING FINISH SURFACE COURSE, ASPHALT BASE COURSE PLUS ADDITIONAL 1" WIDTH OF EXISTING PAVEMENT ON BOTH SIDES OF MAIN AND LATERAL EXCAVATIONS SHALL BE PLANNED SO AS TO RESULT IN A MINIMUM FINISH SURFACE THICKNESS OF 1.5" AND RECEIVE AN A.C. BASE COURSE.
 7. SAWCUT AND REMOVE 12" TO CREATE A STRAIGHT EDGE PRIOR TO INSTALLING A.C. BASE COURSE.
 8. T = PAVEMENT THICKNESS = EXIST. +1" WITH A 4" MIN. FOR A.C. OR 6" MIN. FOR P.C.C. BASE COURSE = C2-AR-400
 - MIN 1.5" THICK FINISH COURSE = D2-AR-400

TRENCH SECTION DETAIL

SCALE: NOT TO SCALE

NOT USED

SCALE: NOT TO SCALE

2

mobile
infrastructure



PROJECT NO: SF908SGCC
DRAWN BY: LA
CHECKED BY: JF

1	09/25/17	CLIENT COMMENTS
8	09/25/17	CONSTRUCTION DRAWING

IT IS A CONDITION OF THE SALE FOR ANY PERSON PURCHASING THIS SET OF DRAWINGS TO ACCEPT THE RESPONSIBILITY OF THE USER OF THE DRAWINGS. THE USER OF THE DRAWINGS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE USER OF THE DRAWINGS.

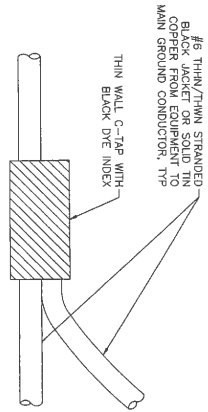
NOT FOR CONSTRUCTION

SF908SGCC
WOODLAND, CA 95695
(M) STEEL LIGHT POLE

SHEET TITLE
EXCAVATION DETAILS

SHEET NUMBER
EX-1

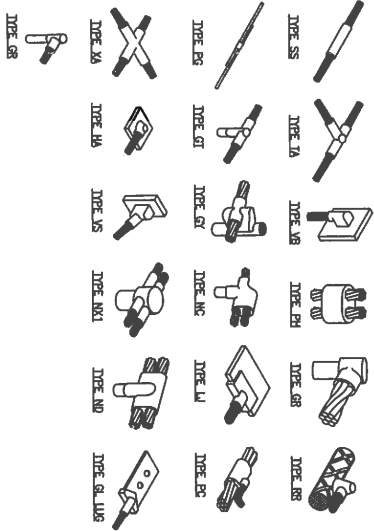
NOTE:
CONTRACTOR TO SURROUND COMPLETED
CONNECTION WITH HEAT-SHRINK TUBING TO
ENSURE WEATHER PROOF CONNECTION



C-TAP DETAIL

SCALE: NOT TO SCALE

1

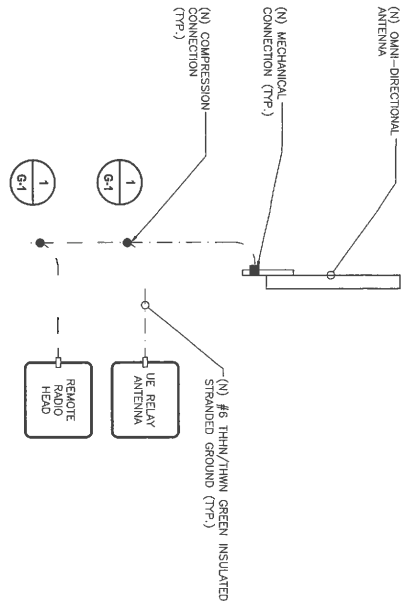


1. GROUNDING BONDS: ALL BONDS ARE TO BE MADE WITH #2 AWG STRANDED COPPER IN BLACK INSULATION. (ATT-TP-76416 7, 6, 7)
2. EXTERIOR LIMIT BONDS: ALL METALLIC OBJECTS SHALL BE BONDED TO THE GROUND ROD. (ATT-TP-76416 7, 12a)
3. GROUND ROD: UL LISTED COPPER CLAD STEEL GROUND ROD WITH MINIMUM DIAMETER OF 5/8" AND MINIMUM LENGTH OF 8 FEET. ALL GROUND RODS IN A CONCRETE FOUNDATION SHALL BE SET TO MINIMUM DEPTH OF 30" BELOW GRADE OR 6 INCHES BELOW FROST LINE. (ATT-TP-76416 1, 4 / 2, 2, 3, 10)

WELD CONNECTION DETAILS

SCALE: NOT TO SCALE

2



#6 SOLID TIN COATED MAIN GROUND CONDUCTOR ROUTED INSIDE (N) CONCRETE POLE



FINISHED GRADE
DRIVE GROUND ROD TO A MINIMUM DEPTH OF 30" OR 6' BELOW FROST LINE

(N) 5/8" X 8'-0" COPPER CLAD STEEL GROUND ROD

COMPRESSION CONNECTION	GROUND
MECHANICAL CONNECTION	WIRE
COPPER GROUND	GROUND
3/4" Ø COPPER CLAD STEEL GROUND ROD	GROUND

GROUNDING SYMBOLS

- NOTES:
1. GROUNDING RISER FOR DIAGRAMMATIC PURPOSES ONLY. ALL RISERS SHALL BE GROUNDED AT BOTH ENDS.
 2. ALL RISERS TO BE GROUNDED AT BOTH ENDS USING GROUNDING BUSHINGS.
 3. GROUND WIRE BELOW 11' AGL TO BE RUN IN 1/2" SCHEDULE 40 PVC.

GROUNDING RISER DIAGRAM

SCALE: NOT TO SCALE

3

mobilitie
Intelligent Infrastructure

Industries
1972 N. BAYVIEW AVE. STE. 10
OAKLAND, CA 94612

PROJECT NO: SF90XSGCIC
DRAWN BY: LA
CHECKED BY: JF

1 06/29/17 G-1T COMMENTS
0 06/29/17 CONSTRUCTION DRAWING

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NOT FOR CONSTRUCTION

SF90XSGCIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1

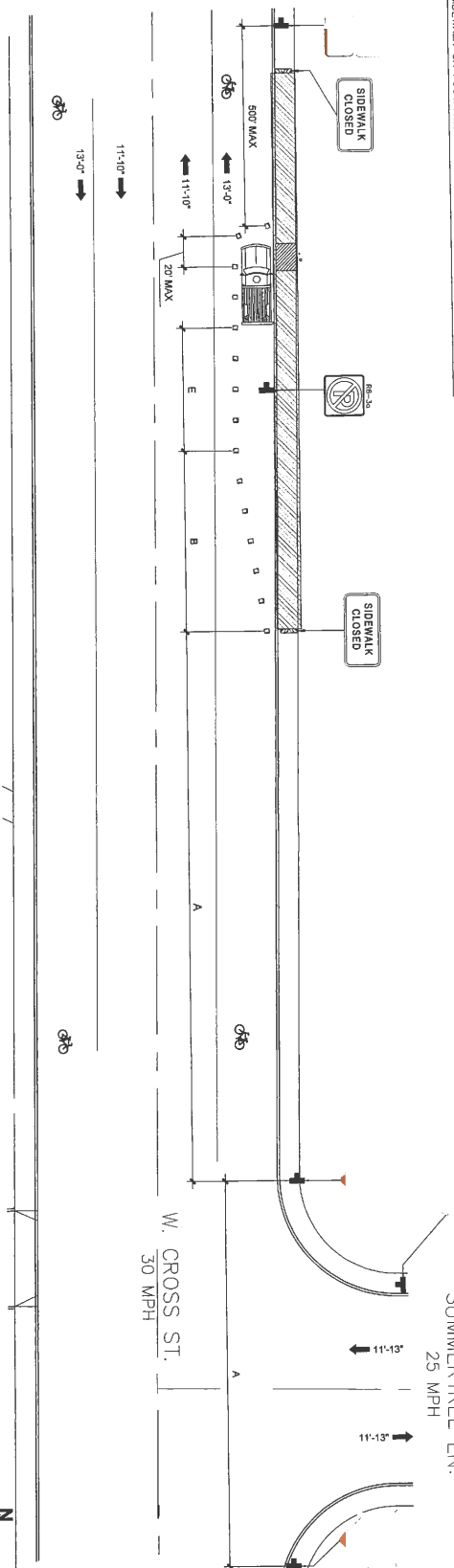
PEDESTRIAN NOTES:

1. WILL BE ASSIGNED THE RESPONSIBILITY OF A DEDICATED INDIVIDUAL, ESCORTING PEDESTRIANS THROUGH THE WORK AREA IN ACCORDANCE WITH THREE MAJOR CONSIDERATIONS:
2. PEDESTRIANS SHOULD NOT BE LED INTO DIRECT CONFLICT WITH SITE VEHICLES, EQUIPMENT OR OPERATIONS.
3. PEDESTRIANS SHOULD NOT BE LED INTO DIRECT CONFLICT WITH MANUAL TRAFFIC MOVING THROUGH OR AROUND THE WORK SITE.
4. PEDESTRIANS SHOULD BE PROVIDED WITH A REASONABLE SAFE, ACCESSIBLE PATH THAT REPLICATES AS NEARLY AS PRACTICAL THE MOST DESIRABLE CHARACTERISTICS OF THE EXISTING SIDEWALK OR FOOTPATH.

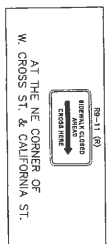
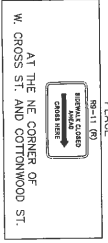
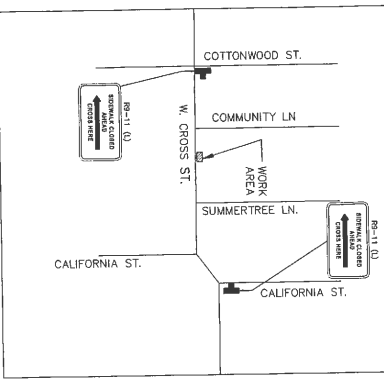
DIMENSIONS	FEET
A. EXCAVATION BETWEEN SIGNS	250
B. MINIMUM WORKING LAYER (1)	180
C. MINIMUM SHIFTING TAPER (1/2 U)	245
E. (SEE PAGE 205)	205
EXCAVATION DATA IN CITY RIGHT OF WAY	
EXCAVATION IN SIDEWALK	60 SQ. FT.
EXCAVATION IN DIRT LANDSCAPE	5 SQ. FT.
EXCAVATION IN ASPHALT STREET	0 SQ. FT.
TOTAL EXCAVATION	65 SQ. FT.

WORK HOURS: 9:00 A.M. TO 3:00 P.M. MON - FRI
CROSS STREET: W. CROSS ST. & SUMMERTREE LN.
WORK TYPE: UTILITIES
NEAREST ADDRESS: 408-498 W. CROSS ST. WOODLAND, CA 95695

LINE TYPE	LEGEND
CENTER LINE	---
LANES	---
GUTTER	---
CURB/SIDEWALK	---

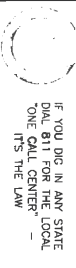


VICINITY MAP (N.T.S.)



1. ALL WORK AND MATERIALS DOES COMPLY WITH THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
2. ALL STRIPING AND MARKINGS DOES CONFORM TO THE STATE OF CALIFORNIA STANDARD PLANS AND SPECIFICATIONS, INCLUDING STANDARD PLAN NOS. 050-1.01, 050-1.02, 050-1.03, 050-1.04, 050-1.05, 050-1.06, 050-1.07, 050-1.08, 050-1.09, 050-1.10, 050-1.11, 050-1.12, 050-1.13, 050-1.14, 050-1.15, 050-1.16, 050-1.17, 050-1.18, 050-1.19, 050-1.20, 050-1.21, 050-1.22, 050-1.23, 050-1.24, 050-1.25, 050-1.26, 050-1.27, 050-1.28, 050-1.29, 050-1.30, 050-1.31, 050-1.32, 050-1.33, 050-1.34, 050-1.35, 050-1.36, 050-1.37, 050-1.38, 050-1.39, 050-1.40, 050-1.41, 050-1.42, 050-1.43, 050-1.44, 050-1.45, 050-1.46, 050-1.47, 050-1.48, 050-1.49, 050-1.50, 050-1.51, 050-1.52, 050-1.53, 050-1.54, 050-1.55, 050-1.56, 050-1.57, 050-1.58, 050-1.59, 050-1.60, 050-1.61, 050-1.62, 050-1.63, 050-1.64, 050-1.65, 050-1.66, 050-1.67, 050-1.68, 050-1.69, 050-1.70, 050-1.71, 050-1.72, 050-1.73, 050-1.74, 050-1.75, 050-1.76, 050-1.77, 050-1.78, 050-1.79, 050-1.80, 050-1.81, 050-1.82, 050-1.83, 050-1.84, 050-1.85, 050-1.86, 050-1.87, 050-1.88, 050-1.89, 050-1.90, 050-1.91, 050-1.92, 050-1.93, 050-1.94, 050-1.95, 050-1.96, 050-1.97, 050-1.98, 050-1.99, 050-2.00, 050-2.01, 050-2.02, 050-2.03, 050-2.04, 050-2.05, 050-2.06, 050-2.07, 050-2.08, 050-2.09, 050-2.10, 050-2.11, 050-2.12, 050-2.13, 050-2.14, 050-2.15, 050-2.16, 050-2.17, 050-2.18, 050-2.19, 050-2.20, 050-2.21, 050-2.22, 050-2.23, 050-2.24, 050-2.25, 050-2.26, 050-2.27, 050-2.28, 050-2.29, 050-2.30, 050-2.31, 050-2.32, 050-2.33, 050-2.34, 050-2.35, 050-2.36, 050-2.37, 050-2.38, 050-2.39, 050-2.40, 050-2.41, 050-2.42, 050-2.43, 050-2.44, 050-2.45, 050-2.46, 050-2.47, 050-2.48, 050-2.49, 050-2.50, 050-2.51, 050-2.52, 050-2.53, 050-2.54, 050-2.55, 050-2.56, 050-2.57, 050-2.58, 050-2.59, 050-2.60, 050-2.61, 050-2.62, 050-2.63, 050-2.64, 050-2.65, 050-2.66, 050-2.67, 050-2.68, 050-2.69, 050-2.70, 050-2.71, 050-2.72, 050-2.73, 050-2.74, 050-2.75, 050-2.76, 050-2.77, 050-2.78, 050-2.79, 050-2.80, 050-2.81, 050-2.82, 050-2.83, 050-2.84, 050-2.85, 050-2.86, 050-2.87, 050-2.88, 050-2.89, 050-2.90, 050-2.91, 050-2.92, 050-2.93, 050-2.94, 050-2.95, 050-2.96, 050-2.97, 050-2.98, 050-2.99, 050-3.00, 050-3.01, 050-3.02, 050-3.03, 050-3.04, 050-3.05, 050-3.06, 050-3.07, 050-3.08, 050-3.09, 050-3.10, 050-3.11, 050-3.12, 050-3.13, 050-3.14, 050-3.15, 050-3.16, 050-3.17, 050-3.18, 050-3.19, 050-3.20, 050-3.21, 050-3.22, 050-3.23, 050-3.24, 050-3.25, 050-3.26, 050-3.27, 050-3.28, 050-3.29, 050-3.30, 050-3.31, 050-3.32, 050-3.33, 050-3.34, 050-3.35, 050-3.36, 050-3.37, 050-3.38, 050-3.39, 050-3.40, 050-3.41, 050-3.42, 050-3.43, 050-3.44, 050-3.45, 050-3.46, 050-3.47, 050-3.48, 050-3.49, 050-3.50, 050-3.51, 050-3.52, 050-3.53, 050-3.54, 050-3.55, 050-3.56, 050-3.57, 050-3.58, 050-3.59, 050-3.60, 050-3.61, 050-3.62, 050-3.63, 050-3.64, 050-3.65, 050-3.66, 050-3.67, 050-3.68, 050-3.69, 050-3.70, 050-3.71, 050-3.72, 050-3.73, 050-3.74, 050-3.75, 050-3.76, 050-3.77, 050-3.78, 050-3.79, 050-3.80, 050-3.81, 050-3.82, 050-3.83, 050-3.84, 050-3.85, 050-3.86, 050-3.87, 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050-5.88, 050-5.89, 050-5.90, 050-5.91, 050-5.92, 050-5.93, 050-5.94, 050-5.95, 050-5.96, 050-5.97, 050-5.98, 050-5.99, 050-6.00, 050-6.01, 050-6.02, 050-6.03, 050-6.04, 050-6.05, 050-6.06, 050-6.07, 050-6.08, 050-6.09, 050-6.10, 050-6.11, 050-6.12, 050-6.13, 050-6.14, 050-6.15, 050-6.16, 050-6.17, 050-6.18, 050-6.19, 050-6.20, 050-6.21, 050-6.22, 050-6.23, 050-6.24, 050-6.25, 050-6.26, 050-6.27, 050-6.28, 050-6.29, 050-6.30, 050-6.31, 050-6.32, 050-6.33, 050-6.34, 050-6.35, 050-6.36, 050-6.37, 050-6.38, 050-6.39, 050-6.40, 050-6.41, 050-6.42, 050-6.43, 050-6.44, 050-6.45, 050-6.46, 050-6.47, 050-6.48, 050-6.49, 050-6.50, 050-6.51, 050-6.52, 050-6.53, 050-6.54, 050-6.55, 050-6.56, 050-6.57, 050-6.58, 050-6.59, 050-6.60, 050-6.61, 050-6.62, 050-6.63, 050-6.64, 050-6.65, 050-6.66, 050-6.67, 050-6.68, 050-6.69, 050-6.70, 050-6.71, 050-6.72, 050-6.73, 050-6.74, 050-6.75, 050-6.76, 050-6.77, 050-6.78, 050-6.79, 050-6.80, 050-6.81, 050-6.82, 050-6.83, 050-6.84, 050-6.85, 050-6.86, 050-6.87, 050-6.88, 050-6.89, 050-6.90, 050-6.91, 050-6.92, 050-6.93, 050-6.94, 050-6.95, 050-6.96, 050-6.97, 050-6.98, 050-6.99, 050-7.00, 050-7.01, 050-7.02, 050-7.03, 050-7.04, 050-7.05, 050-7.06, 050-7.07, 050-7.08, 050-7.09, 050-7.10, 050-7.11, 050-7.12, 050-7.13, 050-7.14, 050-7.15, 050-7.16, 050-7.17, 050-7.18, 050-7.19, 050-7.20, 050-7.21, 050-7.22, 050-7.23, 050-7.24, 050-7.25, 050-7.26, 050-7.27, 050-7.28, 050-7.29, 050-7.30, 050-7.31, 050-7.32, 050-7.33, 050-7.34, 050-7.35, 050-7.36, 050-7.37, 050-7.38, 050-7.39, 050-7.40, 050-7.41, 050-7.42, 050-7.43, 050-7.44, 050-7.45, 050-7.46, 050-7.47, 050-7.48, 050-7.49, 050-7.50, 050-7.51, 050-7.52, 050-7.53, 050-7.54, 050-7.55, 050-7.56, 050-7.57, 050-7.58, 050-7.59, 050-7.60, 050-7.61, 050-7.62, 050-7.63, 050-7.64, 050-7.65, 050-7.66, 050-7.67, 050-7.68, 050-7.69, 050-7.70, 050-7.71, 050-7.72, 050-7.73, 050-7.74, 050-7.75, 050-7.76, 050-7.77, 050-7.78, 050-7.79, 050-7.80, 050-7.81, 050-7.82, 050-7.83, 050-7.84, 050-7.85, 050-7.86, 050-7.87, 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050-8.88, 050-8.89, 050-8.90, 050-8.91, 050-8.92, 050-8.93, 050-8.94, 050-8.95, 050-8.96, 050-8.97, 050-8.98, 050-8.99, 050-9.00, 050-9.01, 050-9.02, 050-9.03, 050-9.04, 050-9.05, 050-9.06, 050-9.07, 050-9.08, 050-9.09, 050-9.10, 050-9.11, 050-9.12, 050-9.13, 050-9.14, 050-9.15, 050-9.16, 050-9.17, 050-9.18, 050-9.19, 050-9.20, 050-9.21, 050-9.22, 050-9.23, 050-9.24, 050-9.25, 050-9.26, 050-9.27, 050-9.28, 050-9.29, 050-9.30, 050-9.31, 050-9.32, 050-9.33, 050-9.34, 050-9.35, 050-9.36, 050-9.37, 050-9.38, 050-9.39, 050-9.40, 050-9.41, 050-9.42, 050-9.43, 050-9.44, 050-9.45, 050-9.46, 050-9.47, 050-9.48, 050-9.49, 050-9.50, 050-9.51, 050-9.52, 050-9.53, 050-9.54, 050-9.55, 050-9.56, 050-9.57, 050-9.58, 050-9.59, 050-9.60, 050-9.61, 050-9.62, 050-9.63, 050-9.64, 050-9.65, 050-9.66, 050-9.67, 050-9.68, 050-9.69, 050-9.70, 050-9.71, 050-9.72, 050-9.73, 050-9.74, 050-9.75, 050-9.76, 050-9.77, 050-9.78, 050-9.79, 050-9.80, 050-9.81, 050-9.82, 050-9.83, 050-9.84, 050-9.85, 050-9.86, 050-9.87, 050-9.88, 050-9.89, 050-9.90, 050-9.91, 050-9.92, 050-9.93, 050-9.94, 050-9.95, 050-9.96, 050-9.97, 050-9.98, 050-9.99, 050-10.00, 050-10.01, 050-10.02, 050-10.03, 050-10.04, 050-10.05, 050-10.06, 050-10.07, 050-10.08, 050-10.09, 050-10.10, 050-10.11, 050-10.12, 050-10.13, 050-10.14, 050-10.15, 050-10.16, 050-10.17, 050-10.18, 050-10.19, 050-10.20, 050-10.21, 050-10.22, 050-10.23, 050-10.24, 050-10.25, 050-10.26, 050-10.27, 050-10.28, 050-10.29, 050-10.30, 050-10.31, 050-10.32, 050-10.33, 050-10.34, 050-10.35, 050-10.36, 050-10.37, 050-10.38, 050-10.39, 050-10.40, 050-10.41, 050-10.42, 050-10.43, 050-10.44, 050-10.45, 050-10.46, 050-10.47, 050-10.48, 050-10.49, 050-10.50, 050-10.51, 050-10.52, 050-10.53, 050-10.54, 050-10.55, 050-10.56, 050-10.57, 050-10.58, 050-10.59, 050-10.60, 050-10.61, 050-10.62, 050-10.63, 050-10.64, 050-10.65, 050-10.66, 050-10.67, 050-10.68, 050-10.69, 050-10.70, 050-10.71, 050-10.72, 050-10.73, 050-10.74, 050-10.75, 050-10.76, 050-10.77, 050-10.78, 050-10.79, 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11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED



IF YOU DIG IN ANY STATE
DIAL 811 FOR THE LOCAL
"ONE CALL CENTER"
IT'S THE LAW

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A
TENTATIVE DESIGN WITH THE INTENT OF PROVIDING A
MAINTENANCE OF EFFECT ON DRAINAGE. NO SANITARY SEWER
SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND
NO COMMERCIAL STORAGE IS (N).

SITE INFORMATION

SITE ID:	9CAB014159C
CASCADE ID:	SF90XSGCIC
LATITUDE:	38.67223300
LONGITUDE:	-121.79109100
GROSS STREET:	W. CROSS ST. & SUMMERTREE LN.
CITY, STATE, ZIP:	WOODLAND, CA 95695
COUNTY:	YOLO COUNTY
JURISDICTION:	CITY OF WOODLAND
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MOBILETTE LLC 1572 N. BAYVIEW ST., SUITE 100, COSTA MESA, CA 92626 CONTACT: DAVID GRIFFITH PHONE: (530) 906-1233 EMAIL: david.griffith@mobilette.com

ENGINEER

JOE FRAS
1572 N. BAYVIEW ST., SUITE 100
ORANGE, CA 92676 PROJECT NUMBER: 9CAB014159C

DO NOT SCALE DRAWINGS

CONTRACTORS SHALL VERIFY ALL PLANS, (E) DIMENSIONS & FIELD
CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE
ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE
PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

intelligent infrastructure

SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER.

9CAB014159C/SF90XSGCIC

LATITUDE/LONGITUDE:

38.67223300/-121.79109100

CROSS STREET:

W. CROSS ST. & SUMMERTREE LN.

CITY, STATE, ZIP:

WOODLAND, CA 95695

VICINITY MAP

MAP DATA © 2018 GOOGLE

PROJECT DESCRIPTION

END USER REQUESTS TO INSTALL EQUIPMENT ON A
RIGHT-OF-WAY. THE SCOPE WILL CONSIST OF THE FOLLOWING:
- INSTALL PROPOSED BACKHAUL TRANSPORT EQUIPMENT ON
- REPAIR EXISTING STREETLIGHT POLE
- REPAIR EXISTING STREETLIGHT POLE
- AND HARDWARE

CODES

2015 INTERNATIONAL BUILDING CODE GENERAL ORDER 95
2014 NATIONAL ELECTRICAL CODE GENERAL ORDER 96
2014 CALIFORNIA ELECTRICAL CODE GENERAL ORDER 96
LOCAL BUILDING/PLANNING CODE

DRAWING INDEX

SHEET NO.	TITLE
T-1	GENERAL NOTES
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
SP-1	EXHIBIT PHOTO & SITE PLAN
SP-2	OVERALL SITE PLAN
EV-1	ELEVATIONS
EV-2	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EO-1	EQUIPMENT DETAILS
EO-2	POLE DETAILS
EO-3	LUMINAIRE ARM SPECS
EX-1	TRENCH DETAILS
E-1	ELECTRICAL
G-1	GROUNDING
TC-1	VEHICLE TRAFFIC CONTROL PLAN

mobilette
intelligent infrastructure



PROJECT NO: SF90XSGCIC
DRAWN BY: LA
CHECKED BY: JF

1 09/20/21 CLIENT COMMENTS
0 09/20/21 CONSTRUCTION DRAWING

IT IS A VIOLATION OF THE LAW FOR ANY
PERSON TO REPRODUCE OR TRANSMIT
THIS DOCUMENT OR ANY PART THEREOF
WITHOUT THE WRITTEN PERMISSION OF
THE ENGINEER OF RECORD.

NOT FOR
CONSTRUCTION

SF90XSGCIC
WOODLAND, CA 95695
(M) STEEL LIGHT POLE

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

GENERAL CONSTRUCTION NOTES:
1. ALL WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, BRIDGES, AND STRUCTURES, AND THE STANDARD SPECIFICATIONS FOR MATERIALS, BOTH PUBLISHED BY THE TEXAS DEPARTMENT OF TRANSPORTATION.

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST MOBILE CONSTRUCTION STANDARDS. THE SPECIFICATION IS THE BASIS FOR THE CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THE CONSTRUCTION DRAWINGS SHALL BE RESOLVED BY THE ATTENTION AND ARCHITECT/ENGINEER OR MOBILE CM PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE (N) WORK AND SHALL MAKE PROVISIONS FOR THE NECESSARY FIELD CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED. AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILE CM PRIOR TO THE COMMENCEMENT OF WORK. OTHERWISE, THE CONTRACTOR WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
4. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY/ALL MATERIALS, EQUIPMENT, SUPPLIES, ACCESSORIES, AND/OR COMPONENTS, INCLUDING OWNER-SUPPLIED ITEMS, CONTRACTOR SHALL PROVIDE ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
5. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A GUIDE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, INCLUDING BUT NOT LIMITED TO, SPACING, CLEARANCE, HEIGHT, LENGTH, WIDTH, AREA, VOLUME, WEIGHT, CAPACITY, AND/OR TOLERANCES. CONTRACTOR SHALL INCLUDE NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED AND CONTRACTOR INSTALLED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:
 - A) TRANSMITTER
 - B) UHF ANTENNA AND MOUNTING BRACKETS, GPS ANTENNAS AND KU ANTENNAS
 - C) UHF COAX AND HANGERS
 - D) INTERMODAL LOAD CENTER
5. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS (E) CONDITIONS AND/OR DESIGN INTENT, CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER OR MOBILE CM TO THE ATTENTION OF THE MOBILE CM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
7. DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DEMANDS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
8. CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING CHARGES, INCLUDING BUT NOT LIMITED TO, SUBMITTALS PRIOR TO ORDERING MATERIALS AND THE COMMENCEMENT OF WORK.
9. THE ITEM PROVIDED, USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
10. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DENIED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING APPROPRIATE INDUSTRY-STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING BUT NOT LIMITED TO, THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL COMMON REQUIREMENTS.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILITY CM AND THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
15. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY AT CONTRADICTORY WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
16. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (E) SURFACES, EQUIPMENT, IMPROVEMENTS, PAVING ETC. AND IMMEDIATE REPAIR, TO NEW CONDITION, ANY DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
17. IN DRILLING HOLES, OR CORING, INTO CONCRETE, WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR OPERATIONS THROUGH THE FLOOR FOR CONDUIIT RUNS, PIPE RUNS, ETC., MUST BE CAREFULLY UNDERTOOK THAT REINFORCING

STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (E) CONCRETE.

1. CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (E) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
 2. CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR PARTITIONS TO PREVENT THE CODE PERMITTED DETAILS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY, IN WHICH THE NEW PENETRATION IS PLACED.
 3. CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBER. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY KIND. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
 4. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURER'S RECOMMENDATIONS.
 5. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH JURISDICTIONAL, OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL, AND COORDINATED WITH LOCAL REGULATORY AGENCIES. CONTRACTOR SHALL MAINTAIN RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
 6. ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICABLES INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
 7. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING STANDARDS CODE AND STATE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE WILL NOT COMPLY PER STATE CODE OF REGULATIONS. A SCOPE OF WORK DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE JURISDICTION BEFORE PROCEEDING WITH THE WORK. A CHANGE ORDER FOR THAT SCOPE SHALL BE SUBMITTED TO THE MOBILE CMA PRIOR TO PROCEEDING WITH THE WORK.
 8. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
 9. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.
- ELECTRICAL NOTES:**
1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL ELECTRICAL MATERIALS AND EQUIPMENTS ARE ENCOURAGED BY COMPLYING WITH THE REQUIREMENTS. CONTRACTOR SHALL NOTIFY MOBILE CMA AS SOON AS POSSIBLE, REGARDING THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK UNTIL THE MOBILE CMA HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
 2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL ELECTRICAL CODES, RULES, AND REGULATIONS. ALL (E) INSTALLATION AND TAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIPMENTS, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF THEIR BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELEASE THE CONTRACTOR FROM LIABILITY FOR ANY DEFECTS IN THE ELECTRICAL AND WORKING SYSTEM.
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, ALL CODES AND ORDINANCES OF THE LOCAL JURISDICTION, AND INCLUDE POWER & TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT ARE NOT BE LIMITED TO:

ELECTRICAL NOTES:

1. UNDERWRITERS LABORATORIES
2. UL - NATIONAL ELECTRICAL CODE
3. NFPA - NATIONAL FIRE PROTECTION AGENCY
4. IEEE - INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
5. ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS
6. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFORM WITH MOBILE CM ANY SIZES AND LOCATIONS WHEN NEEDED.
7. (E) SERVICES: CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
8. CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/FALL REQUIREMENTS SUCH AS THE, LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF ANY/FALLS, SCHEDULE DOWNTIME FOR THE OWNERS' CONFINEMENT, ETC.. ANY/FALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILE CM, PRIOR TO BEGINNING ANY WORK.
9. HUMAN WREGE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER WITH THWEN INSULATION, UNLESS OTHERWISE NOTED.
10. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
11. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FINISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
12. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
13. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A PROFESSIONAL MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL FUNCTIONING AND SHALL BE APPROVED BY THE MOBILE CM FOR ANY LOCAL JURISDICTION. ANY DISCRENCIES SHALL BE CORRECTED BY AN ELECTRICAL CONTRACTOR AT THE SOLE COST OF THE CONTRACTOR.
14. ALL WORK SHALL BE THE PROGRESS OF CONSTRUCTION. TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.



Industries

1572 N. RAYAVIA ST., STE. 1D
ORANGE, CA 92667

PROJECT NO:	8F00X8GJC
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1	09/20/17
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(N) STEEL LIGHT POLE

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GENERAL NOTES

GN-1

- ELECTRICAL NOTES (CONT.)
13. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR REPAIR OF THE DEFECTIVE MATERIALS AND THE REPAIR OF THE DAMAGE TO THE ELECTRICAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO THE ELECTRICAL SYSTEM WHICH MAY HAVE BEEN DAMAGED THEREON.
 14. CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
 15. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND AND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS EXCAVATION, AND BACKFILLING.
 16. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEC.
 17. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ANY/ALL EQUIPMENT AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILE CM PRIOR TO INSTALLATION.
 18. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE MOBILE CM UPON FINAL ACCEPTANCE.
 19. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
 20. DISCONNECT SWITCHES SHALL BE UL-RATED, N.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
 21. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDANT COMPOUND KNOWN AS "DOWDENE" OR EQUIVALENT. CHEMICAL CO. COATING SHALL BE USED ON ALL CONNECTIONS. ALL CONNECTIONS SHALL BE MADE WITH UL-RATED, N.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
 22. RACEWAYS: CONDUIT SHALL BE SCHEDULE 80 PVC MEETING OR EXCEEDING NEMA EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS 200 LBS. TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RIGID CONDUITS WHEN SPECIFIED SHALL MEET UL-6 FOR GALVANIZED STEEL OR UL-514 FOR ALUMINUM. CONDUIT SHALL BE USED FOR ALL RIGID CONDUIT. COAT ALL THREADS WITH WHITE ZINC OR COLORED GALV. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
 23. CONDUCTORS: CONTRACTOR SHALL USE 95% CONDUCTIVITY COPPER WITH TYPE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
 24. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE-TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
 25. SERVICES: AS SPECIFIED ON THE DRAWINGS, OWNER OR OWNER'S AGENT WILL BE RESPONSIBLE FOR ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
 26. TELEPHONE OR FIBER SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
 27. ELECTRICAL AND TELCO/FIBER RACEWAYS TO BE BURIED A MINIMUM DEPTH OF 30", UNLESS OTHERWISE NOTED.
 28. CONTRACTOR SHALL PLACE 6" WIDE DETECTABLE WARNING TAPE AT A DEPTH OF 6" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE RACEWAYS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELCO/CM".
 29. ALL BOLTS SHALL BE 3-16 STAINLESS STEEL.

- GROUNDING NOTES:
1. ALL HARDWARE SHALL BE 3-16 STAINLESS STEEL, INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND, AS SPECIFIED, BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8" INCH DIAMETER OR LARGER.
 2. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM PLAT WASHER BETWEEN LUG AND STEEL. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
 3. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
 4. ALL ELECTRICAL AND GROUND AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.
5. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
 6. GROUND ALL ANTENNA BASES, FRAMES, CABLE RIMS, AND OTHER METALLIC COMPONENTS USING #6 GROUND WIRE. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
 7. ALL GROUND CONNECTIONS SHALL BE #6 AWG, UNLESS OTHERWISE NOTED. ALL WIRE SHALL BE COPPER WITH THIN, UNLESS OTHERWISE NOTED. ALL GROUND WIRE SHALL BE SOLID 1/4" COATED OR STRANDED GREEN INSULATED WIRE.
 8. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. 10 OHMS MAXIMUM PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE MOBILE CM.
 9. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
 10. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE/ 6" BELOW FROST-LINE IN TRENCH, UNLESS OTHERWISE NOTED. BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT/ENGINEER.
 11. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
 12. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - 12A. RNDY, HY-GRADE U.L. LISTED CONNECTORS FOR OUTDOOR USE OR AS PROVIDED BY APPLICANT PROJECT MANAGER, CADWELD, EXOTHERMIC WELDS (WEILED CONNECTIONS).
 - 12B. ONE (1) HOLE TAPPED COPPER COMPRESSION (LONG BARREL) FITTINGS.
 13. ALL GAPPED CONNECTIONS SHALL HAVE EXPOSED MANUFACTURER'S DEMARK VISIBLE AT THE GRIP (RESULTING FROM USE OF PROPER CRIMPING DEVICES) AND WEATHER-PROOFED WITH HEAT SHRINK.
 14. ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO MAGNETS). ELECTRICAL SERVICE EQUIPMENT GROUND SHALL COMPLY WITH NEC, ARTICLE 250-42 AND SHALL BOND ALL (E) AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS.

- TESTING AND EQUIPMENT TURN UP REQUIREMENTS:
1. RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HALL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
 2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HALL EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
 3. CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
 4. ALL PERSONNEL INVOLVED IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HALL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE PROPER TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HALL EQUIPMENT.
 5. ALL TEST RESULTS SHALL BE TIME STAMPED, RECORDED AND PRESENTED PRIOR TO ENERGIZING AND TURN UP OF ANY EQUIPMENT.
 6. GPS EQUIPMENT IS NOT TO BE TESTED OR ATTACHED TO ANY CABLING DURING TESTING, DONE SO WILL DAMAGE THE GPS UNIT.
 7. PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING PROCEDURES THEY ARE TO CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED DESIGNATED TESTING REPRESENTATIVE.
 8. EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED, APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVES APPROVAL TO ENERGIZE THE EQUIPMENT.
- SITE WORK NOTES:
1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
 2. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
 3. ALL (E) UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING (E) UTILITIES.
4. CONTRACTOR SHALL VERIFY ALL (E) UTILITIES BOTH HORIZONTALLY AND VERTICALLY AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILE CM FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INFORMATION AND CORRECT DISCREPANCIES SHALL BE CONSIDERED A WAIVER OF EXPENSE. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATE HOT LINE, SUCH AS 811, FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
 5. ALL NEW AND (E) UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL GRADING. ALL STRUCTURES SHALL BE ADJUSTED TO ADJUSTING (E) STRUCTURES SHALL BE DONE SOLELY BY THE CONTRACTOR.
 6. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO (E) GRADES AT THE GRADING LIMITS.
 7. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

	
	
PROJECT NO: 8798260C	
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1 09/20/17 CLIENT COMMENTS	
0 09/20/17 CONSTRUCTION WARNING	
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SF930S0CIC WOODLAND, CA 95665 M STEEL LIGHT POLE	
SHEET TITLE GENERAL NOTES	
SHEET NUMBER GN-2	

CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SUBBASING AND RESTORED TO THE SAME THICKNESS AND COMPACTION.

19. (c) GRAVEL SURFACING MAY NOT BE REUSED.
20. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIALS. GRAVEL SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
21. PROTECT (E) GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT, TOOLS, OR MATERIALS ARE PLACED. ALL PLANNING MATS OR OTHER SUITABLE PROTECTION SHALL BE USED TO PROTECT THE SURFACE FROM DAMAGE TO CORROSION, CORROSIONS AND WAVES.
22. DAMAGE TO (E) STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AND/ OR REPAIRED TO THE OWNERS' SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
23. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLINED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.

Intelligent Infrastructure

1572 N. BATAVIA ST., STE. 10
ORANGE, CA 92667

PROJECT NO: 8-F-98

CHECKED BY:

0	09/08/17	CONSTRUCTION DRAW
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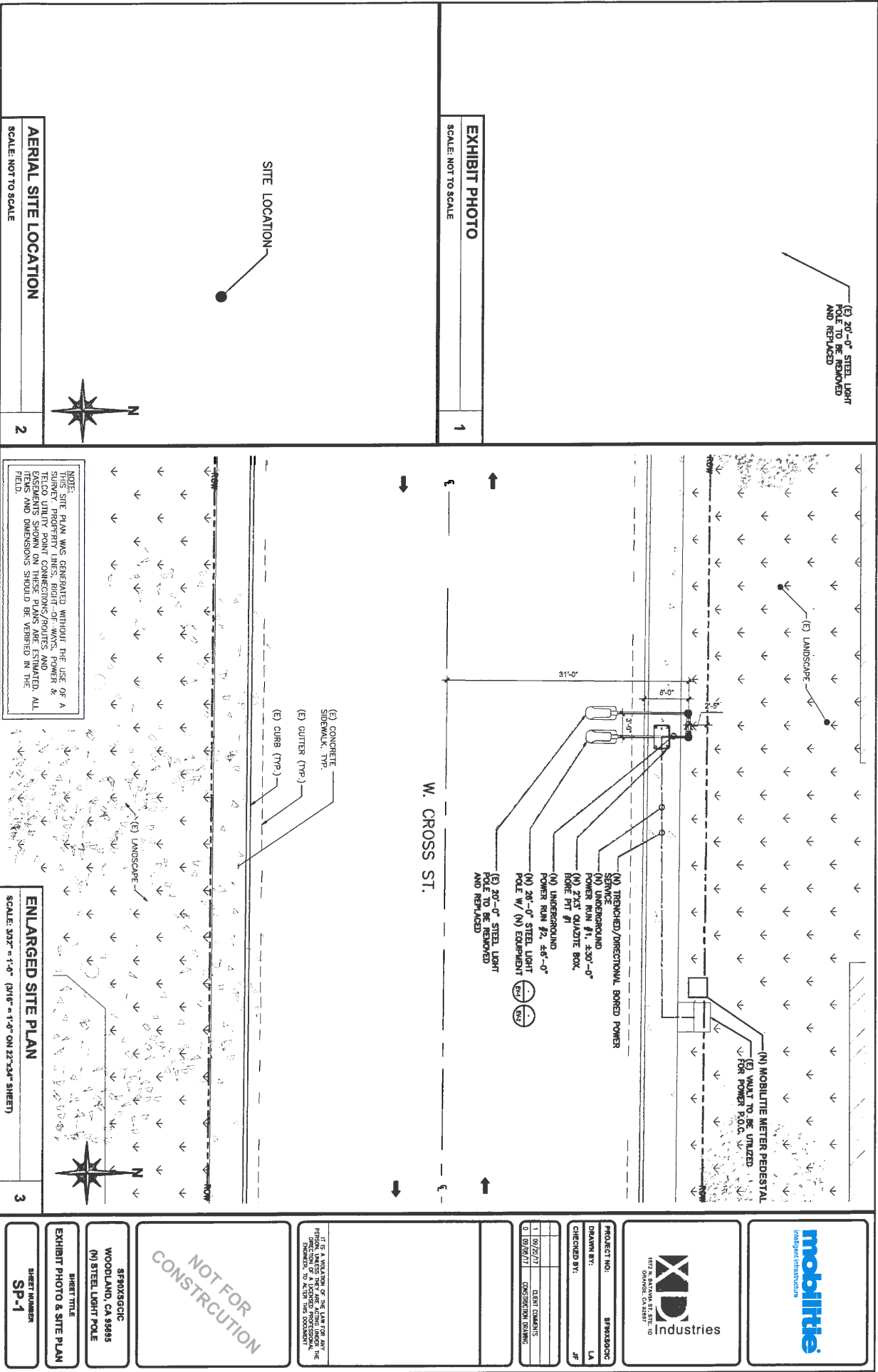
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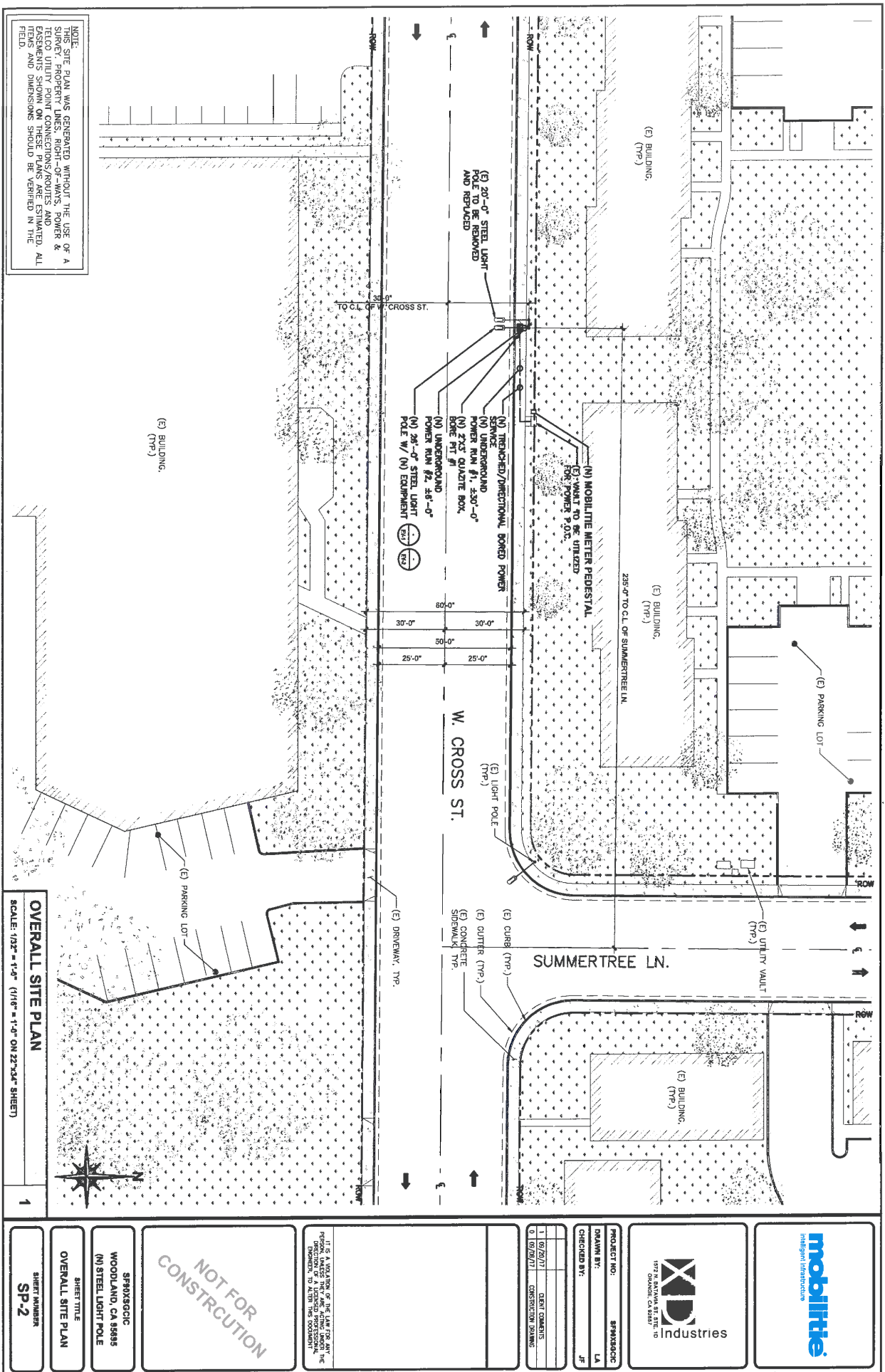
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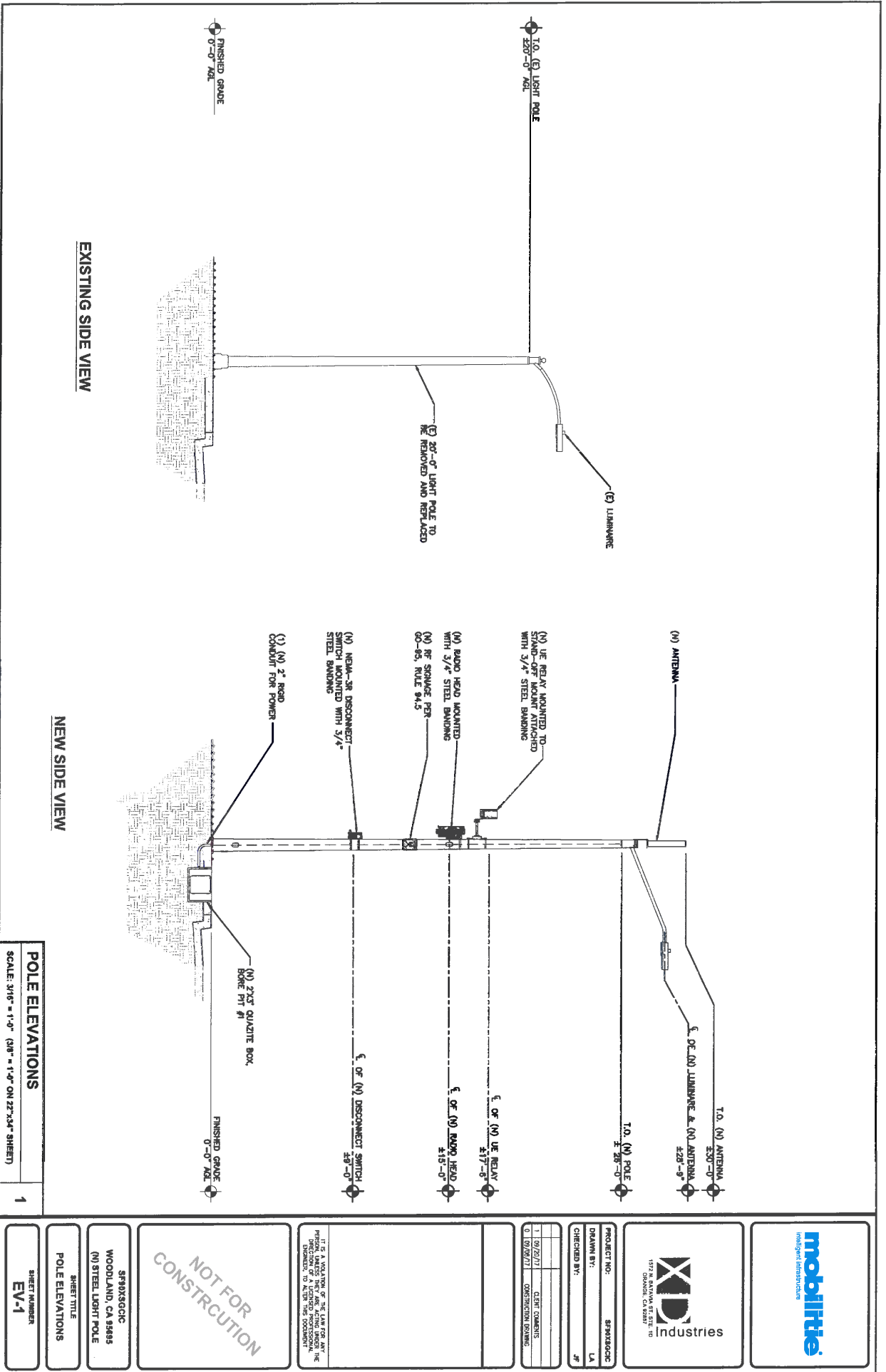
(N) STEEL LIGHT POLE

GENERAL NOTES

GN-3



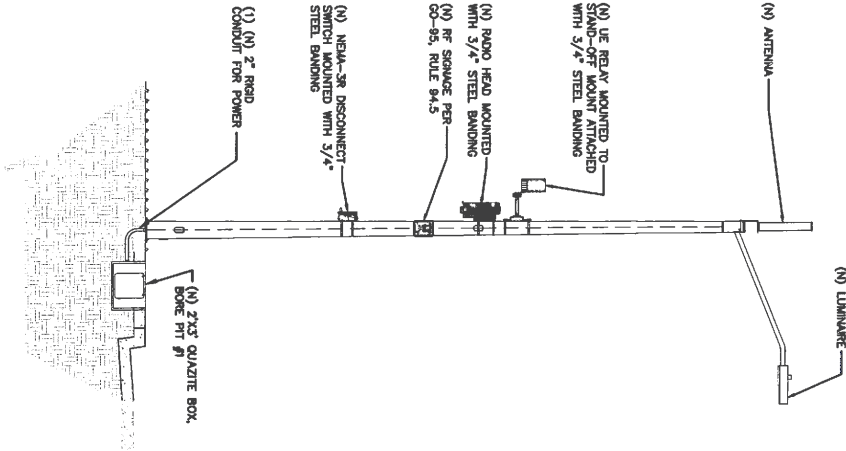




NOTE:
1. CABLEING DIAGRAM IS FOR QUANTITY OF CABLE ROUTE AND TERMINATION ONLY. CONTRACTOR SHALL INSTALL CABLES WITH MINIMAL VESSEL WEIGHT. (N) STEEL LIGHT POLE. ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

CABLING NOTES:

- WOOD, CONCRETE AND EXISTING METALLIC POLES TO BE USED FOR CABLE ROUTING. ALL CABLES/CONDUCTORS EXCEPT POWER CONDUIT MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS) MUST BE INSTALLED IN PVC.
- IN EARTH INSTALL PVC CONDUIT FOR BACKHAUL AND ELECTRICAL SERVICE. TRANSITION TO RGS AT GRODE LINE.
- ABOVE 11'-0" ALL CABLES (POWER, ETHERNET, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER. (1) AT MAJOR EQUIPMENT, EXTEND UTILITY DUCT IMMEDIATELY ADJACENT TO THE EQUIPMENT. INSTALL CABLES WITHIN 12" OF THE EQUIPMENT. (2) AT MAJOR DRAIN LOOPS NOT LESS THAN THE CABLE BENDING RADIUS.
- INSIDE THE UTILITY POLE RISER, UTILIZE 1/2" COAX BLOCKS WITH LAG SCREWS TO SUPPORT COAX RADIO EQUIPMENT. COAX BLOCKS MUST BE SPACED TO WITHIN 12" OF THE EQUIPMENT BEING SERVED AND ON INTERVALS NOT TO EXCEED 6'.
- FOR UNDERGROUND HFC/PUBLIC BACKHAUL, ROUTE ETHERNET CABLE IN CONDUIT UP THE POLE AND ENTER CONDUIT WITH CABLE TERMINATION RITING.
- BY APPROVAL, IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX (ADSB) (REQUIRED) INSTALLED IN UTILITY POLE W/ AC DISTRIBUTION BOX ON OPPOSITE SIDE OF POLE.
- (N) METALLIC POLES WITH SUITABLE HAND HOLES SUCH THAT HAND HOLES EXIST AT ALL EQUIPMENT LOCATIONS.
- PROCURE (N) POLES WITH SUITABLE HAND HOLES (1) WITH CLIENT APPROVAL, IN SELECT CASES TO FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL CABLES MAY BE "SUPERFLEX" IN USE OF LDF-4.
- WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL FEED AND BACKHAUL (IF UNDERGROUND) CABLES AND CONDUITS ARE SEPARATE FROM THE AC DISTRIBUTION MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY. WITH APPROVAL, IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.



PLUMBING DIAGRAM

SCALE: 3/16" = 1'-0" (3/8" = 1'-0" ON 27"x34" SHEET)

1

BILL OF MATERIALS			
QUANTITY	DESCRIPTION	CABLE LENGTH	DIMENSIONS (HxWxD)
1	ALPHA WIRELESS AW3477-S1-G 6MM DIRECTIONAL ANTENNA	TBD	29.5" X 4.7"
1	AIRSPAN IR460 UE RELAY	TBD	7" X 13"
1	AIRSPAN AIR 4000 REMOTE RADIO HEAD	TBD	9.7" X 12.9" X 6.3"
1	SIEMENS GW7218 NEUA TYPE-3R DISCONNECT SWITCH	TBD	8.25" X 7.68" X 3.125"
4	MILWAUK CP941115422		24 LBS

BILL OF MATERIALS

SCALE: NOT TO SCALE

2

NOT USED

SCALE: NOT TO SCALE

3

mobiletite
Intelligent Infrastructure



PROJECT NO: 87903600C
DRAWN BY: LA
CHECKED BY: JF

1 09/20/17 CLIENT COMMENTS
8 10/26/17 CONSTRUCTION DRAWING

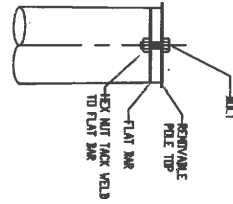
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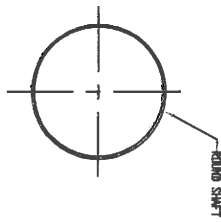
S7903600C
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

SHEET TITLE
PLUMBING & RISER DIAGRAM

SHEET NUMBER
PL-1



TIP CAP



ROUND POLE

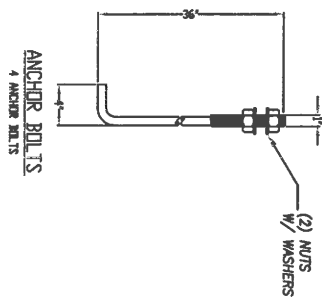
MATERIAL
 POLE SHAFT A-572 GR55
 HANDLE FRAME A-500
 BASE PLATE A-572 GR50
 PILE TIPS A-36
 ANCHOR BOLTS F1554 GR55
 HANDLE COVERS A-36

POLE WEIGHT 430 LBS

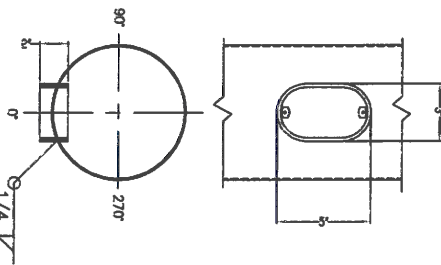
GENERAL NOTES:
 FINISH HOT DIPPED GALVANIZED
 SHAFT IS ROUND

MOBILITE
 CLARKDUNTY
 WT 430 LB
 CHM 17-14XX

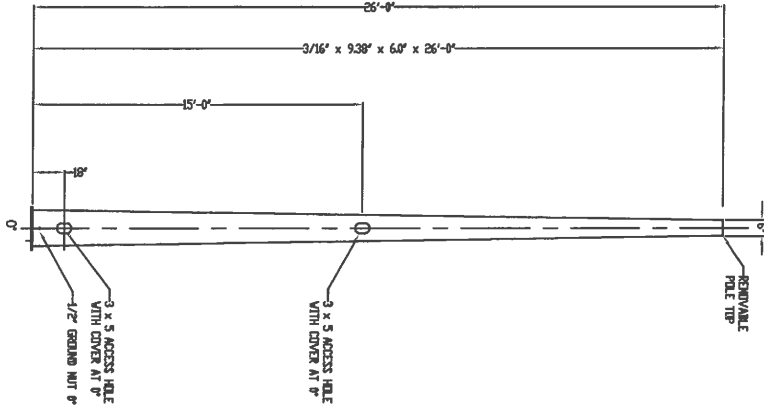
IDENTIFICATION PLATE
 3/8" LETTERS



3 X 5 ACCESS HOLE
 WITH COVER



(ANCHOR-BASE)



POLE DETAILS	
SCALE: NOT TO SCALE	2

PROJECT NO: 879430-00C
 DRAWN BY: LA
 CHECKED BY: JF

1 09/20/17 CLIENT COMMENTS
 0 09/20/17 CONSTRUCTION DRAWING

IT IS A REQUIREMENT OF THE CALIFORNIA FIRE MARSHAL'S OFFICE THAT ALL PERSONS UNLESS THEY ARE ACTING UNDER THE AUTHORITY OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, OR OTHER PROFESSIONAL, TO ALTER OR MODIFY ANY OF THE INFORMATION CONTAINED HEREIN.

NOT FOR CONSTRUCTION

SFPOXSG00C
 WOODLAND, CA 95695
 (M) STEEL LIGHT POLE

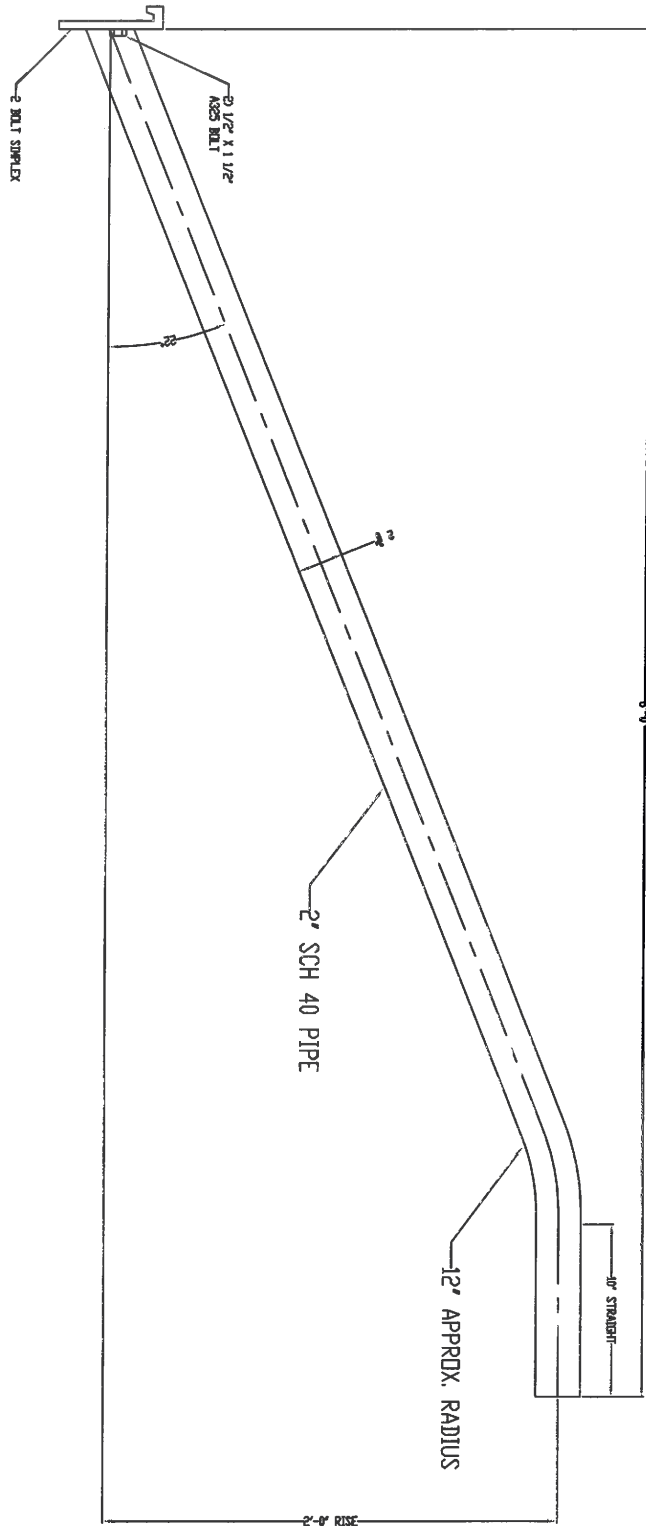
SHEET TITLE
 POLE DETAILS

SHEET NUMBER
 EQ-2

MATERIAL
 PIPE A-53 DR A-500
 2 BOLT SIMPLEX CASTING A27

WEIGHT 25 LBS

GENERAL NOTES
 FINISH HOT DIPPED GALVANIZED



POLE DETAILS
 SCALE: NOT TO SCALE
 2



PROJECT NO. SPK0000000
 DRAWN BY: LA
 CHECKED BY: JF

1 09/20/17 CLIENT COMMENTS
 2 09/20/17 CONSTRUCTION DRAWING

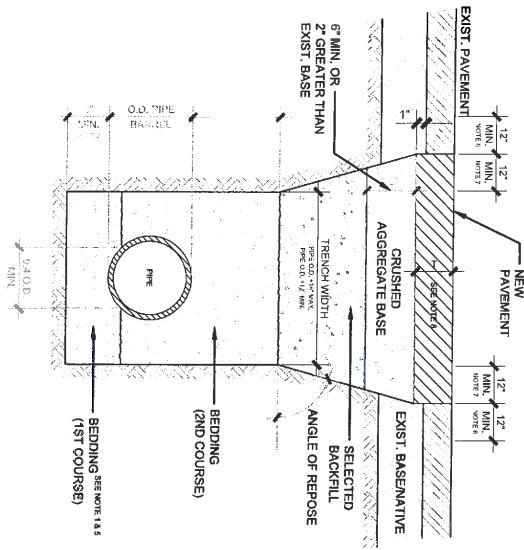
IT IS A CONDITION OF THIS CONTRACT THAT THE USER OF ANY PRODUCT OR SERVICE PROVIDED BY MOBILETTE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NOT FOR CONSTRUCTION

SPK0000000
 WOODLAND, CA 95666
 (N) STEEL LIGHT POLE

SHEET TITLE
 LUMINAIRE ARM SPECS

SHEET NUMBER
 EQ-3



- NOTES**
1. BEDDING MATERIAL SHALL FIRST BE PLACED SO THAT THE PIPE IS SUPPORTED FOR FULL LENGTH OF THE BARREL WITH FULL BEARING (0.4 O.D. MIN.).
 2. IN CASES WHERE NATIVE FREE-DRAINING GRANULAR MATERIAL IS SUITABLE FOR USE AS BEDDING MATERIAL, IT SHALL BE PLACED TO A POINT ABOVE THE INVERT GRADE AND THE TRENCH BOTTOM MATERIAL SHALL BE COMPACTED SO THAT THE BOTTOM SEGMENT OF THE PIPE IS FULLY SUPPORTED ON UNDISTURBED MATERIAL.
 3. IF THE MAXIMUM TRENCH WIDTH IS EXCEEDED, ADDITIONAL BEDDING, ANOTHER TYPE BEDDING, OR HIGHER STRENGTH OF PIPE SHALL BE PROVIDED AS DETERMINED BY THE ENGINEER.
 4. BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION WITHIN THE TRENCH AND TO A MINIMUM OF 95% RELATIVE COMPACTION OUTSIDE THE TRENCH. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION SHALL APPLY.
 5. BEDDING MATERIAL SHALL BE SAND.
 6. BEDDING AND BACKFILL SHALL BE IN TWO COURSES, ASPHALT BASE COURSE PLUS ADDITIONAL MINIMUM WIDTH OF EXISTING PAVEMENT SHALL BE MAINTAINED. BEDDING SHALL BE PLACED SO AS TO RESULT IN A MINIMUM FINISH SURFACE THICKNESS OF 1.5" AND RESERVE AN INCH CUT AND REMOVE 1/2" TO CREATE A STRAIGHT EDGE PRIOR TO INSTALLING A.C. BASE COURSE.
 7. BASE COURSE - C24R-4000
 8. FINISH THICKNESS - EXIST. 4" WITH A 4" MIN. FOR A.C. OR 6" MIN. FOR P.C.C.
 - MIN 1.5" THICK FINISH COURSE = D24R-4000

TRENCH SECTION DETAIL
SCALE: NOT TO SCALE

NOT USED
SCALE: NOT TO SCALE

Intelligent Infrastructure

1577 N. MAINWAY ST. STE. 110
WOODLAND, CA 95691

PROJECT NO: SPW0303C
DRAWN BY: LA
CHECKED BY: JF

NO.	DATE	DESCRIPTION
1	09/29/17	CLIENT COMMENTS
2	10/09/17	CONSTRUCTION DRAWING

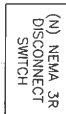
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, FIRM OR ENTITY TO REPRODUCE, COPIY, OR ALTER THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF XID INDUSTRIES.

NOT FOR CONSTRUCTION

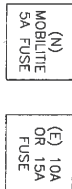
SPW0303C
WOODLAND, CA 95695
(M) STEEL LIGHT POLE

SHEET TITLE
EXCAVATION DETAILS

SHEET NUMBER
EX-1



FINISHED GRADE



SCALE: NOT TO SCALE

1



SCALE: NOT TO SCALE

1

- ## Airtran Scenario 2 AH4000 High Power Radio and UE Backhaul

AllHarmony 4000	LTE Base Station	540	4.50	0.54	4730.4
Altspan IR460	UE Relay	N/A	N/A	N/A	N/A
Total		540	4.50	0.54	4730.4

SCALE: NOT TO SCALE

•



CLIENT COMMENTS	
1	09/20/17
0	09/08/17

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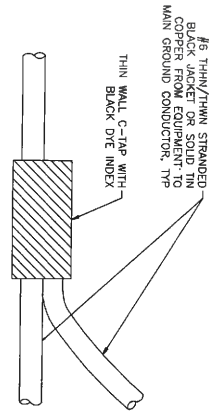
NOT FOR
CONSTRUCTION

SHEET TITLE
ELECTRICAL

5F90XSGCIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

SHEET NUMBER

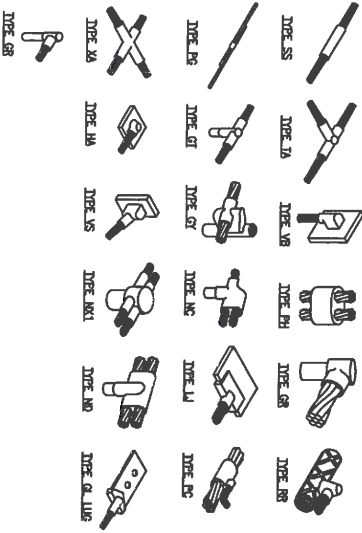
NOTE:
CONTRACTOR TO SURROUND COMPLETED
CONNECTION WITH HEAT-SHRINK TUBING TO
ENSURE WEATHER PROOF CONNECTION



C-TAP DETAIL

SCALE: NOT TO SCALE

1

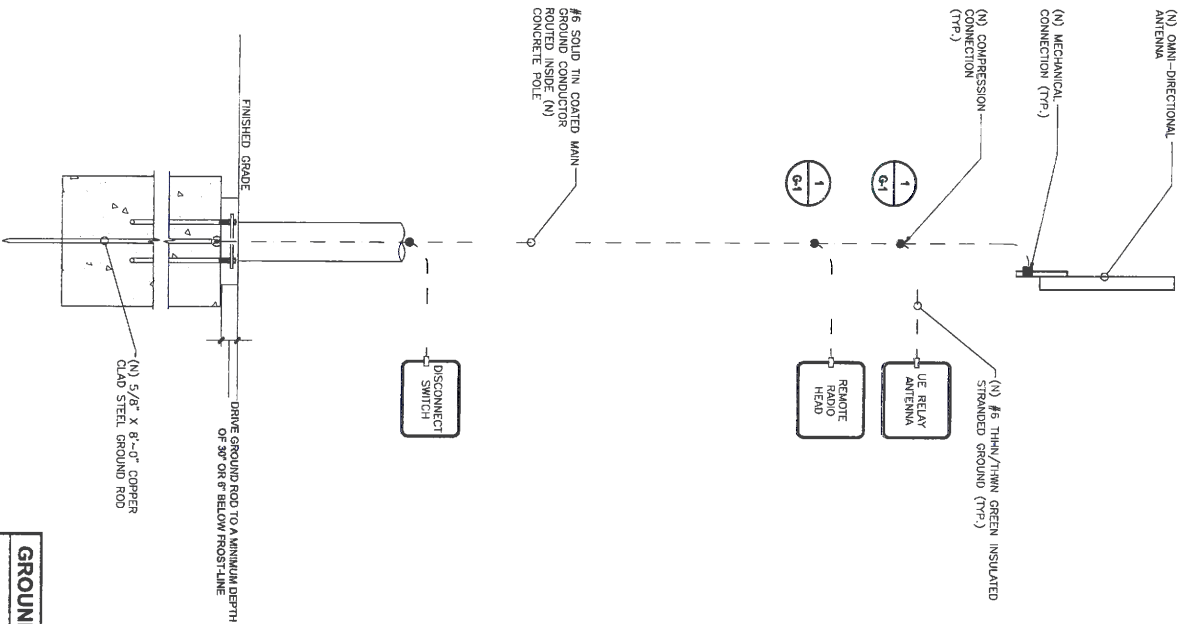


1. GROUNDING BONDS: ALL BONDS ARE TO BE MADE WITH #2 AWG STRANDED COPPER IN BLACK INSULATION. (ATT-TP-76418 7, 6.7)
2. EXTERIOR UNIT BONDS: ALL METALLIC OBJECTS SHALL BE BONDED TO THE GROUND ROD. (ATT-TP-76418 7, 12.6)
3. GROUND ROD: UNLISTED COPPER CLAD STEEL GROUND ROD WITH MINIMUM DIAMETER OF 5/8" STEEL LENGTH OF 8 FEET. ALL GROUND RODS MAY BE INSTALLED WITH INSPECTION SLEEVES ON THE ROD. ALL RODS SHALL BE DRIVEN TO A MINIMUM DEPTH OF 30" BELOW GRADE OR 6 INCHES BELOW FROST LINE. (ATT-TP-76418 1.4 / 2.2, 3, 10)

WELD CONNECTION DETAILS

SCALE: NOT TO SCALE

2



●	COMPRESSION CONNECTION	GROUND
■	MECHANICAL CONNECTION	WIRE
TT	COPPER GROUND BATH (GB)	GROUND
⊕	5/8" Ø COPPER GALD STEEL GROUND ROD	

- NOTES:**
1. GROUNDING RISER FOR DIAGRAMATIC PURPOSES ONLY. SEE ELEVATION DRAWING FOR RISER TO BE GROUNDING AT BOTH ENDS.
 2. ALL RISER TO BE GROUNDING AT BOTH ENDS.
 3. GROUND WIRE BELOW 11' AEL TO BE RUN IN 1/2\"/>

GROUNDING RISER DIAGRAM

SCALE: NOT TO SCALE

3

mobile
Intelligent Infrastructure

Industries
1832 N. BAYVIEW ST. STE. 10
DANFORTH, ONTARIO

PROJECT NO: 5790XSGC
DRAWN BY: LA
CHECKED BY: JF

1 09/20/17 CLIENT COMMENTS
0 09/20/17 CONSTRUCTION DRAWING

IT IS A REQUIREMENT OF THE CITY OF WOODLAND THAT ALL PERSONS, FIRMS, INDIVIDUALS, OR BUSINESSES, WHOSE PROJECTS ARE SUBJECT TO THE CITY OF WOODLAND'S DEVELOPMENT REVIEW PROCESS, TO REVIEW THE PROJECT.

NOT FOR
CONSTRUCTION

5790XSGC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1

FOODS/STAFF NOTES: PEDESTRIANS WILL BE ASSIGNED THE RESPONSIBILITY OF BEING EDUCATED AND TRAINED TO BE RESPONSIBLE FOR THE WORK AREA IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:

1. PEDESTRIANS SHOULD NOT BE LED INTO DIRECT CONFLICT WITH WORK SITE VEHICLES, EQUIPMENT OR OPERATIONS.
2. PEDESTRIANS SHOULD NOT BE LED INTO DIRECT CONFLICT WITH MAINTENANCE TRAFFIC MOVING THROUGH OR AROUND THE WORK SITE.
3. PEDESTRIANS SHOULD BE PROVIDED WITH A REASONABLE SAFE, CONVENIENT AND ACCESSIBLE PATH THAT REGULATES AS NEARLY AS PRACTICAL, THE MOST DESIRABLE CHARACTERISTICS OF THE EXISTING SIDEWALK OR FOOTPATH.

DIMENSIONS	FEET
A (DISTANCE BETWEEN SHIS)	250
B (MINIMUM WELDING TAPER 1/2")	180
C (MINIMUM SHELING TAPER 1/2")	245
E (BRIEFER SPACE)	205
EXCAVATION DATA IN CITY RIGHT OF WAY	
EXCAVATION IN DRAINAGE DRAINAGE	60.50 FT
EXCAVATION IN ASPHALT STREET	0.50 FT
TOTAL EXCAVATION	65.50 FT

WORK HOURS: 9:00 A.M. TO 3:00 P.M. MON - FRI
CROSS STREET: W. CROSS ST. & SUMMERTREE LN.
WORK TYPE: UTILITIES
NEAREST ADDRESS: 406-498 W CROSS ST. WOODLAND, CA 95695

LINE TYPE LEGEND	
—————	CENTER LINE
-----	LANES
-----	GUTTER
=====	CURB/SIDEWALK



1572 N. GATWAY ST., STE. 10
ORANGE, CA 92667

PROJECT NO:	SF90XSGC10
DRAWN BY:	LA
CHECKED BY:	JF

1	09/20/17	CLIENT COMMENTS
0	09/06/17	CONSTRUCTION DRAWING

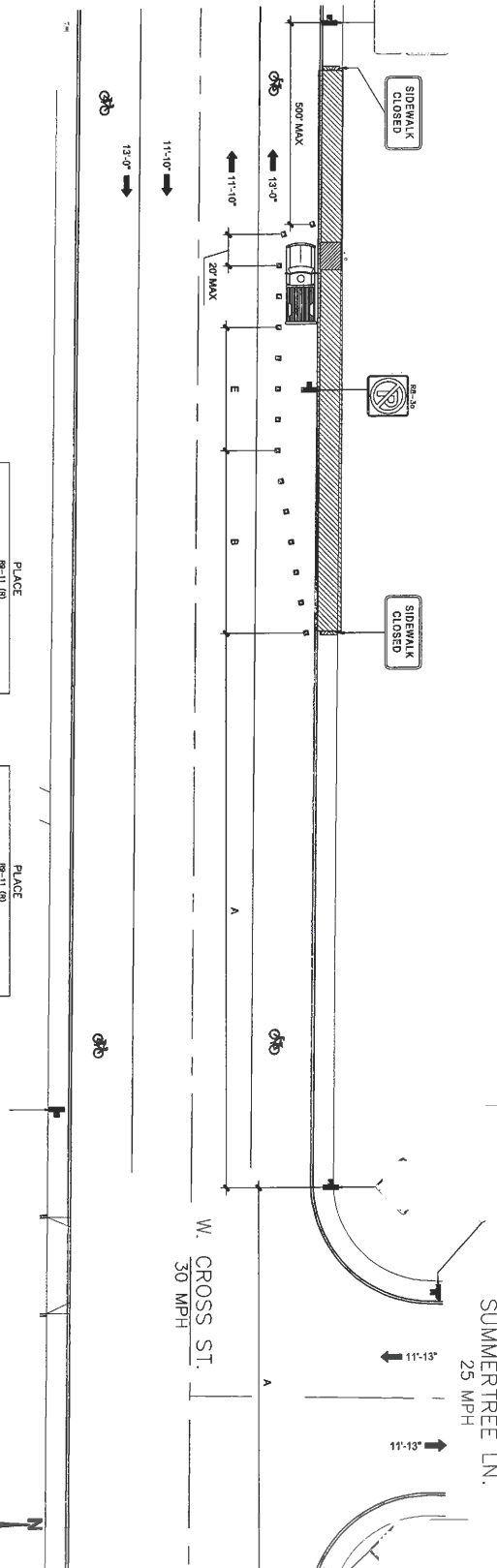
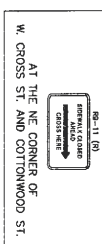
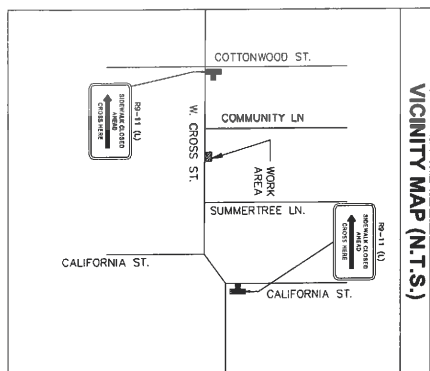
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

NOT FOR
CONSTRUCTION

SF90XSGCIC
WOODLAND, CA 95695
(N) STEEL LIGHT POLE

SHEET TITLE
TRAFFIC CONTROL NOTES

SHEET NUMB
TC-1



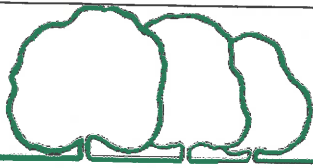
- [illegible]

LEGEND

- | | | |
|---|---|----------------|
|  | = | TRAFFIC CONE |
|  | = | WORK AREA |
|  | = | TYPE 3 BARRICA |
|  | = | PORTABLE SIGN |
|  | = | ARROW BOARD |
|  | = | WORK VEHICLE |

THE UNITED STATES SUPREME COURT HAS FOR THE FIRST TIME CONSIDERED WHETHER A CONTRACTOR MAY BE OTHER THAN THE CONTRACTING COMPANY. ON THESE PLANS, THE DESIGNER/DIRECTOR ASSUMES NO RESPONSIBILITY FOR THE DESIGN AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PLANS AND SPECIFICATIONS OF THE WORK. ALL PLANS SHALL BE MADE TO THE CONTRACTOR'S DESIRE. THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ATTACHMENT 2



City of Woodland

Community Development Department
300 First St, Woodland CA 95695
(530) 661-5820 Fax (530) 406-0832
www.cityofwoodland.org

General Application Form

1. Owner/Applicant

PROPERTY OWNER:

N/A Project Site Location is public right-of-way

MAILING ADDRESS:

N/A Project Site Location is public right-of-way

CITY STATE ZIP CODE:

N/A Project Site Location is public right-of-way

PHONE NUMBER:

N/A Project Site Location is public right-of-way

E-MAIL ADDRESS:

N/A Project Site Location is public right-of-way

PROJECT APPLICANT

Mobilitie, LLC

MAILING ADDRESS:

2955 Red Hill Ave. Suite 200

CITY STATE ZIP CODE:

Costa Mesa, CA 92626

PHONE NUMBER:

(530) 906-1233 - Permitting Manager, David Griffith

E-MAIL ADDRESS:

david.griffith@mobilitie.com

2. Application Requested

- | | | |
|---|--|---|
| ☐ General Plan Petition | ☐ Zoning Amendment | ☐ General Plan Amendment |
| ☐ Tentative Subdivision Map | ☐ Tentative Parcel Map | ☐ Lot Line Adjustment |
| ☐ Site Plan Review | ☐ Design Review | ☐ Sign Design Review |
| ☒ Conditional Use Permit (CUP) | ☐ Zoning Administrator Permit | ☐ Variance |
| ☒ Public Convenience or Necessity | ☐ Other _____ | |

Is this request part of another application? ☐ Yes ☒ No If so, what? _____

3. Project Description

Project Name:

Mobilitie, LLC Hybrid Data Transport Network

Total Acres or Square Feet

Approximately 5 feet directional bore

Site address or location:

PROW near 120 W Lincoln Ave. Woodland, CA

Assessor's Parcel Number:

PROW near APN 065-280-039-000

Is Your Project Located in a Flood Zone?

☐ Yes ☒ No

Does this request include signage?

☐ Yes ☒ No

4. Justification for Request



On a separate sheet, explain in detail your request and why you believe your request is justified.

5. General Plan Amendment

Existing General Plan Designation	Gross Acres	Proposed General Plan Designation	Gross Acres
<u>Public right-of-way</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

6. Zoning Amendment

Existing Land Use Zone	Gross Acres	Proposed Land Use Zone	Gross Acres
<u>Public right-of-way</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

7. Residential Development

No. of residential units are being requested? 0 No. of lots will be created by this project? 0

Single Family _____ Half-plex _____ Do you intend to market the units for sale? ☐ YES ☒ No

Duplex _____ Apartments _____ Do you intend to market the units for rent? ☐ YES ☒ No

Condominiums _____ Other _____

Townhomes _____ Total Units _____

8. Commercial/Industrial Development

Indicate the type of commercial/industrial development proposed:

PROW Small Cell Equipment Installation

Indicate the gross and leasable square footage for each type of development:

N/A

9. Authority to File Application

Check one:

☐ Property Ownership ☐ Power of Attorney*

☐ Contract to Purchase* ☒ Other

Specify California CPCN - Public Utility Code 7901

*Attach Evidence of Authority

I hereby certify that the above information and accompanying documents are true and accurate to the best of my knowledge and acknowledge that the processing of this application may require additional fees and expenses for the preparation of necessary environmental documentation and planning studies. I certify that I have reviewed the current Hazardous Waste and Substances Site List, developed pursuant to AB 3750, and found that my project is not on the list.

APPLICATION WILL NOT BE ACCEPTED WITHOUT SIGNATURE OF LEGAL OWNER OR OFFICIAL AGENT

Date Received Stamp Here

Applicant: _____ Date _____

Legal Owner: _____ Date _____

Legal Owner: _____ Date _____

DEPARTMENT USE ONLY

Amount Paid: _____

Project No: _____

Amount Due: _____

Logged by: _____ Date: _____

GP / Zoning Designation: _____

Planner: _____ Date: _____

Existing

mobilitie
intelligent infrastructure

view from W. Cross Street looking east at site

9CAB01159C/SF90XSGCIC
W. Cross Street & Summertime Lane, Woodland, CA
Photosins Produced on 9-28-2017

Proposed



Existing



Proposed

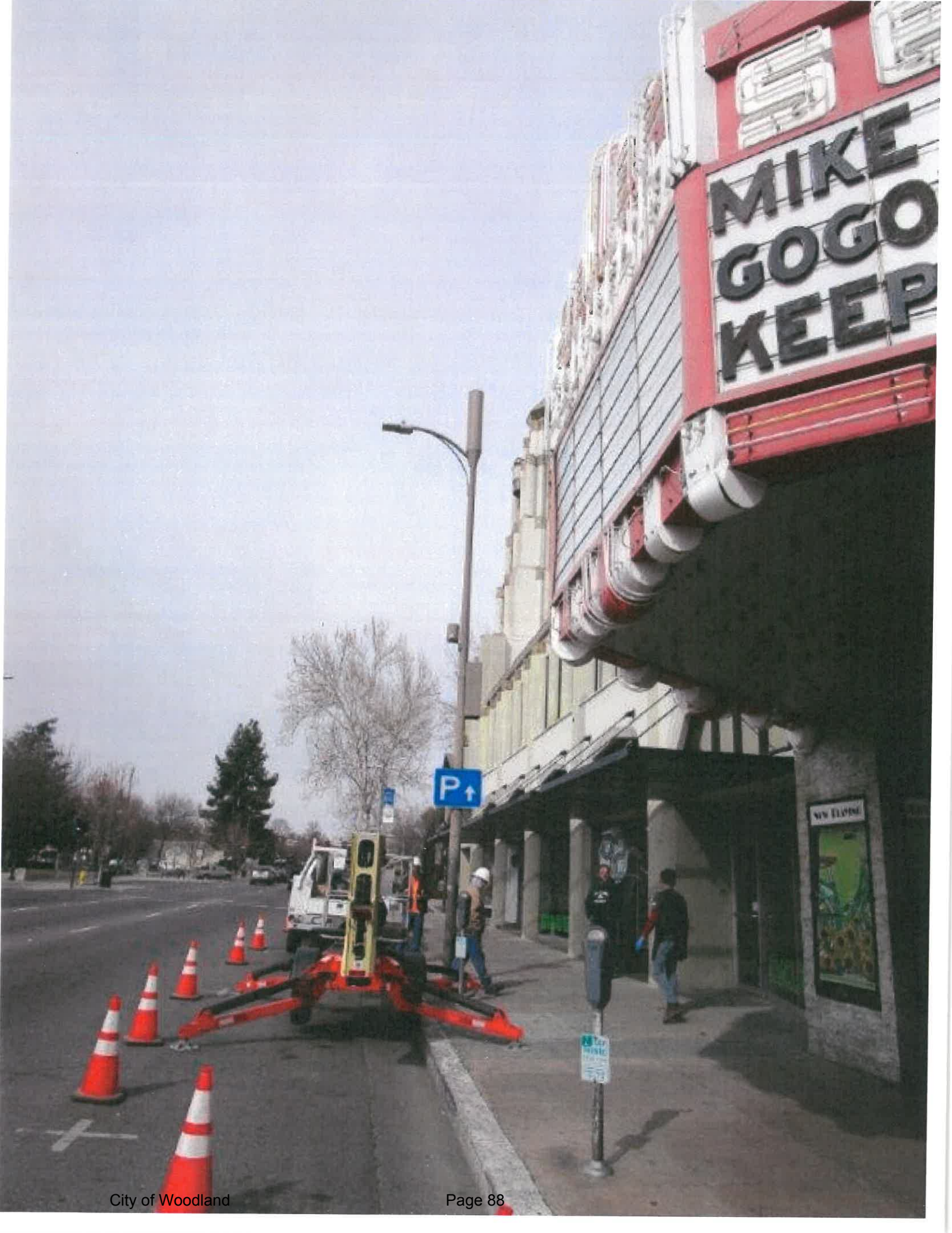


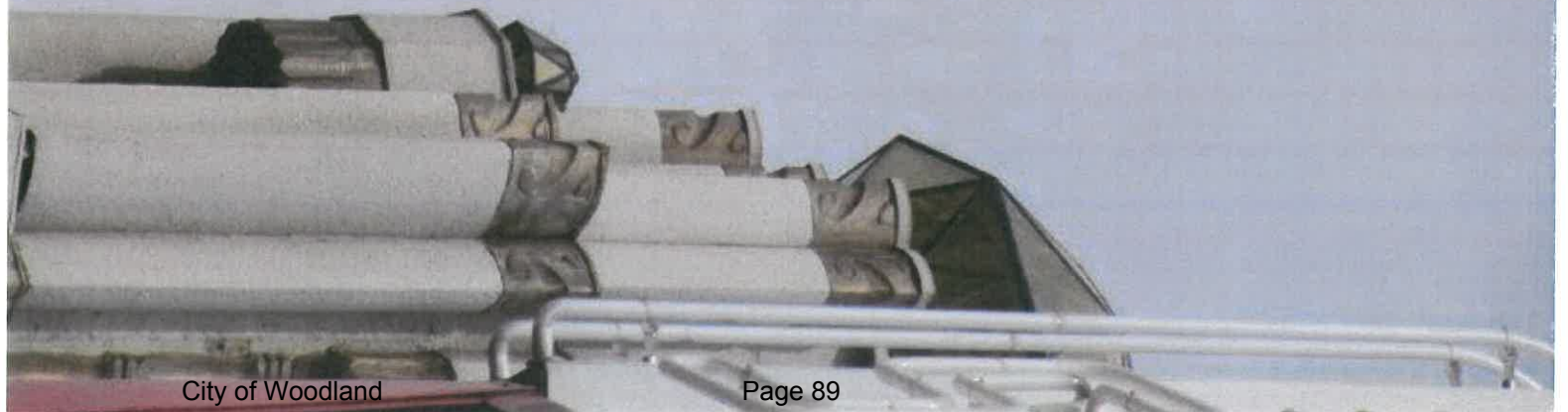
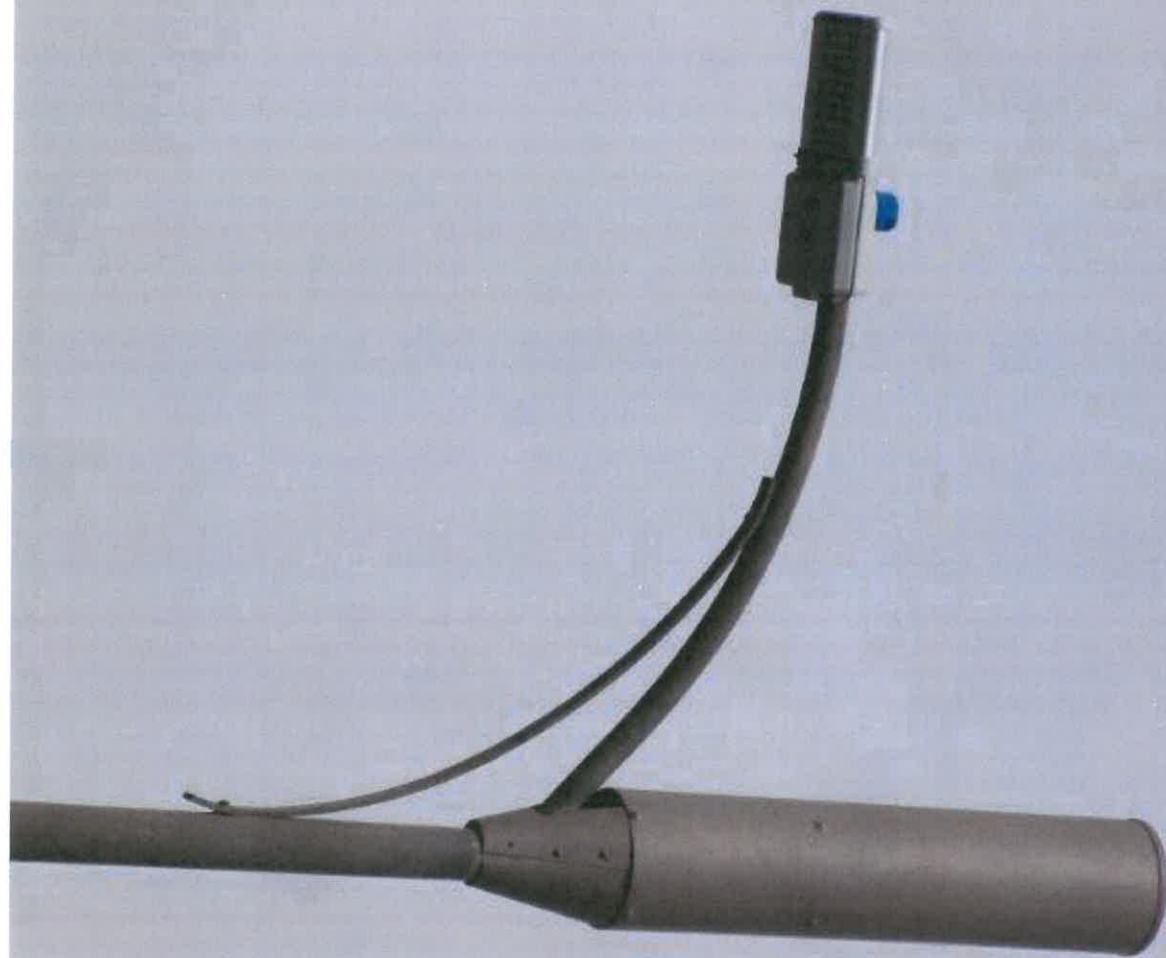
view from W. Cross Street looking west at site

AdvanceSim
Photo Simulation Solutions
Contact (925) 202-8507

mobilitie
Intelligent Infrastructure

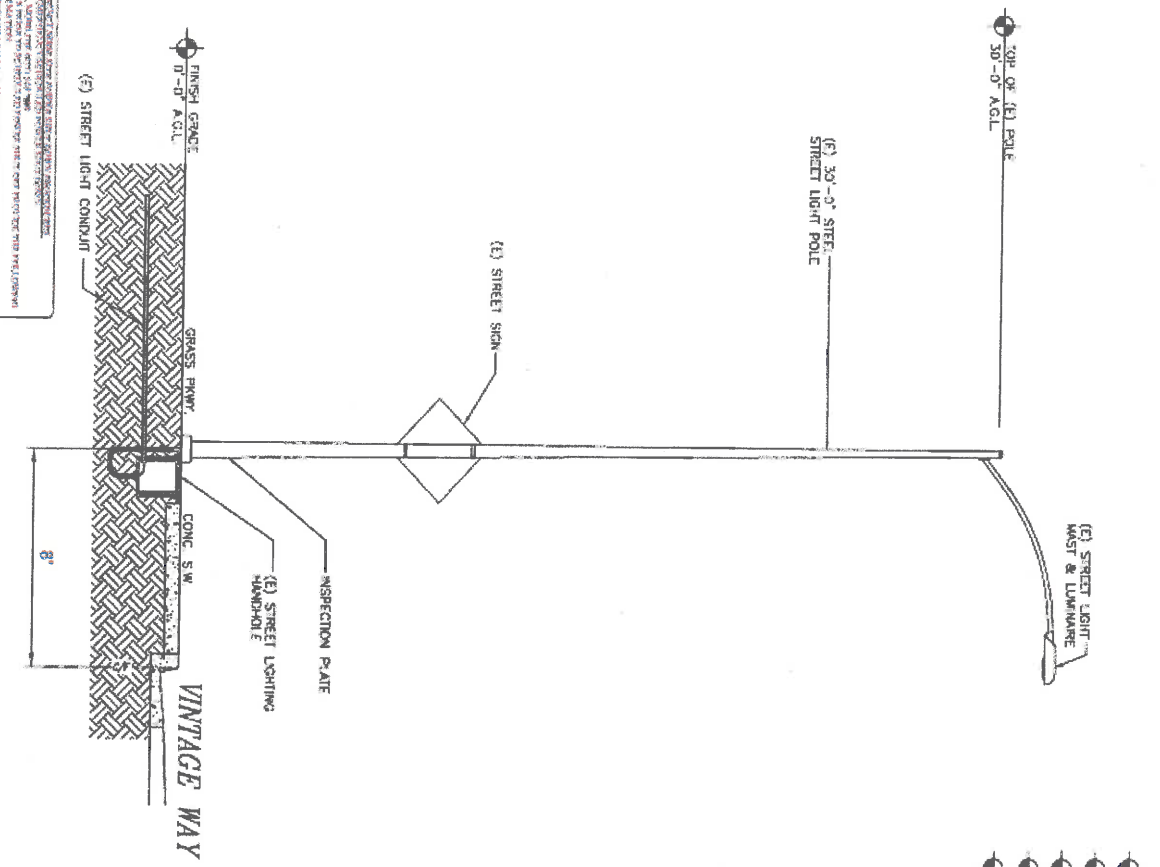
9CAB01159C/SF90XSGCIC
W. Cross Street & Summertree Lane, Woodland, CA
Photosims Produced on 9-28-2017



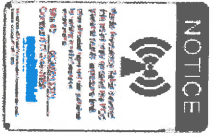
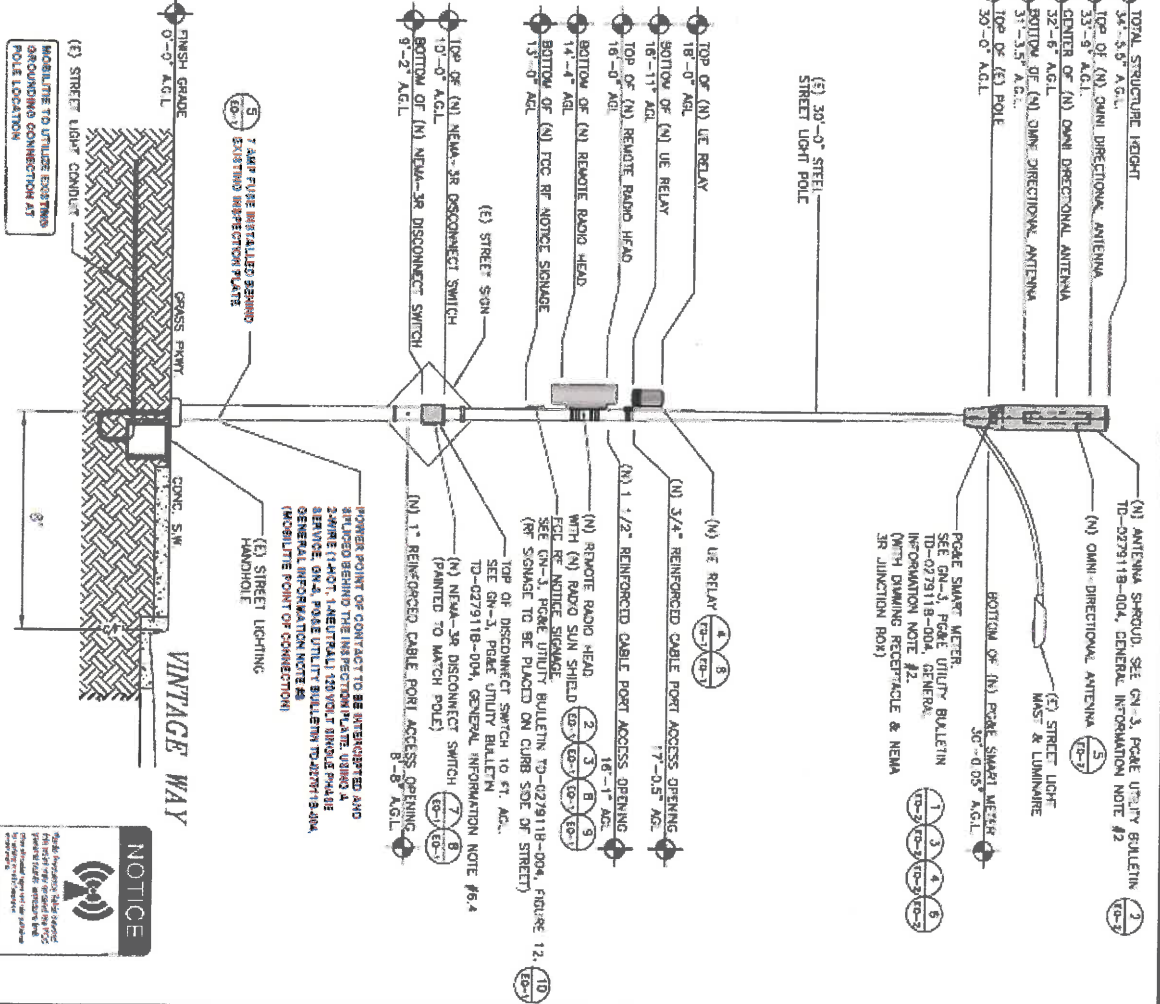


1. ALL HARDWARE SHALL BE STAINLESS STEEL.
2. ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
3. LIGHTNING RODS SHALL BE INCLUDED AS REQUIRED.
4. STRUCTURAL BACKFILL TO BE COMPACTED IN 8" MAXIMUM LAYERS TO 95% OF CONTENT IN ACCORDANCE WITH ASTM D698. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 100 POUNDS PER CUBIC FOOT (140 lb/m³).

EXISTING SIDE VIEW



NEW SIDE VIEW



POLE ELEVATIONS

SCALE: 1" = 8'

ATTACHMENT 3

3 Antenna Inventory

The Antenna Inventory shows all transmitting antennas on the site (see Table 2). This inventory was used by ATG to perform the software modeling of RF emissions. The inventory conforms with the submitted construction drawings which identifies the proposed mounting location of each antenna at the site. The exposure level is calculated for a person of height 6ft standing right below the devices at ground level.

Table 2: Antenna Inventory

Antenna ID	Carrier/Operator	Antenna Type	Frequency (MHz)	Technology	ERP (W)	Gain dBd	Mfg.	Model	Aperture (ft.)	Transmitter count	Horizontal Beam Width (deg)	Z (6 ft. above Ground)
1	Mobilitie	Omni	2496	LTE	172.58	6.35	Alpha Wireless	AW3477-S	2.5	2	360	20.8
2	Sprint	LTE Relay BH	2496	LTE	30.05	9.85	Airspan	Airspan iRelay (i460)	1.1	1	35	11.0

The table below details the operating power and Effective Radiated Power (ERP) for each carrier and frequency used in the modeling.

Frequency (MHz)	Power per Transmitter (Watts)	# of Transmitters	ERP (watts)
2496 (Omni)	20	2	172.58
2496 (UE Relay)	3.2	1	30.05

4 Modeling Summary and Assumptions

4.1 General Model Assumptions

The modeling was conducted using the antenna and radio maximum power values, while operating at full power with 100% duty cycle.

The site has been modeled with these assumptions to calculate the maximum RF energy density. ATG believes this to be a worst case analysis, based on data supplied by the OEMs and client. If actual power density measurements were made, ATG believes the real time measurements would indicate levels below those shown in the report.

5 Preparer Certification

I, Preparer, state that:

- I am an employee of ATG LLC that provides RF-EME safety and compliance services to the wireless communications industry.
- I have successfully completed 100s of RF-EME exposure studies and reports for various carriers.
- I am aware of the potential hazards from RF-EME exposures that would be classified "occupational" or "general public" under the FCC regulations.
- I am familiar with the FCC rules and regulations as well as OSHA regulations both in general and as they apply to RF-EME exposure.
- I have reviewed all the data related to the site and incorporated it into this study and Compliance Report such that the information contained in this report is true and accurate to the best of my knowledge.

David J. Semsarha

David Semsarha (RF Engineer)

Appendix A

Federal Communications Commission (FCC) Requirements

This appendix summarizes the policies, guidelines and requirements that were adopted by the FCC on August 1, 1996, amending Part 1 of Title 47 of the Code of Federal Regulations, and further amended by action of the Commission on August 25, 1997 (see 47 CFR Sections 1.1307(b), 1.1310, 2.1091 and 2.1093, as amended). Commission actions granting construction permits, licenses to transmit or renewals thereof, equipment authorizations or modifications in existing facilities, require the preparation of an Environmental Assessment (EA), as described in 47 CFR Section 1.1311, if the particular facility, operation or transmitter would cause human exposure to levels of radiofrequency (RF) electromagnetic fields in excess of these limits.

The potential hazard associated with the RF electromagnetic fields is discussed in OET Bulletin No. 65. This document can be obtained on the FCC website. (https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf)

As per FCC guidelines there are two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general public/uncontrolled exposure limits for members of the general public.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Limits for occupational/controlled exposure also apply in situations when an individual is transient through a location where occupational/controlled limits apply provided he or she is made aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means

General public/uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment and not be made fully aware of the potential for exposure or cannot exercise control over their exposure.

The FCC's MPE limits for field strength and power density are given in Table 1 (and in 47 CFR § 1.1310) Figure 1 is a graphical representation of the limits for plane-wave (far-field) equivalent power density versus frequency. The FCC's limits are generally applicable to all facilities, operations and transmitters regulated by the Commission, and compliance is expected with the appropriate guidelines. The power density limits vary by frequency to take into account the different types of equipment that may be in operation at a particular facility and are "time-averaged" limits to reflect different dura-

tions resulting from controlled and uncontrolled exposures.

(A) Limits for Occupational/Controlled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1.0	6
300-1500	--	--	f/300	6
1500-100,000	--	--	5	6

(B) Limits for General Population/Uncontrolled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1500	--	--	f/1500	30
1500-100,000	--	--	1.0	30

f = frequency in MHz

*Plane-wave equivalent power density

f = frequency in MHz *Plane-wave equivalent power density

Table 1

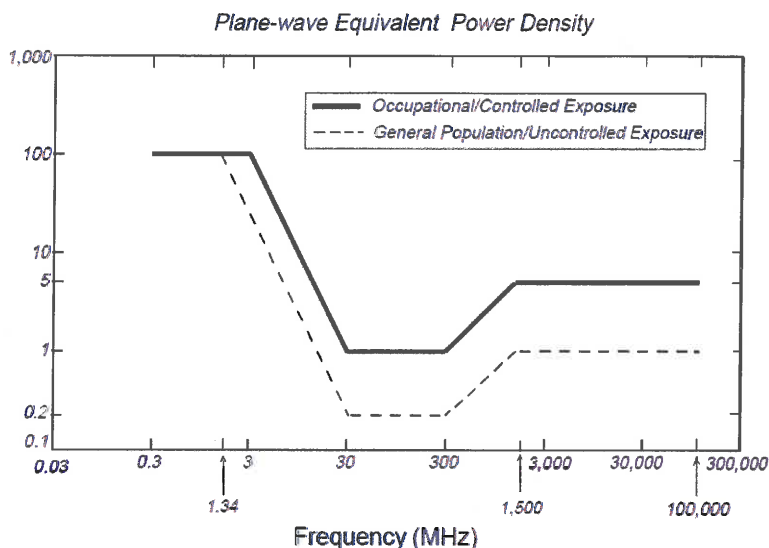


Figure 1. FCC Limits for Maximum Permissible Exposure (MPE)

The above mentioned FCC guidelines define MPE limits that are designed to provide substantial margin of safety for continuous exposure of all persons regardless of gender, age, size or health.

FCC Compliance Requirement

In general, as specified in 47 C.F.R. 1.1307(b), as amended, when the FCC's guidelines are exceeded in an accessible area due to the emissions from multiple fixed transmitters the following policy applies. Actions necessary to bring the area into compliance with the guidelines are the shared responsibility of all licensees whose transmitter's contribution to the RF environment at the non-complying area exceeds 5% of the exposure limit (that applies to their particular transmitter) in terms of power density or the square of the electric or magnetic field strength.

For non-compliant sites, Occupational Safety and Health Administration (OSHA) set recommendations to make the sites compliant. The document can be found in the link: https://www.osha.gov/dte/library/radiation/nir_stds_20021011/nir_stds_20021011.ppt

Appendix B

Glossary of Terms

1. *Electromagnetic Field (energy density)* – the electromagnetic energy contained in an infinitesimal volume divided by that volume.
2. *Exposure* – Exposure occurs whenever and wherever a person is subjected to electric, magnetic or electromagnetic fields other than those originating from physiological processes in the body and other natural phenomena.
3. *General Population / Uncontrolled Exposure* – applies to human exposure to RF fields when the general public is exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public always fall under this category when exposure is not employment-related.
4. *Maximum Permissible Exposure (MPE)* – the rms and peak electric and magnetic field strength, their squares, or the plane-wave equivalent power densities associated with these fields to which a person may be exposed without harmful effect and with an acceptable safety factor.
5. *Occupational / Controlled Exposure* – applies to human exposure to RF fields when persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/controlled limits.
6. *Power Density (S)* – Power per unit area normal to the direction of propagation, usually expressed in units of watts per square meter (W/m^2) or, for convenience, units such as milliwatts per square centimeter (mW/cm^2) or microwatts per square centimeter ($\mu\text{W/cm}^2$).

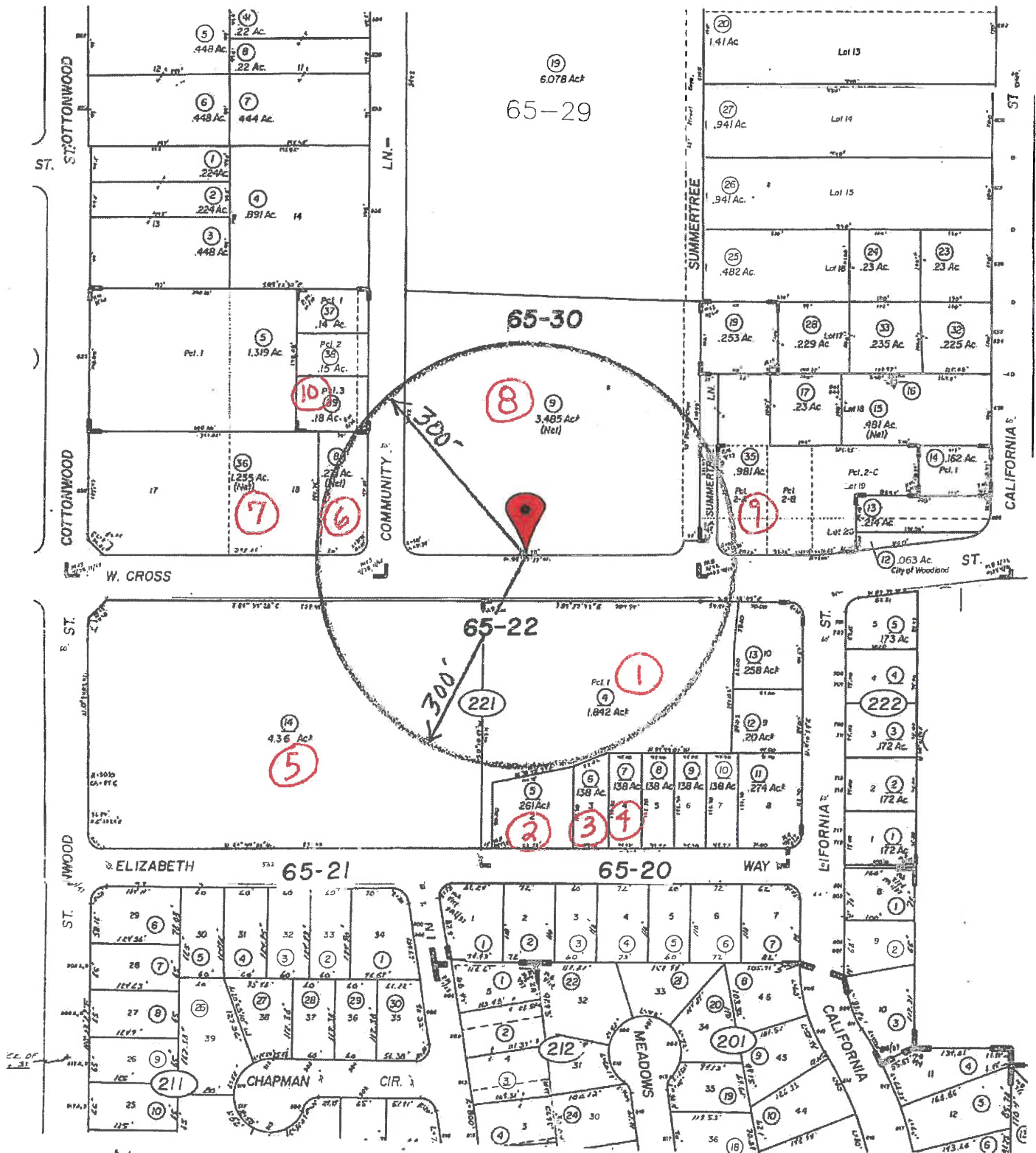
Appendix C

RoofView Export File

The below file shows the Antenna information that has been used to calculate the MPE levels using RoofView 5. RoofView is a powerful, Excel based software analysis tool for evaluating radiofrequency (RF) field levels at telecommunications sites that are produced by antennas of the type commonly used in the cellular, paging, SMR, PCS and conventional two-way radio communication services

Antenna Definition																				
Roof Max	Roof Max	Map Max	Map Max	Map Max	Y Offset	X Offset	Number of envelope													
100	100	200	200	200	0	0	1 \$K\$121-\$C\$K\$121-\$D\$F\$220													
Antenna Settings Data																				
Standard	Method	Uptime	Scale	Fact	Low Thr	Low Color	Mid Thr	Mid Color	Hi Thr	Hi Color	Over Colo	Ap Ht	Mul Ap	Ht Method						
3	1	4	1	5	1	800	6	3000	6	6	1.5	1								
StartAntennaData		It is advisable to provide an ID (ant 1) for all antennas																		
ID	Name	Freq	Trans Power	Trans Count	Coax Len	Coax Type	Other Loss	Input Power	Calc Power	Mfg	Model	X	Y	Z	Type	Aper	z/Sol Gain	BWdth Pt Dir	Uptime Profile	ON flag
1	Mobilite	2496						40	40	Alpha Wir	AW3477-5	20	20	20.8	VC	2.5	6.35	360		ON*
2	Mobilite	2496						3.2	3.2	Airspan	IR460	20	20	11	VC	1.1	9.85	35		ON*
StartSymbolData																				
Sym	Map Mark	Roof K	Roof Y	Map Label Description (notes for this table only)																

ATTACHMENT 4



1"=200'



Donna's Radius Maps

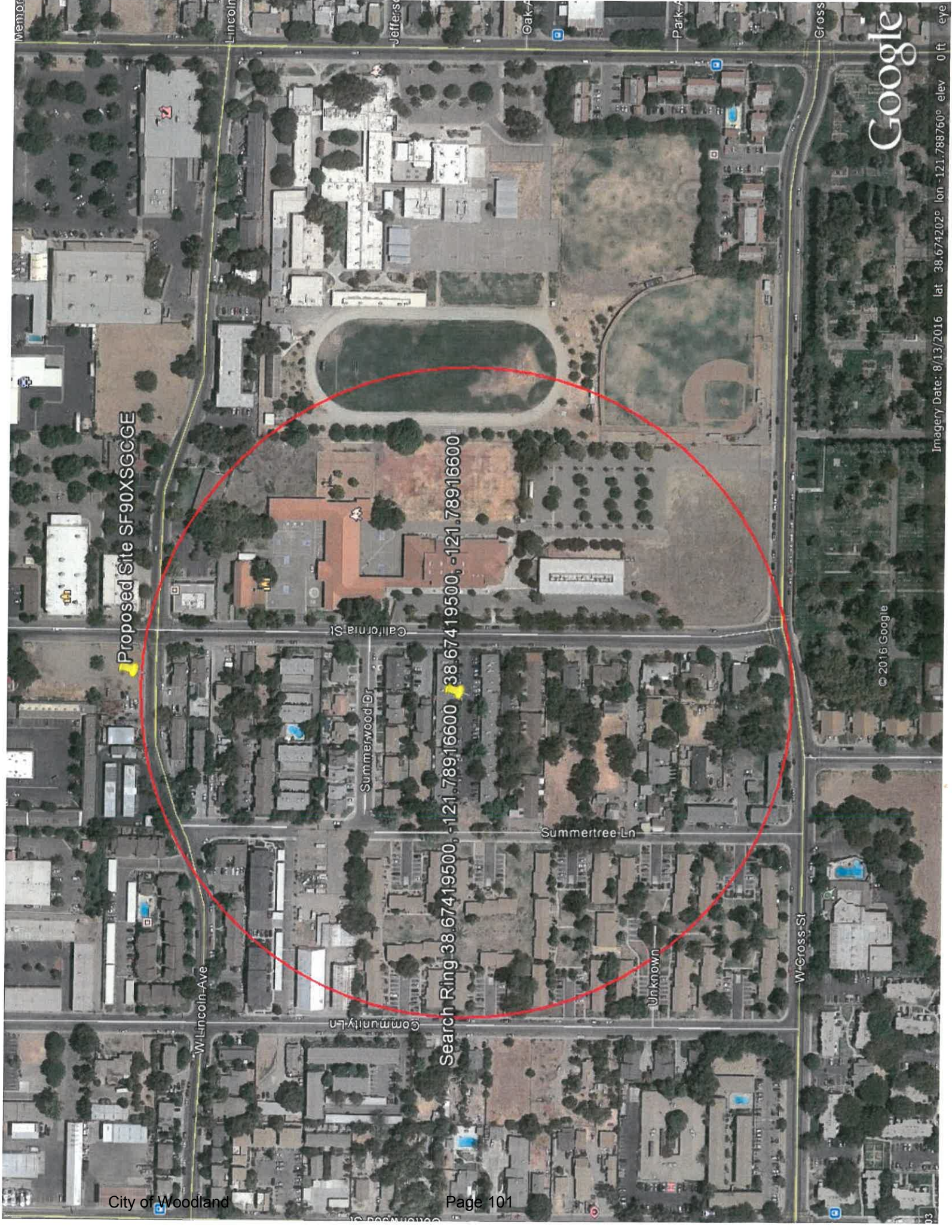
684 S. Gentry Lane
Anaheim, Ca 92807
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DONNA'S RADIUS MAPS

DATE: 9/21/2017

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Proposed Site SF90XSGCGE

Search Ring 38.67419500, -121.78916600 38.67419500, -121.78916600