



City of Woodland

Meeting Agenda

Zoning Administrator Hearing

City Hall
300 First Street
Woodland, CA 95695

August 12, 2019
10:30 AM

A. CALL TO ORDER

B. COMMUNICATIONS FROM THE PUBLIC

C. PUBLIC HEARING

1. SUBJECT: Staybridge Hotel - Zoning Administrator Permit

RECOMMENDATION FOR ACTION: Staff recommends that the Zoning Administrator:

Approve the Zoning Administrator Permit to construct a 109 room, 4-story, 75,286 square foot extended stay hotel, located on the south side of Main Street between the State Route 113 South Bound on- and off- ramps. Minor modifications to the project description may be made based on a finding by the Community Development Director of substantial conformance with the original project approval, site plan and elevations.

D. ADJOURNMENT

Upon request, agendas and documents in the agenda packet will be made available in appropriate alternative formats to persons with a disability, as required by law. Any such requests must be made in writing to the Office of the City Clerk of the City of Woodland. Requests will be valid for the calendar year in which the request is received, and must be renewed prior to January 1st.

Persons needing disability-related modifications or accommodations in order to participate in public meetings, including persons requiring auxiliary aids or services, may request such modifications or accommodations by calling the Office of the City Clerk (530-661-5806) at least 48 hours prior to the meeting.



TO: THE ZONING ADMINISTRATOR
AGENDA: Zoning Administrator Hearing
DATE: August 12, 2019
ITEM #: C.1.
SUBJECT: Staybridge Hotel - Zoning Administrator Permit

Recommendation for Action: Staff recommends that the Zoning Administrator:

1. Conduct a public hearing; and
2. Approve the Zoning Administrator Permit to construct a 109 room, 4-story, 75,286 square foot extended stay hotel, located on the south side of Main Street between the State Route 113 South Bound on- and off-ramps in the Community Commercial District. Minor modifications to the project description may be made based on a finding by the Community Development Director of substantial conformance with the original project approval, site plan and elevations.

Staff Contact:

Cindy Norris, Principal Planner, (530) 661-5911, cindy.norris@cityofwoodland.org

Background:

On August 31, 2011, a 4,860 square foot retail market, a permitted use, was approved through Site Plan and Design Review. The retail market was required to install public frontage improvements including sidewalk, landscaping, and driveway access. As part of the approval review, the owner requested and was granted approval by the City Council to utilize a temporary septic system. The applicant and City of Woodland entered into an agreement which restricts the amount of development, and requires the owner to connect to sewer when it becomes available, or with intensification use, or additional site development. Prior to adoption of 2035 General Plan and Interim Zoning Ordinance, the project site was designated Service Commercial (C-3). With the 2035 General Plan update, the properties on the south side of East Main Street between Matmor Road and SR 113 were designated Community Commercial, consistent with the parcels between Thomas Street and Matmor Road.

Discussion:

Project Site Description

The project site consists of two parcels that are 2.42 and 2.04 acres in size. The northerly parcel, at 2.04 acres, is developed with a 4,860 square foot market, parking adjacent to Main Street, and an existing drainage swale to the east, and septic field south of the building. The southerly parcel is vacant, graveled on portions, with ruderal vegetation. The site has been heavily tilled in recent years for fire abatement and as such, most of the ground in the area has been highly disturbed. The site is bounded to the south, west, and east by the SR 113 lanes and on-and off-ramps. Curving around the south end of the site is the SR 113 southbound off-ramp. To the east of the site the freeway is elevated approximately 20-feet and to the south it is elevated approximately 10-feet. The east facing building frontage is located approximately 160-feet from the southbound off-ramp. A Caltrans setback easement has been maintained on the east side of the property in anticipation of future development of the I-5/SR 113 connector. Immediately west of the project site is an existing building at 1480 Main Street that is currently used for office and service commercial. Further to the west and south of the project site are the southbound SR 113 on-and off-ramps, existing multi-family residential, vacant land and an existing retail building at 1460 Main Street. The closest point of the south building elevation is approximately

138-feet to the closest point of the existing multi-family structure.

Project Proposal

On May 28, 2018 the project applicant submitted Planning Application PLNG-18-00042 requesting a Zoning Administrator Permit to construct a new 109 room, 4-story, 75,286 square foot, extended stay hotel. The new facility will be comprised of one structure, approximately 44.7-feet in height with an accent tower of 52-feet in height. The ground level footprint of 18,907 square feet will be comprised of guest amenities, lobby, great room, den, meeting/conference room, pool, outdoor seating, fitness center, guest laundry, staff offices, break room, as well as guest rooms. The upper floors 2-4 will consist primarily of guest rooms. The project proposes 72 studio units, 28 one-bedroom, and 8 two-bedroom units. Project parking consists of 128 parking stalls, including 11 carpool spaces, 8 EV parking spaces. An additional eight (8) bike parking are proposed. The project development will require the construction of a new sewer line resulting in the removal of the existing septic field located south of the existing building. Further, conditions require the project to install two street lights along the property frontage and the installation of a median from 75-feet west of the property's western driveway to about 75-feet east of the eastern driveway. The project will be required to coordinate with the City's East Main Street Capital Improvement project which is anticipated to begin construction by November 1, 2019.

Public Notification

Public notice advertising for the Zoning Administrator Hearing on this project was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Woodland's Interim Zoning Code and State Planning Law. Two methods of public notice were used:

- A Public Notice was posted at the site ten days prior to the hearing; and
- Notices were mailed to all properties within 300 feet of the project site.

Applicable Laws, Codes & Ordinances

The project is subject to several laws, codes, and ordinances:

- The California Environmental Quality Act (CEQA)
- The City of Woodland General Plan
- The City of Woodland Zoning Ordinance and Interim Zoning Ordinance
- The City of Woodland Community Design Standards
- The Yolo Habitat Conservation Plan and Natural Communities Conservation Plan

Environmental Assessment Status

This project qualifies for a categorical exemption from the provisions of CEQA as the project is considered a Class 32 In-Fill development (CEQA Guidelines, §15332). This class of exemption is required to adhere to the following requirements:

- A. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as applicable zoning designation and regulations.
- B. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- C. The project site has no value as habitat for endangered, rare or threatened species.
- D. Approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality.

E. The site can be adequately served by all required utilities and public services.

F. The project has demonstrated consistency with the City's Climate Action Plan, in that it is consistent with the 2035 General Plan Land Use, and as conditioned will include required CAP reduction strategies.

The site is located within the Woodland City Limits on a site of less than five (5) acres (The total project is approximately 4.46 acres). The southerly parcel is undeveloped. The northerly parcel APN 066-030-55 is partially developed with a 4,860 square-foot building, adjacent parking, and septic field. The site is surrounded by urban development ruderal vegetation. There are several trees along the east and west property boundaries and on the Caltrans easement. Development of the site will not result in significant noise, air quality, or water quality impacts, or impacts to historic structures or resources. The project will comply with City noise standards. The project will generate less than 50 peak hour trips and both adjacent intersections are already signalized. The project will construct a raised concrete median on Main Street that will reinforce the existing no left turn in/out of the parcel. The median will be constructed in conformance with City plans to resurface East Main Street. Utilities required to serve the property will be installed (storm water, sewer, water, electrical and gas). Most notably, a sewer line will be required to be extended to serve the property thereby eliminating the on-site septic field, consistent with City General Plan policies.

Staff Analysis

Staff supports this project and provides the following analysis for the Zoning Administrator Permit request:

General Plan Consistency

The 2035 General Plan (GP) designation for the site is Community Commercial (CC), which allows for hotel and motel establishments that serve residents and visitors of the region at large. Shopping malls and large format "big-box" retail are allowed, as are supporting uses such as gas stations and hotels. General Plan policies that specifically relate to this project proposal include:

Policy 2.A.8 Gateways and Corridors: Create distinctive, thriving gateway centers at 1-5 and SR 113 that serve as inviting entrances to the city while maximizing the economic potential of these assets.

Policy 2.C.2 Consistency with the Climate Action Plan: Ensure that new development is consistent with the objectives and targets of the City's Climate Action Plan.

Policy 2.E.2 Responsiveness to Context: Encourage high-quality new development that enhances and blends with the established fabric of the natural, social, and built environment, while allowing for innovative architectural styles.

Policy 2.J.2 Design of New Neighborhood and Community Commercial Centers: Facilitate the development of new neighborhood and community commercial centers that feature good urban design with elements such as inviting entryways, articulated building facades and roof lines, attractive landscaping, shaded walkways, plazas and public art.

Zoning Consistency

Land Use

The Interim Zoning designation for the site is Community Commercial (CC), which allows for the construction

of hotels in the area with a Zoning Administrator Permit. The proposed hotel is 4-stories and varies from approximately 44 to 52 feet in height, which is within the maximum of 4-stories up to 65-feet allowed in the CC Zone. The building should not result in light or glare concerns. The closest point of the building to the multi-family buildings to the southwest is 138-feet and is separated by the SR 113 on and off-ramps.

The project is consistent with all required setbacks, lot coverage and floor area ratio provisions of the General Plan and Zoning Ordinance as conditioned.

Parking

The proposed parking meets and exceeds the requirement for one space for each guest room, plus one for the manager. The minimum requirement is 110 spaces and the project proposes 128 spaces. The project will provide eight bike parking spaces and six spaces in lockers for employees. Eight electric vehicle charging stations will be provided as well as 11 clear air/van pool spaces.

Landscaping

Approximately 28% of the developed area on the southerly parcel, APN 066-030-054 will be a previous surface, including a drainage swale, bio retention, and landscape. Based on a conceptual parking lot shade landscape plan, approximately 42% of the overall parking area will be in shade at high noon at maturity, which exceeds the City's minimum requirement of 40%. A total of 67 new trees are proposed to be added to the site.

The existing retail site has a recorded maintenance agreement between the City of Woodland and Satya Woodland, LLC (DOC 2016-0021747-00). The purpose is to assure installation of the landscaping in accordance with the landscaping plan and continued maintenance and care of the landscaping in a neat and attractive manner including the removal of weeds and debris. A new maintenance agreement will be required to cover the entirety of the project area (4.46 acres).

Drainage

The purpose for the drainage easement was to handle drainage from westerly properties that was piped under the SR 113 lanes to the west as well as on-site drainage. The applicant proposes to handle drainage flows both in pipe and ditch around the south and east of the project site. The City has agreed to the applicant proposal to modify use of the drainage swale to accommodate the site development.

Screening

All utility equipment, including roof top AC units shall be screened from view. The applicant has provided cross sections to illustrate views from the elevated portions of the freeway. With the elevated parapets, all roof equipment should be completely screened.

Public Art

The project is required to provide public art, or pay an in-lieu Public Art fee, consistent with Ordinance 1631 prior to Certificate of Occupancy.

Arborist Report

An Arborist Report was prepared by Acorn Arboricultural Services, Inc. on July 19, 2018.

A total of 14 trees comprising four species were mapped within or along the border of the study area. There are no Landmark, Specimen, or Heritage Trees present within the study area. One Almond (#91), one Chinese

Tallow (#83), and eleven Valley Oak trees (trees 80-82, 84-90, and 92) are located along the eastern boundary. The trees are generally listed in Fair, to Poor to Fair, condition. One tree, the Almond (#91) is recommended to be removed due to poor condition, but not within the project boundaries. Protection measures consistent with the City's Tree Preservation Ordinance 12.48 will be required around nearby trees as conditions of approval if it is possible to retain these trees on site. However, if it is necessary to remove these trees to construct improvements, the applicant shall replace the trees based on the requirements of Section 12.48-100 (1) which states:

• For each six inches or fraction thereof of the diameter of a tree, which was approved for removal, two trees of an approved species, each of a minimum of 15-gallon container size shall be planted on the project side. However, an increased number of smaller size trees may be planted if approved by the director, or a fewer number of such trees if approved by the director, or other appropriate location to plant the trees if approved by the director.

Habitat Conservation Plan/Natural Communities Conservation Plan (HCP/NCCP)

A biological assessment was prepared by Bumgardner Biological Consulting July 26, 2019. The biological assessment found that the site supports only urban ruderal land cover since the site is covered by a dense canopy of annual non-native grasses and various weedy forbs and is landlocked by urban or built up, urban ruderal, and vegetated corridor land covers. The study site has poor quality habitat for most species and no evidence of special status species were found. The planning level survey was extended out from the project boundaries to address any evidence of adjacent covered species or sensitive vegetation communities that occur within the prescribed proximity thresholds provided in Table 2-3 of the HCP/NCCP permitting Guide. No new or old Swainson's hawk nests were identified within 1320 feet of the project area. Prior to any site disturbance, a pre-construction nesting bird surveys will be conducted. (Attachment D)

Flood

This project is located within a special flood hazard area, AE, subject to flooding by the 1% annual chance flood. A 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood. In the AE zone, base flood elevations are determined. Development within the flood plain and shall meet all City and FEMA requirements for developing within the flood plain.

Climate Action Plan and Sustainability

The project as conditioned is consistent with the 2035 General Plan, Interim Zoning and City Design Standards. As a result, the project is consistent with the CEQA certified 2035 Climate Action Plan (CAP). However, as part of project review, evaluation of key project measures that ensure consistency with specific CAP strategies is requested. A condition of approval has been added to request that the applicant provide 10 identified actions/strategies that demonstrate consistency prior to issuance of building permits. Further, staff has also raised the discussion concerning broader sustainability concerns, including heat island effects. The Climate Action Plan includes community generated strategies. A few notable strategies that apply include the following:

Strategy E-3 Comprehensive Building Efficiency: All new buildings must meet the energy efficiency standards in Title 24, Part 6 of the California Code of Regulations, including CalGreen standards for energy efficiency and water conservation. The landscaping plan will be compliant with State and City water

conservation requirements. The building will meet CalGreen requirements.

Strategy T/LU-2 Infill Development, Redevelopment, and Re-purposing: This strategy supports the implementation of land use strategies that promote infill development, mixed use of commercial areas, and other techniques to reduce motor vehicle travel. The project will provide a mix of uses on site.

Strategy UF-2 Increased Tree Planting: This strategy supports actions to increase tree canopy through planting new trees to increase building shade, increase carbon sequestration, and reduce heat island effects. The project will meet the city's requirement to include tree cover in parking lots to provide at least 40% shade at maturity.

Strategy W/W-1 Increased Water Conservation: This strategy supports actions to promote reductions in water use through water conservation awareness and techniques and the use of water-efficient fixtures. The project will incorporate water efficient fixtures and utilizes drought tolerant landscaping.

Zoning Administrator Permit

The Comprehensive Use Table in the Interim Zoning Ordinance identifies that Hotel/Motel uses may be allowed with a Zoning Administrator Permit. Article 31 of the Zoning Ordinance addresses zoning administrator permits. The Zoning Administrator shall be the Community Development Director or his or her designated appointee. It is the authority of the Zoning Administrator to conduct public hearings and convene and preside over meetings which are authorized or required by state planning law, this chapter, or other federal, state, or city laws or regulations. Section 3.04 of the Interim Zoning Ordinance provides for Zoning Administrator review as a Tier II project which requires that a public hearing notice be provided to all properties and tenants within 300 feet of the project site and a 10-day comment period provided. The project meets the required findings found in Section 3.04 of the Interim Zoning Ordinance:

1. The proposed use is allowed within the applicable zoning district and complies with all other provisions of the Zoning Ordinance or Interim Zoning Ordinance. A hotel is a use allowed through approval by the Zoning Administrator. The project as conditioned meets all requirements of the Zoning Ordinance or Interim Zoning Ordinance.
2. The proposed use is consistent with the General Plan. A hotel is a use expressly allowed in the Community Commercial district.
3. The design, location, size and operating characteristics of the proposed activity would be compatible with existing and future land uses in the vicinity. The use is compatible with the existing retail use on the site and is appropriate adjacent to the SR 113 on and off ramps. The hotel design will be visually attractive from public views and all roof equipment will be screened from view. The site will be landscaped and a landscape maintenance agreement required to ensure continued care and maintenance.
4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints. The project as conditioned will meet all development standards.
5. Granting the permit would not constitute a nuisance or be injurious to or detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located. The project as conditioned will be required to install all necessary public utilities and infrastructure, including installation of of a sewer line, installation of

street lights, and installation of a median island.

6. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA). The project site is an infill project that is exempt from CEQA review as identified in this report. It is noted that the project will construct a raised concrete median on Main Street to reinforce the existing no left turn in/out of the parcel. Median will be in conformance with City plans to resurface E. Main Street. Project will connect to city water, sewer and storm systems and abandon the existing septic system.

Appeals

Any person dissatisfied with any decision by the Zoning Administrator may appeal therefrom to the Planning Commission at any time within ten (10) days after the rendering of the decision by the Zoning Administrator.

Said appeal shall be accompanied by a filing fee as prescribed by City Council resolution. At its next regular meeting after the filing of such appeal, the Planning Commission shall set a date for a public hearing and shall give notice to the appellant, the applicant and neighboring property owners in the manner provided in Section 17-148-040 of the Woodland Municipal Code.

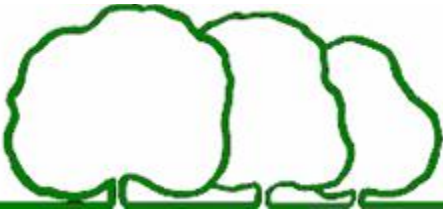
Conclusion:

Staff recommends that the Zoning Administrator:

Approve the Zoning Administrator Permit to construct a 109 room, 4-story, 75,286 square foot extended stay hotel, located on the south side of Main Street between the State Route 113 South Bound on- and off- ramps in the Community Commercial district. Minor modifications to the project description may be made based on a finding by the Community Development Director of substantial conformance with the original project approval, site plan and elevations.

Attachments:

1. Conditions of Approval - Staybridge Hotel 1490 E. Main St
2. Site Plan, Landscape Plan and Elevations
3. Biological Site Assessment
4. 1490 East Main Woodland Arborist Report.Comb
5. Sustainability Statement
6. Project Information Page



**Conditions of Approval
Staybridge Hotel, 1490 Main East Street**

GENERAL

1. The project is described in the staff report and exhibits for the August 12, 2019, Zoning Administrator hearing and shall consist of one hotel: a 109 room, 4-story, 75,286sf, extended stay, Staybridge Hotel, located at 1490 East Main Street. The project shall be constructed as depicted in the elevations and site plan (**dated June 8, 2019 with a revision dated July 11, 2019**), which includes the hotel, an existing 4,680 square foot retail building, access, future parking and development area. The total project site is approximately 4.46 acres and consists of two parcels, APNs 066-030-54 and 055. The project shall be established and operated as described in the staff report, except as modified in these conditions of approval and with any changes necessary to meet City codes and specifications. Minor modifications to the project description may be made based on a finding by the Community Development Director of substantial conformance with the original project approval, site plan and elevations.
2. The applicant shall defend, indemnify, and hold harmless the City of Woodland, its agents, officers or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the subject application by the City, its legislative body, advisory agencies or administrative officers. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either, at the City's discretion, undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for the defense of the matter by the City Attorney.
3. Applicant shall secure approval and satisfy requirements of all agencies with jurisdiction.
4. The Zoning Administrator Permit shall not be issued until the appeal period has expired or final action on an appeal has been rendered.
5. The Zoning Administrator Permit must be exercised within one year of issuance, or it shall be deemed null and void.
6. The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and/or other exactions. Pursuant to Government Code, Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of project approval, has begun. If the applicant fails to file a timely protest regarding any of the fees, dedication requirements, reservation requirements and/or other exactions contained in this notice, complying with all the requirements of Government Code, Section 66020, the applicant will be legally barred from later challenging such fees, dedications requirements, reservation requirements and/or other such exactions. Notwithstanding the foregoing, the City does not waive any rights it may have to enforce any settlement agreement, memorandum of understanding, or other agreement with the applicant which authorizes the City to impose certain fees, and which may waive the applicant's right to challenge the imposition of some or all of the fees, dedication requirements, reservation requirements, and/or other exactions set forth in these conditions of approval.

7. **Prior to submittal for Building Division Plan Check**, the applicant shall submit plans, including landscape plans and elevations for review and approval by the Planning Division. Plans shall be coordinated and submitted as a single package. Plan set shall incorporate all Conditions of Approval (“Conditions”). Once the final design drawings have been approved by the Planning Division, an approved, stamped set shall be included in the project file for use as reference during the plan check review process. This plan set shall include all Conditions of Approval incorporated or clearly listed on the plans. The Conditions shall be printed on a full-sized plan sheet. A copy of the full-sized plan sheet with Conditions shall also be included in the Building Plan Check submittal packet.
8. **Prior to the issuance of a Certificate of Occupancy**, all conditions of approval and required improvements shall be completed to the satisfaction of the Community Development Department. Design changes that require modification to uses, elevations or site features other than discussed herein, shall be submitted for review and approval through the planning process as a Design Review.
9. The applicant shall be responsible for informing all subcontractors, consultants, engineers or other business entities providing services related to the project of their responsibilities to comply with all pertinent requirements herein in the City of Woodland Municipal Code, including the requirement that a business license be obtained by all entities.
10. Applicant shall prepare a Phase 1 report and submit the results to the Community Development Department for review **prior to issuance of a building permit**.

PLANNING

11. The final project design shall be refined in consultation with Planning Division Staff. The following refinements shall be considered:
12. Final elevations and a color and materials sample board shall be submitted and approved by the Community Development Department prior to issuance of a building permit.
13. The Community Development Department may approve minor design and/or material changes consistent with the overall design as presented in the attached elevations; major changes shall require re-noticing and approval by the Zoning Administrator.
14. Exterior downspouts shall be well integrated into the exterior façade of the building.
15. Maximum Floor Area Ratio (FAR) is 0.5. The total FAR shall be calculated utilizing the two project parcels, APN 066-030-54 & 55 to allow a maximum FAR on the two sites of 97,138 square feet. Development on the site will encompass the existing retail building at 4,680 square feet and the proposed hotel at approximately 77,480 square feet, for a total of 82,160 square feet, which results in a total FAR of 42%. **The remaining possible developable floor area on the northerly parcel APN 066-030-55 is 14,970 square feet.**
16. Maximum Lot Coverage is 50 percent. The total lot coverage on the two parcels is 12.3%, with an approximately 18.3% coverage on the southerly lot APN 066-030-54, and approximately 5.2% coverage on the northerly parcel.
17. Maximum building height is 65 feet at parapet top. The proposed hotel is 4-stories and approximately 52-feet in height.

18. All pedestrian crossings throughout the project and paving immediately surrounding the hotels shall use a textured, colored, stamped concrete design or a similar design to set the pedestrian realm apart from the parking area. Concrete design shall be submitted for review and approval by the Community Development Director **prior to building permit issuance.**
19. Textured, colored, stamped concrete design or a similar design shall be provided at the primary driveway entrance off of E. Main Street, and at the hotel entry at the south end of APN 066-030-54. Concrete design shall be submitted for review and approval by the Community Development Director **prior to building permit issuance.**
20. Lighting shall be confined to the site boundaries to provide safety and security. All building entrances and pedestrian ways shall be adequately lighted pursuant to the City Code and the requirements of the Police Department. Lighting shall be shielded from neighboring properties and directed at a specific task or target. Exposed bulbs are prohibited. Any sources of light and glare from the property shall be designed and/or constructed to minimize intrusion onto neighboring properties, public right-of-way or into the airspace.
21. Exterior lighting details have not yet been provided. Exterior lighting fixtures and design need to reflect the architectural design of the building. Exterior lighting design, on- and off-building, to be reviewed and approved by the Community Development Department **prior to building permit issuance.**
22. Lighting in “public use” areas such as parking lots, shall be pedestrian oriented in scale. Light standards shall not exceed **15-feet** in height and shall be spaced as required to meet City illumination requirements. Light pole base(s), if pedestals are required, shall utilize a decorative design to provide an enhanced appearance at the pedestrian level.
23. Applicant shall submit for review and receive final approval from the Community Development Department a landscape and irrigation plan prepared by a licensed landscape architect in accordance with the landscape requirements of and with Article 22 of the Zoning Ordinance **prior to building permit issuance.**
24. The location of all utility structures (including light poles and utility boxes) shall be coordinated with and depicted on the landscape plan. Location, installation, and screening of utility structures shall be to the satisfaction of the Community Development Director.
25. The applicant shall enter into a recorded landscape maintenance agreement with the City of Woodland. The landscape maintenance agreement shall run with the property. The operating agreement shall provide for the continual maintenance of the property in a neat and tidy manner, landscape maintenance and replenishment of plants. A copy of the recorded landscape maintenance agreement shall be provided to the Planning Division to be kept on file **prior to Certificate of Occupancy.**
26. Applicant shall comply with the State of California’s Water Efficient Landscape Ordinance AB 1881 and with currently adopted City Ordinances. The landscape architect shall document and attest to the compliance with the new State ordinance on the final landscape plans.
27. All trees shall be planted and staked with Reddy stakes in accordance with city standards.
28. The project shall comply with the City’s tree preservation ordinance. Effort shall be made to preserve in place trees that have been identified as viable for preservation in the arborist report dated July 19, 2018. Replacement planting shall be in accordance with Section 12.48.100 of the Municipal Code which states: For each six inches or fraction thereof of the diameter of a tree which was approved for removal, two trees of an approved species, each of a minimum 15-gallon container size shall be planted on the project site.

29. Shade trees shall be planted and evenly distributed within the uncovered portions of the auto parking area on the ground level (employee and customer) so that at the tree's maturity, forty percent (40%) of the parking stalls and back up area will be in shade at high noon at such times as the trees have full foliage. The landscape architect shall document the calculations and attest to this on the final landscape plan. A shade calculation diagram shall be provided for review and approval.
30. Vegetative matter shall cover a minimum of 75 percent (75%) of the landscape area within 2 years of planting. The landscape architect shall document the calculations and attest to this on the final landscape plan.
31. A minimum of 15-gallon (or larger) trees and 1-gallon (shrubs) are required. All landscape stock shall be inspected by the project landscape architect prior to installation. No root bound plants shall be used; only healthy, well-formed, and vigorous plant material shall be used. Landscape architect to provide written verification as to inspection of plant health prior to and after planting.
32. Prior to issuance of building permits, the applicant shall provide the Community Development Director with a copy of the completed market and feasibility analysis for the proposed Staybridge Hotel. The scope for the analysis shall be submitted to the Community Development Director prior to initiating such analysis. Should the feasibility study indicate that there will be a possible negative effect on the Downtown Hotel the applicant will enter into a negotiated agreement with the City to address any concerns, prior to the issuance of permits.
33. All roof mounted, mechanical and utility equipment, including transformers and backflow devices shall be integrated in to a building structure or screened from public view to the satisfaction of the Community Development Director. Roof mounted equipment on the E. Main Street side of the building should be avoided if feasible. The method of screening shall be architecturally integrated with the structure in terms of materials, color, shape and size. If necessary, visual assessment of equipment and screening methods shall be provided to illustrate the visual impact from public ways. Screens shall not be used where they would disproportionately increase the mass of the building or introduce elements that are inconsistent with the high level of design quality reviewed as part of this approval. All gas and electrical meters shall be concealed and/or painted to match the building.
34. Any new ground mounted mechanical or utility structure, including transformers shall be underground or located behind buildings where possible. If not possible, adequate screening shall be provided on three sides. Screening may include a combination of landscaping and masonry or lattice walls subject to Planning Division approval.
35. Storage of materials that detract from the buildings is prohibited anywhere visible to the public.
36. Any proposed perimeter or patio fencing design and materials shall be submitted and approved by the Planning Division **prior to installation**.
37. Final location of the trash enclosure(s) shall be shown on the site plan and shall be reviewed and approved by the Community Development Director **prior to building permit issuance**.
38. Any outdoor trash receptacle shall be fully enclosed with masonry or an alternative high quality material(s) that is architecturally compatible with the design of the hotel. Where feasible, landscaping shall surround the trash enclosure. The trash facilities and enclosures shall be of sufficient size and dimensions to accommodate waste, recycling and organics containers. Outdoor enclosure(s) shall contain a roof to prevent rainfall from entering into containers. Evidence of approval from Waste Management for the quantity, location and size of the trash and recycling enclosures shall be submitted **with the building permit application**.

39. The project shall demonstrate consistency with the City’s Climate Action Plan (CAP) by identifying a minimum of 10 actions or strategies to be employed addressing the six required focus areas in the CAP. Prior to issuance of Building Permits, the applicant shall provide a summary statement with corresponding information on building plans demonstrating how the required CAP strategies will met. Prior to Certificate of Occupancy the project shall verify installation of required items.
40. Bicycle parking facilities shall be provided and maintained. The racks shall be visible and located in a safe, well lit, and secure location to be **identified on the final site plan** and approved by the Community Development Department. One bike parking space per 15 guest rooms shall be provided for a total of 12 bike parking spaces. A minimum of 6 bike parking spaces for employees shall be located in a covered and secure location.
41. A minimum of 6 electric vehicle charging stations shall be provided. The site shall be pre-wired for additional future charging stations.
42. Applicant shall provide a description of energy efficiency measures included in the project, and shall specifically call out measures above and beyond those required by Title 24 in furtherance of the City’s 2035 Climate Action Plan.
43. Limited alcohol sales associated with hotel guest services shall be permitted.
44. Applicant shall provide Public Art or pay the Public Art in-lieu fee consistent with Ordinance No. 1631, **prior to issuance of Certificate of Occupancy**.

DEVELOPMENT ENGINEERING

Fees

45. All building shall pay applicable Development Impact Fees or connection fees in effect at the time of building permit issuance. All submittals shall pay fees in accordance with the fee schedule. Additional Fees or payments as defined in the future Easement Agreement.

The conditions of approval set forth herein include certain fees, dedication requirements, reservation requirements and/or other exactions. Pursuant to Government Code, Section 66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of project approval, has begun. If the applicant fails to file a timely protest regarding any of the fees, dedication requirements, reservation requirements and/or other exactions contained in this notice, complying with all the requirements of Government Code, Section 66020, the applicant will be legally barred from later challenging such fees, dedications requirements, reservation requirements and/or other such exactions. Notwithstanding the foregoing, the City does not waive any rights it may have to enforce any settlement agreement, memorandum of understanding, or other agreement with the applicant which authorizes the City to impose certain fees, and which may waive the applicant's right to challenge the imposition of some or all of the fees, dedication requirements, reservation requirements, and/or other exactions set forth in these conditions of approval.

Easements and Dedication of Property

46. Site Plan will need to be revised to reflect current parcel and easement configuration or an additional application for a lot line adjustment and/or parcel map and/or easements will be needed.

Required Submittal

47. Owner shall prepare improvement plans for all work within the public right-of-way, and utility connections and submit to the Development Engineering Division with an encroachment permit application for review and approval. The submittal shall include an engineer's estimate of cost for the public improvements and applicant shall pay a plan check and inspection fee in accordance with the fee schedule. Prior to building permit issuance, Owner shall obtain permit and post security determined necessary during the permit process. This submittal is separate from the building permit submittal.

48. Work shall be completed under the encroachment permit prior to certificate of occupancy providing the above conditions are met prior to building permit issuance.

49. Any change or modification to the existing City drainage features in the project boundaries shall require a City issued encroachment permit and civil improvement plans reviewed and improved by the City. Construction within the drainage ditch or pipe shall be limited to between April 15th and October 15th.

a. Owner to maintain the proposed City combination City drainage facility and linear treatment and detention facility for the project. A maintenance agreement shall be completed for the combination treatment/conveyance system and a second separate maintenance agreement for the adjacent property's (Market site) storm water treatment system.

b. Within the future proposed ROW for the Caltrans ramp connection there will only be landscape. Also the building set back line shall be 30' from the future landscape line.

Public Improvements

50. The applicant shall upgrade utility connections to City of Woodland Standards and Specifications. If existing services are proposed to be used, they shall be inspected by the City prior to use and brought up to City Standards if the current services do not meet standards. This may include but is not limited to installation of new meters and/or meter boxes, backflow prevention, cleanouts and/or laterals in a location approved by the Public Works Department.

51. Backflow protection devices are required on the commercial and landscape irrigation water services for the project. Backflow devices shall be tested by a City-approved tester and results provided to the Public Works Department prior to occupancy.

52. Owner shall connect to City Sewer System, this may include either extension of the sewer from Pioneer Avenue, or partial reimbursement to a 3rd party that constructs a sewer extension. [Note extension of sewer will trigger requirement for adjacent market to connect to sewer, abandon septic tank and pay impact fees]. If the sewer is constructed by others Owner shall pay a fair share reimbursement. If Owner constructs the sewer after a planned City road rehabilitation project additional remedial road repair measures may be required when constructing the sewer.

53. Owner shall construct two street lights along the property frontage of the adjacent property fronting East Main Street and providing access to the hotel.

54. Owner shall install the median from 75 feet west of the property's western driveway to about 75 feet east of the eastern driveway. The median width would need to be defined in coordination with the E. Main Street project

designer during the hotel's off site project design phase. Median will vary from 9 feet to 20 feet and need to be landscaped accordingly. Should the project be unable to complete design by September 30, 2018, start construction by November 1, 2019 and complete construction by April 1, 2020; Owner shall deposit 130% (10% contingency, 10% design, 10% inspection and construction management) of estimated amount of construction and enter into an Agreement to Reimburse City the cost for construction of the median through its East Main Capital project. Note that all City Capital projects are prevailing wage and the cost estimate shall reflect the City's cost.

55. If the project has 5,000 s.f. or more of landscaping the Owner shall install a separate meter and backflow device of the landscape irrigation.

Storm Water Quality

56. Prior to Building Permit Owner shall submit post construction work sheet in accordance with Appendix 8 of the City's Post Construction Standards Manual; to demonstrate how the project is meeting low impact development standards, Hydromodification standards, and Storm Water Quality Standards. These calculations will be necessary to verify that the project meets Hydromodification requirements.

Owner may reference the City's Post Construction Standards Manual on the web.
<http://www.cityofwoodland.org/gov/depts/cd/divisions/engineering/development/h2oquality.asp>

57. Owner shall enter into a Storm Water Treatment Measure Access and Maintenance Agreement prior to Certificate of Occupancy.
58. Remedial measures are needed on the adjacent parcel with the Market and the site needs to enter into a Storm Water Maintenance Agreement.
59. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit. Applications/projects disturbing less than one acre of soil shall implement BMP's to prevent and minimize erosion. The improvement plans for construction of less than 1 acre shall include a BMP to be approved by the City Engineer. Projects greater than one acre shall prepare a SWPPP.

Flood

60. This project is within the flood plain, project shall meet all City and FEMA requirements for developing within the flood plain.

Site Comments

61. The applicant may wish to install a separate landscape irrigation service with meter and backflow. The city sewer bill is based on water consumption, and separating the domestic from landscape irrigation water allows the bill to be calculated on the domestic water use only. A backflow device is required on the landscape irrigation service.

BUILDING

62. This project must meet all criteria and mandates for these City adopted codes or the most current code:
- a. 2016 California Building Code
 - b. 2016 California Plumbing Code
 - c. 2016 California Mechanical Code

- d. 2016 California Electrical Code
- e. 2016 Building Energy Efficiency Standards
- f. 2016 California Green Building Code
- g. The Code of the City of Woodland

- 63. Other City and County Agencies (Health, Fire, Public Works, and Planning) may be required to approve the project prior to a building permit being issued.
- 64. Recycle plan is required at time of permit issuance along with a \$1000 deposit.
- 65. Prior to any demolition work being performed, clearance from Yolo Solano Air Quality Management District is required.
- 66. Any deferred submittals that are not a part of the initial permit application must be listed on the cover sheet of the plan at the time of application for the project.
- 67. All plans, computations and specifications to be prepared and designed by an architect or engineer licensed by the state of California.
- 68. A licensed architect or licensed engineer shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the building.
- 69. A soils investigation report shall be provide as specified in section 1803.2 of the 2016 CBC.

FIRE

- 70. Prior to final occupancy, we will require confirmation from a licensed professional (fire protection engineer) that the fire sprinkler system adequately provides the level of protection required for the specific operation involved.
- 71. Minimum turning radius for all fire apparatus access roads shall be minimum of 20’ inside, 40’ outside.
- 72. Fire flow requirements, fire hydrant location and distribution shall meet the requirements of 2016 California Fire Code, Appendix B and C, respectively.

ENVIRONMENTAL SERVICES

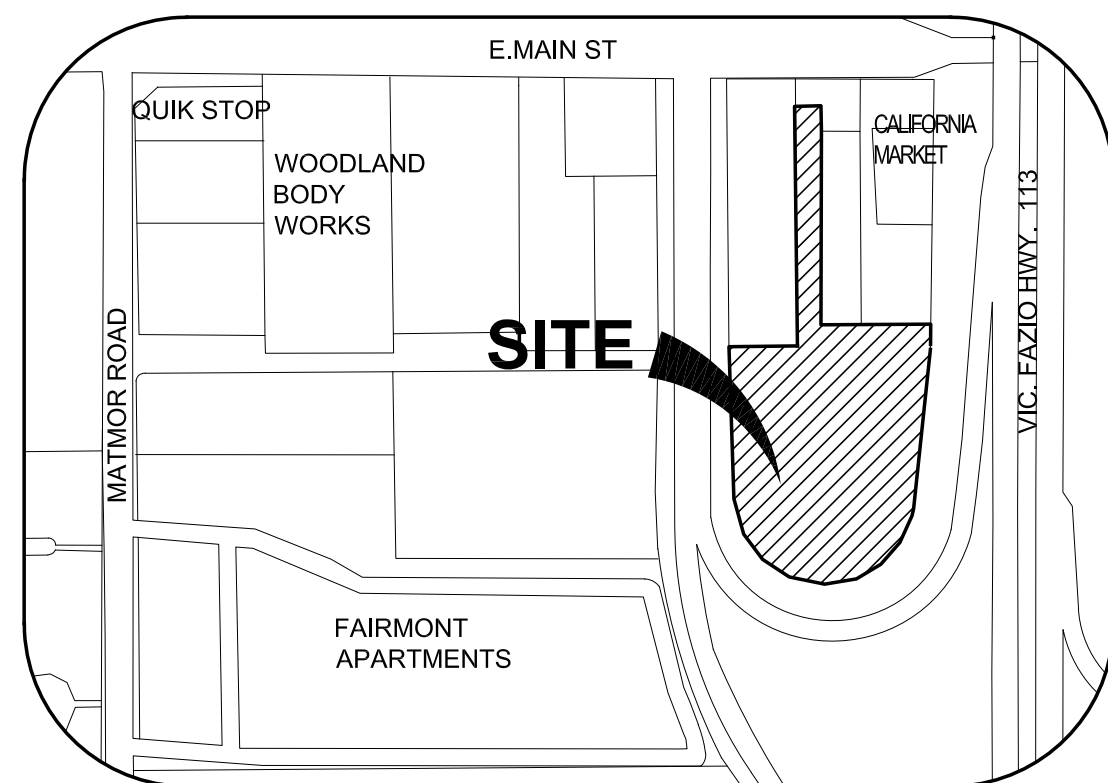
- 73. MWELO Title 23, Chapter 2.7, §492.7 requires that a dedicated water service meter or private submitter to be installed in all non-residential landscape properties of at least 1,000sgft.

YOLO HABITAT CONSERVANCY AVOIDANCE AND MINIMIZATION MEASURES. (AMMs)

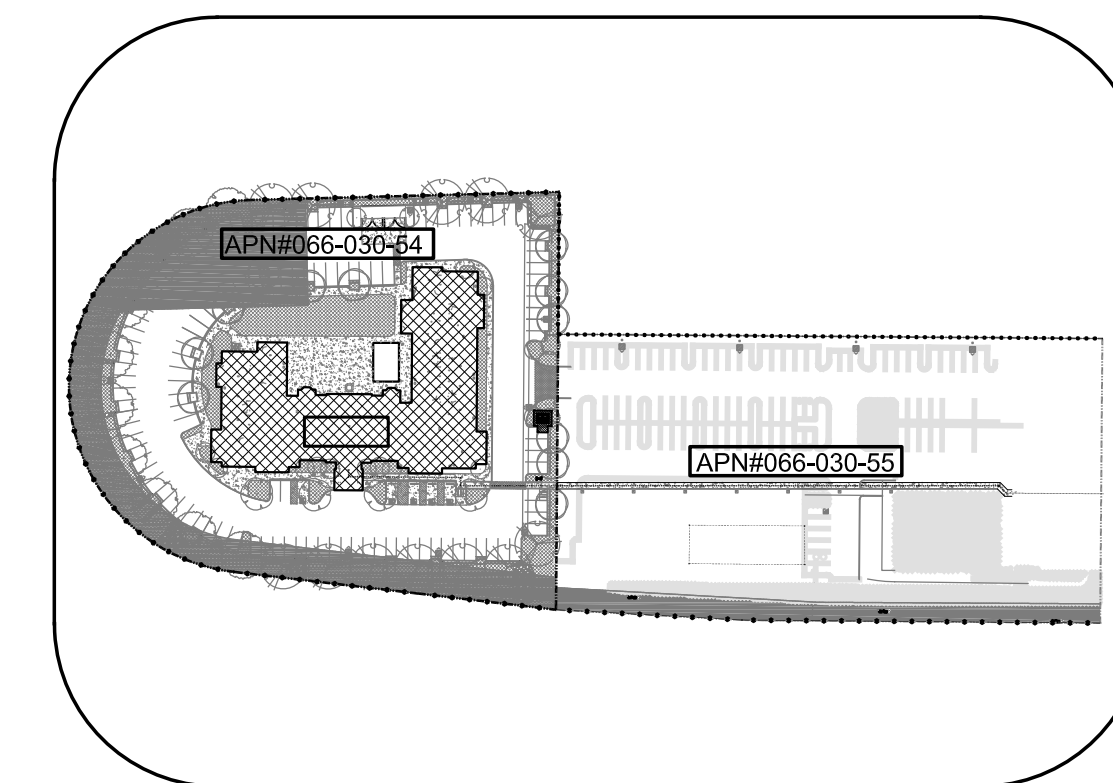
- 74. ***AMM16, Minimize Take and Adverse Effects on Habitat of Swainson’s Hawk and White-Tailed Kite.*** The project proponent will retain a qualified biologist to conduct planning-level surveys and identify any nesting habitat present within 1,320 feet of the project footprint. Adjacent parcels under different land ownership will be surveyed only if access is granted or if the parcels are visible from authorized areas.
- 75. ***AMM18, Minimize Take and Adverse Effects on Western Burrowing Owl.*** Applicant will implement AMM18 by retaining a qualified biologist to conduct a survey in suitable burrowing owl habitat within 500-feet of the project boundary. The survey will be conducted according the CDFG 2012 burrowing owl guidelines. If an

active burrowing owl burrow is found, no-disturbance buffers will be established and maintained around the active burrow according to the 2012 CDFG guidelines

ZONING ADMINISTRATOR PERMIT FOR STAYBRIDGE SUITES EXTENDED STAY HOTEL (4 STORY - 109 ROOMS) HWY 113 - MAIN PLAZA 1490 EAST MAIN STREET CITY OF WOODLAND, CA 95776 AREA - 2.42 + 2.04 = 4.46 ACRES APN #066-030-54 & 55



VICINITY MAP
SCALE:- N.T.S.



KEY MAP
SCALE:- N.T.S.

PROJECT CONTACTS

OWNER
SAH GROUP, INC
1731 RESEARCH PARK DRIVE, SUITE 101
DAVIS, CA 95618
CONTACT:-
RAM SAH
PHONE:- (530) 409-5167
EMail:-ramsah@sahgroupinc.com

CONSULTANT (PLANNING & DESIGN)

CONTINENTAL DEVELOPMENT CONSULTANTS, INC.
7473 W LAKE MEAD BLVD., SUITE 100,
LAS VEGAS, NV 89128
CONTACT:-
TONY SINGH
PHONE:- (702) 287-0347
EMail:- tony@continentaldc.com

PROJECT DATA

A. JOB INFORMATION

I. PROJECT NAME: EXTENDED STAY HOTEL, HWY 113 - MAIN PLAZA
II. PROJECT LOCATION: 1490 EAST MAIN STREET
WOODLAND CA 95776
III. JURISDICTION: CITY OF WOODLAND
IV. ASSESSOR'S PARCEL NUMBERS: #066-030-54 & 55
V. SITE AREA: 2.42 ACRE + 2.04 ACRE = 4.46 ACRE (194,277 SQ.FT.)

B. PLANNING INFORMATION (INTERIM ZONING ORDINANCE NO. 1634)

I. ZONING: CC (COMMUNITY COMMERCIAL)
II. GENERAL PLAN: COMMERCIAL
III. FLOOR-AREA-RATIO ANALYSIS
a) GROSS SITE AREA: 194,277 SQ.FT.
b) GROSS FLOOR AREA: 77,488 (HOTEL - PROPOSED) + 4950 (MARKET - EXISTING) = 82,438 SQ.FT.
c) F.A.R.:
ALLOWABLE: 0.15 - 0.5
PROPOSED: 82,438 / 194,277 = 0.42
HENCE OK.

IV. SETBACKS:

HOTEL	REQUIRED	PROPOSED
FRONT	15 FT.	75 FT.
REAR	3 FT.	56 FT.
NORTH SIDE	0 FT.	478 FT.
SOUTH SIDE	0 FT.	113 FT.

V. HEIGHTS:

ALLOWABLE: 65'-0" (MAX.) @ PARAPET TOP
PROPOSED: 39'-9" (EXCLUDING PARAPET HEIGHT)
52'-0" (INCLUDING PARAPET HEIGHT)

VI. PARKING ANALYSIS (FOR PROPOSED HOTEL ONLY)

I. REQUIRED ONE PER EACH GUESTROOM AND ONE FOR THE MANAGER (ZONING CODE - ARTICLE 23 SEC 25-23-10(G))	110
PROPOSED	128
II. COMPACT PARKING SPACES (ZONING CODE - ARTICLE 23 SEC 25-23-30(C))	
REQUIRED	20% - 40% = 52 (MAX)
PROPOSED	31
III. ACCESSIBLE PARKING SPACES (2016CBC - TABLE 11B-208.2)	
REQUIRED	5
PROPOSED	5
IV. CLEAN AIR/ VANPOOL PARKING SPACES (CALGREEN - TABLE 5.106.5.2)	
REQUIRED	11
PROPOSED	11
V. ELECTRIC VEHICLE CHARGING STATION (CALGREEN - TABLE 5.106.5.3.3)	
REQUIRED	7
PROPOSED	8
VI. BICYCLE PARKING	
• FOR GUESTS	
REQUIRED AS PER CALGREEN - 5.106.4.1.2	7 (5% OF TOTAL CAR PARKING SPACE)
REQUIRED AS PER PLANNING COA	8 (ONE PER 15 GUESTROOMS)
PROVIDED	8 (PROPOSED MAX.)
• COVERED & SECURED FOR EMPLOYEES	
REQUIRED	6 (PLANNING COA)
PROVIDED	6 (2 BIKE LOCKERS W/ 3 BICYCLES CAPACITY IN EACH)

VII. SITE ANALYSIS

a) SITE AREA: 4.46 ACRES (194,277 SQ.FT.)

ITEM DESCRIPTION	EXISTING CONDITION	PROPOSED CONDITION	FUTURE DEVELOPMENT CONDITION	TOTAL
IMPERVIOUS AREA				
BUILDING INCL. FRONT PORTICO	4,950 SQ.FT	19,242 SQ.FT	-	24,192 SQ.FT (12.5%)
CONCRETE PAVING	1,820 SQ.FT	11,890 SQ.FT	-	13,710 SQ.FT (7%)
ASPHALT PAVING	9,368 SQ.FT	53,159 SQ.FT	-	62,527 SQ.FT (32.2%)
PERVIOUS AREA				
LANDSCAPING & DRAINAGE SWALES	4,465 SQ.FT	29,549 SQ.FT	59,834 SQ.FT	93,848 SQ.FT (48.3%)
TOTAL AREA	20,603 SQ.FT (0.47 ACRE)	113,840 SQ.FT (2.61 ACRE)	59,834 SQ.FT (1.38 ACRE)	1,94,277 SQ.FT (4.46 ACRES) (100%)

NOTE: REFER LANDSCAPING PLAN L-1 FOR PLANTING AND SHADING DETAILS & SHEET AS3 FOR LAND COVER ANALYSIS.

b) LOT COVERAGE
ALLOWABLE: 50% MAX.
PROPOSED: (19242 + 4950/194277) x 100 = 12.5%

C. BUILDING INFORMATION (FOR PROPOSED HOTEL ONLY)

I) OCCUPANCY:	R-2
II) TYPE OF CONSTRUCTION:	V B
III) BUILDING CODES:	2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 BUILDING ENERGY EFFICIENCY STANDARDS 2016 CALIFORNIA GREEN BUILDING CODE 2016 FIRE CODE THE CODE OF THE CITY OF WOODLAND
VI) FIRE SPRINKLERS:	YES
V) STORES:	4
VI) HEIGHT:	
ALLOWABLE:	60'-0"
PROPOSED:	52'-0"
VII) ROOMS:	109
VIII) GROSS AREA:	
FIRST FLOOR	18,907 SQ.FT
SECOND FLOOR	18,793 SQ.FT
THIRD FLOOR	18,793 SQ.FT
FOURTH FLOOR	18,793 SQ.FT
FIFTH FLOOR (STAIR HALL ONLY)	202 SQ.FT
TOTAL =	77,488 SQ.FT

PROJECT DESCRIPTION

- CONSTRUCTION OF 4 STORY, 109 ROOMS, APPROX. 77,488 SQ.FT., EXTENDED STAY HOTEL TO BE ACCESSED FROM MAIN STREET TOWARDS NORTH.
- PROPOSED DEVELOPMENT SURROUNDED BY CALTRANS R.O.W TOWARDS EAST & SOUTH, MAIN STREET TOWARDS NORTH AND CALTRANS R.O.W/PRIVATE PROPERTY TOWARDS WEST. EXISTING DRAINAGE EASEMENT ALONG CALTRANS R.O.W TO REMAIN.
- PROJECT TO BE CONNECTED TO PUBLIC SEWER AND WATER SYSTEM. EXISTING ON-SITE WASTE TREATMENT SYSTEM(S) FOR EXISTING MARKET IN NORTH PARCEL TO BE REMOVED AND MARKET TO BE CONNECTED TO PUBLIC SEWER.
- THREE EXISTING SITE TREES UPTO 5" DBH TO BE REMOVED IN THE AREA OF DISTURBANCE, PER PLANS.

SHEET INDEX

COVER SHEET	
CS1	COVER SHEET
SITE	
CM1	CONTEXTUAL MAP
P1	3-D PERSPECTIVE FROM SR 113 (EAST SIDE)
P2	3-D PERSPECTIVE FROM OFF RAMP (SOUTH-EAST SIDE)
P3	3-D PERSPECTIVE FROM MAIN STREET (NORTH SIDE)
AS1	SITE PLAN
AS2	SITE SECTIONS FOR RTE VISIBILITY
AS3	LAND COVER ANALYSIS
AS4	CIRCULATION & PARKING PLAN
C301	GRADING & DRAINAGE PLAN
L-1	PRELIMINARY LANDSCAPE PLAN (B&W)
L-1	PRELIMINARY LANDSCAPE PLAN (COLORED)
E-1	PHOTOMETRY PLAN
BUILDING	
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A2.3	RENDERED EXTERIOR ELEVATIONS
A2.4	RENDERED EXTERIOR ELEVATIONS
A3	ROOF PLAN
A4	BUILDING SECTIONS
A5	DOOR & WINDOW SCHEDULE

CONTINENTAL DEVELOPMENT CONSULTANTS, INC.

7473 W Lake Mead Blvd, Ste 100, Las Vegas, NV 89128
Phone (702)287-0347 • FAX (702)664-6237
Email: Contact@continentaldc.com
Civil Engineering • Land Planning and Zoning Entitlements •
Building Design and Improvements • Construction Consulting



COVER SHEET

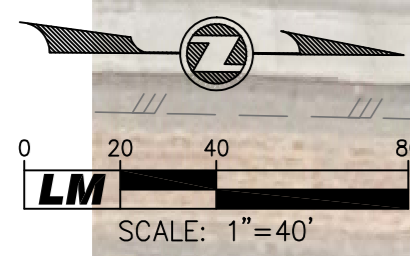
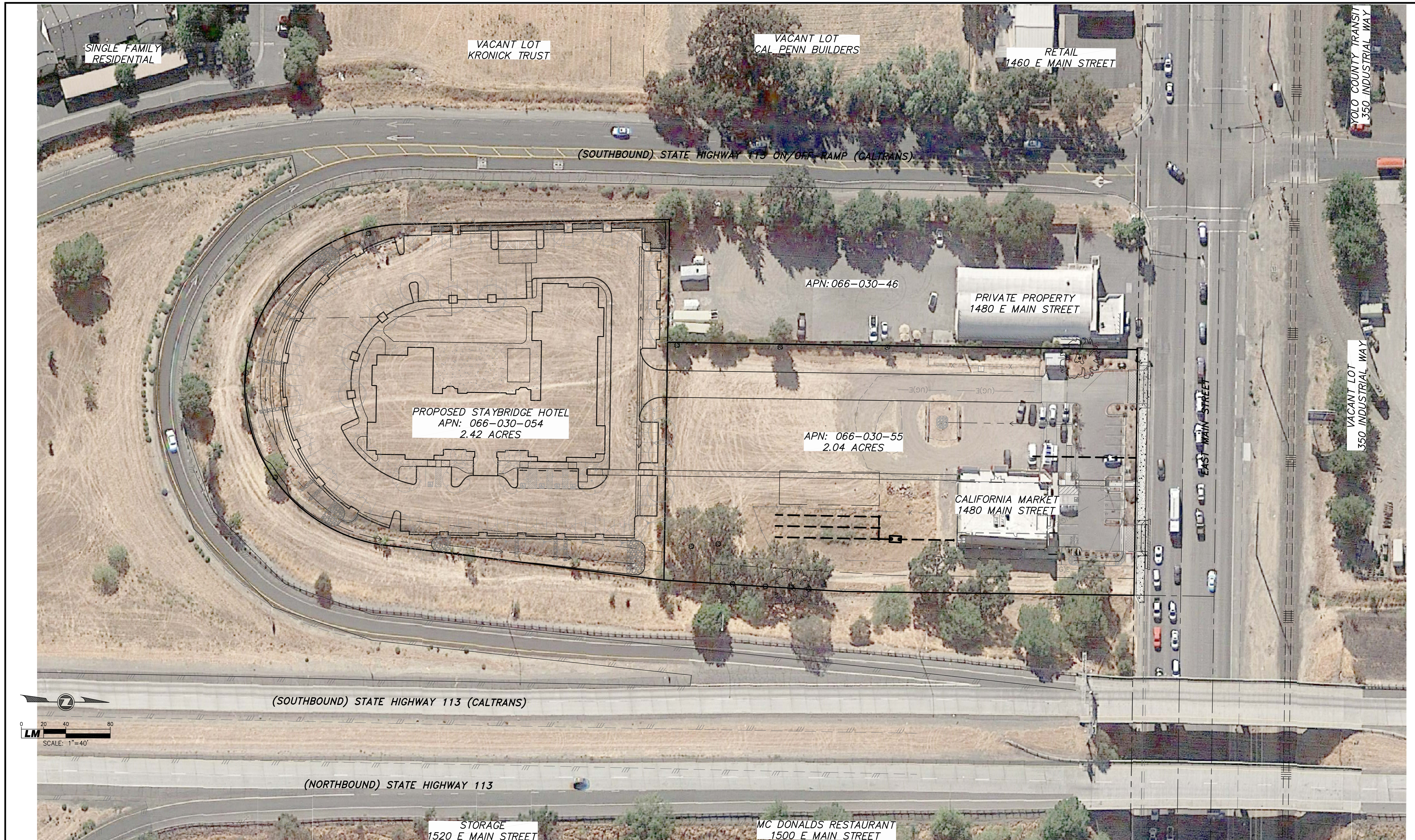
STAYBRIDGE SUITES
HWY- 113 MAIN PLAZA, 1490 EAST MAIN STREET
WOODLAND, CA 95776

TITLE

PROJECT

DATE: 07/11/2019
JOB: RS-WL-01
DWG BY: DV
CKD BY: SPK

CS1



DESIGNED BY AAA				
DRAWN BY AAA				
CHECKED BY AAA				
REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEIKLE
 CIVIL ENGINEERING · LAND SURVEYING · PLANNING
 608 COURT STREET, WOODLAND, CALIFORNIA 95695 · PHONE: (530) 662-1755
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 · FAX: (530) 662-4602

BY: PAYMON FARDANESH
 DATE: 05-10-2019, P.E. 68117

CONTEXTUAL MAP
 FOR
STAYBRIDGE SUITES

CITY OF WOODLAND CALIFORNIA

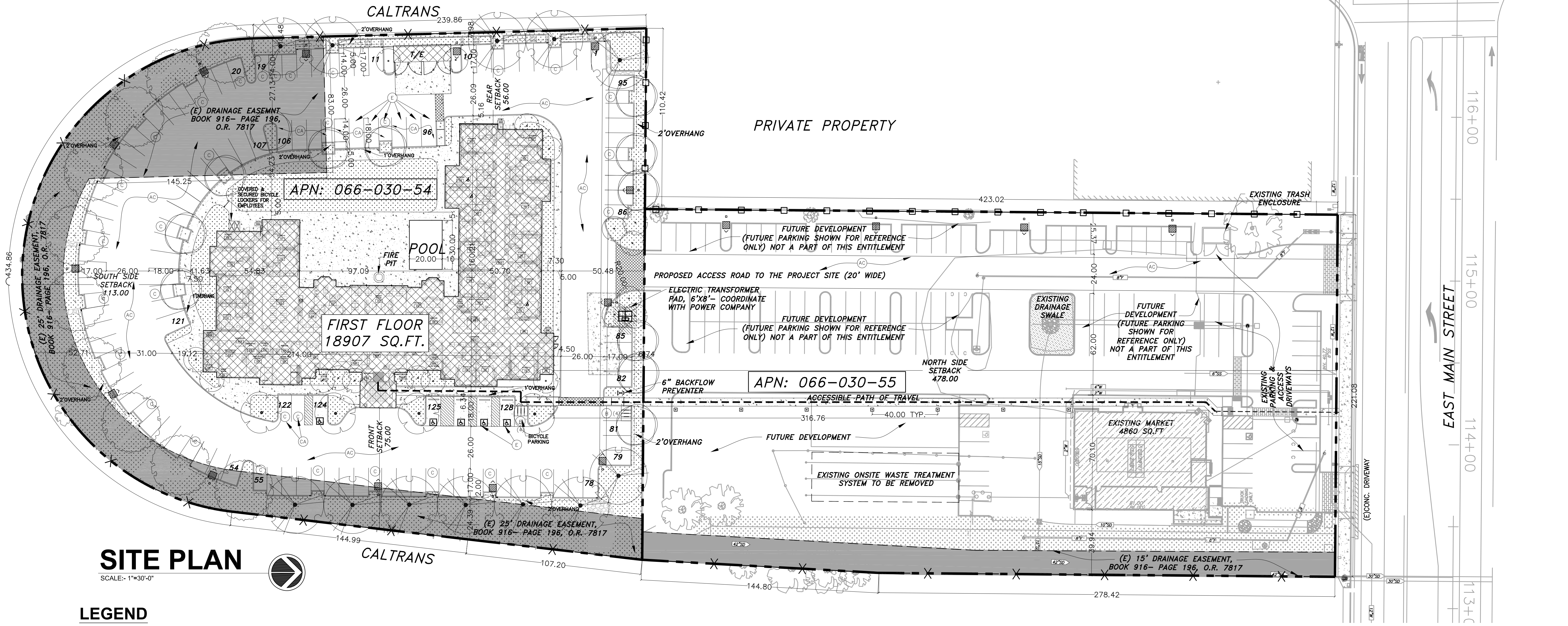
SITE PLAN

SCALE
 1"=40'

CM1

SHEET 1 OF 1

DATE: 05-10-2019
 JOB NO. 3124-5



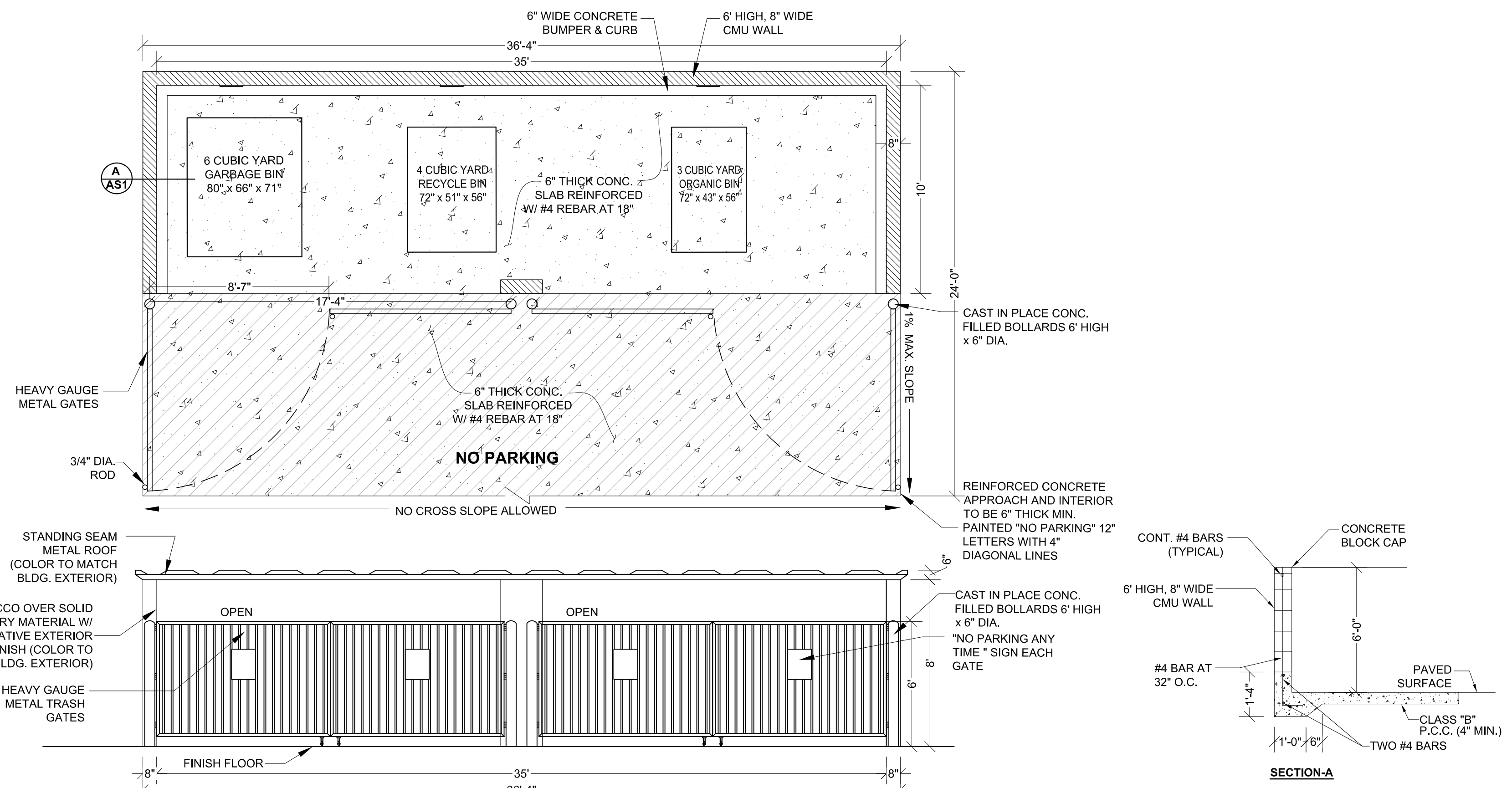
SITE PLAN
SCALE: 1"=30'-0"

LEGEND

- PROPERTY LINE
- (E) 6' HIGH CALTRANS METAL FENCE TO REMAIN
- (N) 6' HIGH WROUGHT IRON FENCE
- PROPOSED STRUCTURES (BLDG. & T/E)
- TRASH ENCLOSURE
- LANDSCAPING AREA
- DECORATIVE PAVING (SAMPLE SUBJECT TO REVIEW & APPROVAL BY DIRECTOR, CDD PRIOR TO BUILDING PERMIT ISSUANCE)
- STAMPED CEMENT CONCRETE (SAMPLE SUBJECT TO REVIEW & APPROVAL BY DIRECTOR, CDD PRIOR TO BUILDING PERMIT ISSUANCE)
- ASPHALT CONCRETE
- NO PARKING
- ACCESSIBLE PATH OF TRAVEL (5' WIDE STAMPED CONCRETE PAVING) (SAMPLE SUBJECT TO REVIEW & APPROVAL BY DIRECTOR, CDD PRIOR TO BUILDING PERMIT ISSUANCE)
- DRAINAGE EASEMENT
- COMPACT PARKING SPACES
- CLEAN AIR/VANPOOL
- ELECTRIC VEHICLE CHARGING STATION
- BICYCLE PARKING
- SITE LIGHTING (FOR DETAIL REF. PHOTOMETRY PLAN)
- BOLLARD LIGHTING APPROX. 4' HIGH @ 40' O.C. (APPROX.) ALONG PATH OF TRAVEL
- BIKE LOCKER W/ CAPACITY OF 3 BIKES (BIKE SHELL MODEL 301-W)

PARKING ANALYSIS

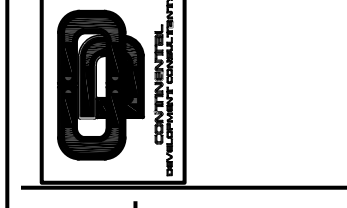
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TRASH ENCLOSURE
SCALE: 1"=50'-0"

REVISIONS:	REVISION	ISSUE	DATED

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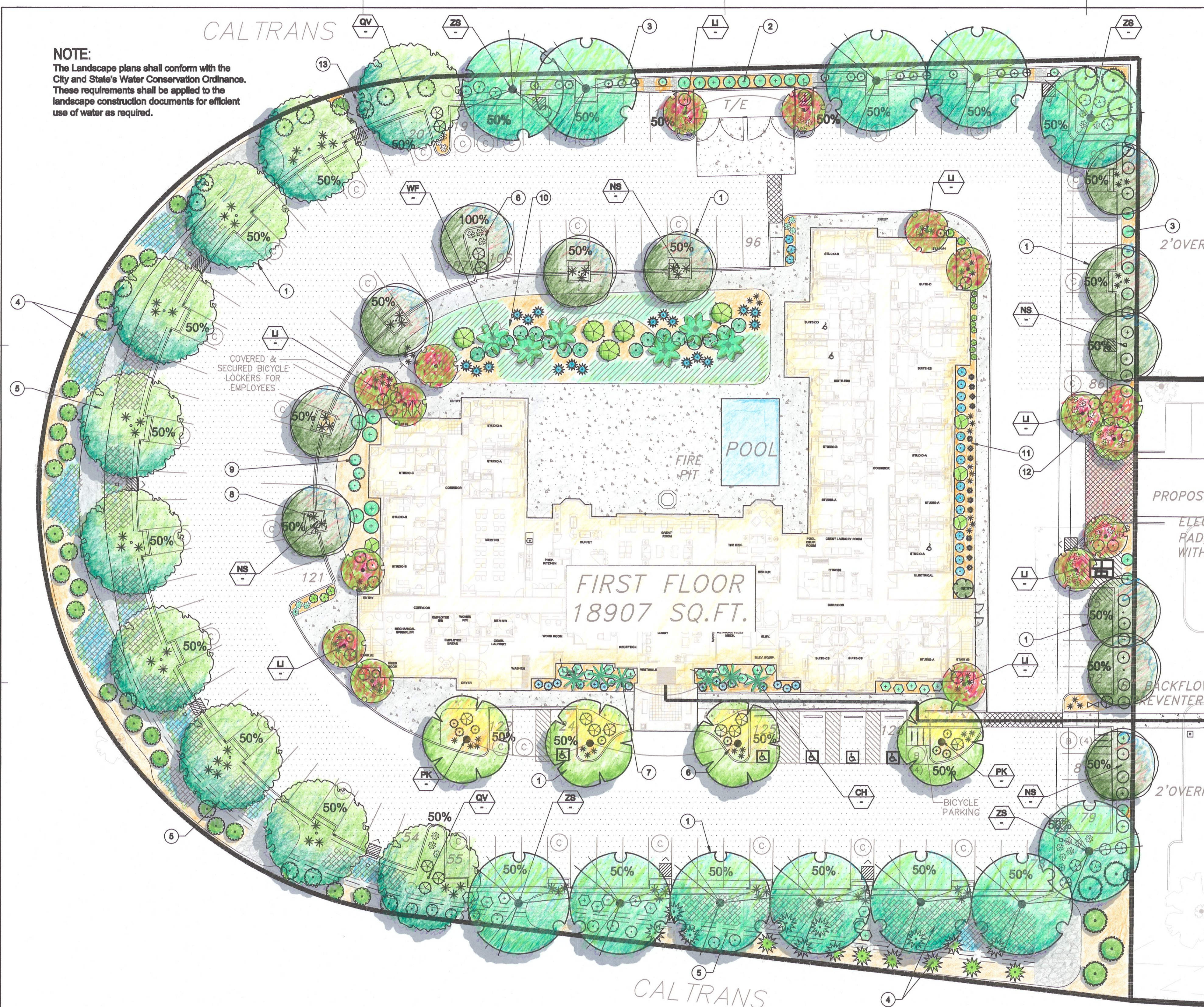


PROPOSED SITE PLAN
STAYBRIDGE SUITES
HWY-113 MAIN PLAZA, 1490 EAST MAIN STREET
WOODLAND, CA 95776

DATE: 05/24/2019
JOB: RS-WL-01
DWG BY: DV
CKD BY: SPK

AS1

NOTE:
The Landscape plans shall conform with the City and State's Water Conservation Ordinance. These requirements shall be applied to the landscape construction documents for efficient use of water as required.



PRELIMINARY PLANT PALETTE

ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTE
TREES					
CH	Chamaerops humilis	Mediterranean Fan Palm	24"Box	6	
LI	Lagerstromia indica	Crape Myrtle	15 Gal	17	
NS	Nyssa sylvatica	Tupelo	15 Gal	12	
PK	Pistache chinensis 'Keith Davey'	Keith Davey Chinese Pistache	15 Gal	4	
QV	Quercus virginiana	Southern Live Oak	15 Gal	10	
WF	Washingtonia filifera	California Fan Palm	24"Box	6	
ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	15 Gal	12	

SHRUBS, GRASSES and SUCCULENTS

Agave 'Blue Glow'	Blue Glow Agave	1 Gal.
Aloe x 'Blue Elf'	Blue Elf Aloe	1 Gal
Calandrinia grandiflora	Rock Purslane	1 Gal.
Callistemon c. 'Little John'	Dwarf Bottlebrush	5 Gal
Carex species	Sedge	1 Gal
Chondropetalum tectorum 'Dwarf'	Dwarf Cape Rush	2 Gal.
Cistus ladanifer (maculatus)	Crimson Spot Rockrose	5 Gal
Cistus 'Mickie'	Rockrose	1 Gal.
Euonymus J. 'Microphyllus'	Boxleaf Euonymus	1 Gal.
Grevillea l. 'Mt. Tamboritha'	Woolly Grevillea	5 Gal.
Hesperaloe parviflora	Texas Red Yucca	5 Gal.
Lomandra longifolia 'Breeze'	Dwarf Mat Rush	1 Gal.
Olea europaea 'Montra'	Little Ollie Dwarf Olive	5 Gal
Pittosporum tobira 'Shima'	Cream de Mint Mock Orange	5 Gal
Rhaplolepis indica	Indian Hawthorn	5 Gal
Rosmarinus o. 'Tuscan Blue'	Tuscan Blue Rosemary	5 Gal.
Myrtus communis 'Compacta'	Dwarf Myrtle	5 Gal.
Nandina d. 'Gulf Stream'	Gulf Stream Heavenly Bamboo	2 Gal.
Rosa Flower Carpet 'Coral'	Coral Groundcover Rose	2 Gal
Viburnum tinus 'Spring Bouquet'	Laurustinus	5 Gal
Westringia 'Blue Gem'	Blue Gem Coast Rosemary	5 Gal.
Yucca filamentosa 'Color Guard'	Adam's Needle	5 Gal.

GROUND COVERS

Arctostaphylos 'Emerald Carpet'	Manzanita	1 Gal
Erigeron karvinskianus	Santa Barbara Daisy	1 Gal
Lantana montevidensis	Purple Trailing Lantana	1 Gal
Myoporum parvifolium 'Pink'	Creeping Myoporum	1 Gal
Sedum reflexum 'Blue Spruce'	Blue Spruce Stonecrop	1 Gal
Sedum rupestre 'Angelina'	Angelina Stonecrop	1 Gal
Stachys byzantina 'Big Ears'	Big Ear Lamb's Ear	1 Gal.
Teucrium majoricum	Fruity Teucrium	1 Gal

KEY NOTES:

- PARKING LOT SHADE TREES. SEE SHADE CALCULATION AND PLANT PALETTE FOR ADDITIONAL INFORMATION.
- SCREEN TRASH ENCLOSURE WITH EVERGREEN SHRUBS AS REQUIRED.
- LOW WATER USE DRIP IRRIGATED PERIMETER LANDSCAPING AS SHOWN. PLANT MATERIAL SHALL BE CLEAR OF CAR OVERHANG AS SHOWN, TYPICAL.
- LOW WATER USE DRIP IRRIGATED PERIMETER PLANTINGS AS SHOWN. PLANTINGS TO INCLUDE LARGE SCALE GROUNDCOVERS TO STABILIZE SLOPE AND SHRUBS TO PROVIDE SCREENING AS REQUIRED.
- DRAINAGE SWALE- SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- TYPICAL INTERIOR LANDSCAPE PLANTER AREAS. PLANT MATERIAL (EXCEPT FOR TREES) SHALL NOT EXCEED 4' IN HEIGHT.
- BUILDING ENTRY LANDSCAPING AS SHOWN. PLANTINGS TO INCLUDE MEDITERRANEAN FAN PALMS AND EVERGREEN FOUNDATION PLANTINGS BELOW WINDOW HEIGHT.
- INTERIOR LANDSCAPE PLANTER ISLAND WITH SMALL ACCENT PLANTINGS CLEAR OF CAR OVERHANG AS SHOWN, TYPICAL.
- TYPICAL LOW WATER USE, DRIP IRRIGATED SHRUBS AND PERENNIALS ADJACENT TO BUILDING AS SHOWN.
- ORNAMENTAL LOW WATER USE DRIP IRRIGATED PLANTER AREA WITH CALIFORNIA FAN PALMS, GROUND COVERS, LOW HEDGES AND ACCENTS.
- ORNAMENTAL LOW WATER USE DRIP IRRIGATED FOUNDATION PLANTINGS (BELOW WINDOW HEIGHT) INCLUDING LOW EVERGREEN SHRUBS ALONG WALL AND SMALL ACCENTS. TALLER PLANT MATERIAL MAY BE LOCATED BETWEEN WINDOWS AS SHOWN.
- ORNAMENTAL LOW WATER USE ENTRY ACCENT LANDSCAPING. APPROPRIATE PLANT MATERIAL SHALL BE PLANTED TO MAINTAIN CROSS VISIBILITY.
- EXISTING TREE- SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION.

PARKING LOT INTERIOR LANDSCAPE PLANTER AREA CALCULATION

TOTAL PARKING AREA = 37,430 s.f.
6% PERMANENT INTERIOR LANDSCAPING REQUIRED = 2,246 s.f.
 INTERIOR LANDSCAPING PROVIDED = 2,980 s.f.
PERCENT OF PARKING AREA = 7.9 %

LANDSCAPE AREA COVERAGE CALCULATION

TOTAL LANDSCAPE AREA = 23,250 s.f.
75% LANDSCAPE COVERAGE REQUIRED = 17,438 s.f.
 LANDSCAPE COVERAGE PROVIDED = 17,690 s.f.
PERCENT OF LANDSCAPE AREA = 78%

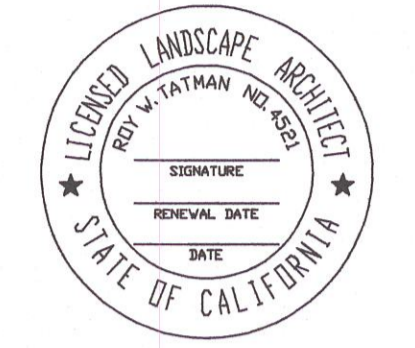
PARKING LOT SHADE CALCULATION

SPECIES	SIZE	QTY.@100% SHADE/SF	QTY.@75% SHADE/SF	QTY.@50% SHADE/SF	QTY.@25% SHADE/SF	TOTAL SF
Quercus virginiana/ Southern Live Oak	35'dia.	0 / 962	0 / 722	10 / 481	0 / 240	4,810
Zelkova serrata 'Green Vase'/ Green Vase Zelkova	35'dia.	0 / 962	0 / 722	12 / 481	0 / 240	5,772
Pistache chinensis 'Keith Davey'/ Keith Davey Chinese Pistache	30' dia.	0 / 708	0 / 531	4 / 354	0 / 177	1,416
Nyssa sylvatica/ Tupelo	25' dia.	1 / 491	0 / 368	11 / 246	0 / 123	3,197
Lagerstromia indica/ Crape Myrtle	20' dia.	0 / 314	0 / 236	2 / 157	0 / 79	314

TOTAL SHADE PROVIDED: 16,609 s.f.
TOTAL PARKING AREA: 37,430 s.f.
40% SHADE REQUIRED: 14,972 s.f.
SHADE PROVIDED: 16,609 s.f.
PERCENT SHADE: 42%

DENOTES PARKING AREA

CJF Consulting
 4221 62nd Street
 Sacramento, Ca. 95820
 Phone 916-698-2757

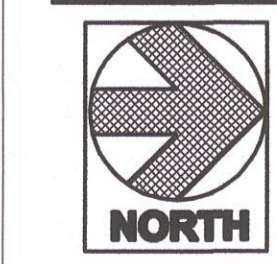


ISSUES/REVISIONS

2	5-29-19	REVISED PER 3RD CYCLE REVIEW
1	2-20-19	REVIEW SUBMITTAL REVISED

NO.	DATE	DESCRIPTION
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Staybridge Suites
 1490 Main Street
 Woodland, Ca 95776



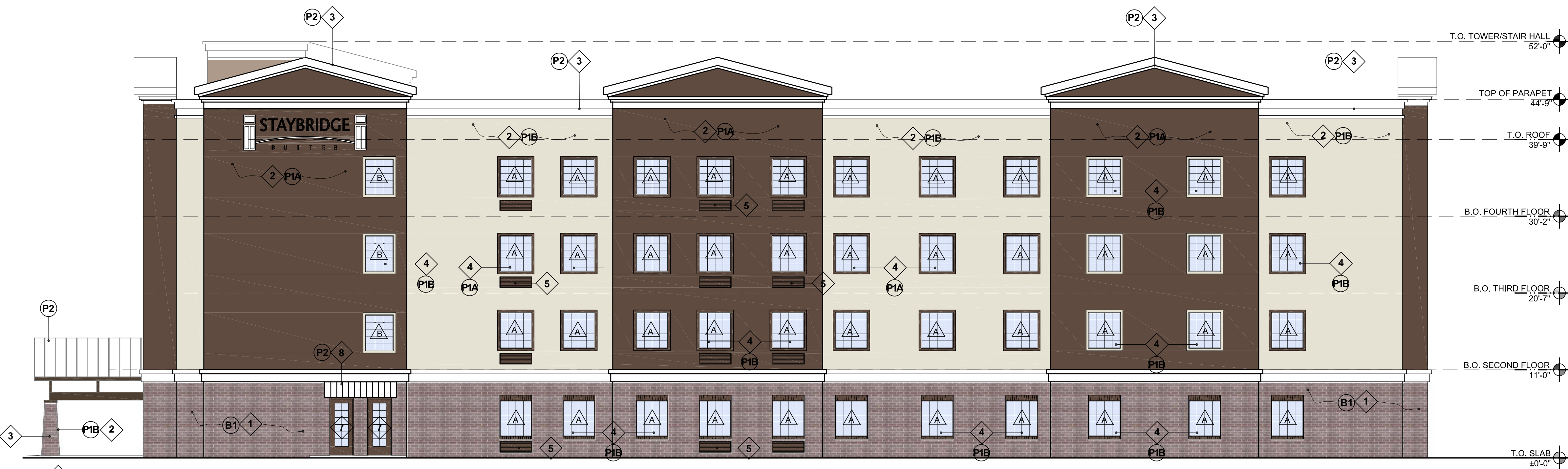
PROJECT NUMBER: 2215
 SCALE: 1" = 20'-0"

PRELIMINARY LANDSCAPE PLAN

REVIEW SET - NOT FOR CONSTRUCTION



A REAR (WEST) ELEVATION
1/8" = 1'-0"



B SIDE (NORTH) ELEVATION
1/8" = 1'-0"

MATERIAL KEY NOTES:

- 1 BRICK BASE
- 2 3 COAT STUCCO SYSTEM
- 3 COPING (ALUMINUM) (MATCHING ADJACENT COLOR)
- 4 WINDOWS (ALUMINUM) (TRIM PER COLOR SCHEDULE)
- 5 PTAC GRILLE (ALUMINUM)
- 6 STORE FRONT SYSTEM (ALUMINUM)
- 7 INSULATED DOOR & FRAME (HOLLOW METAL)
- 8 STANDING SEAM METAL AWNING

EXTERIOR COLOR SCHEDULE:

FIN. #	MATERIAL	LEGEND	COLOR OR TYPE	DESCRIPTION & ITEM CODES
B1	BRICK	BASE	IRON MOUNTAIN	H.C. MUDDOX - IRON MOUNTAIN
P1A	SEMI-GLOSS PAINT	BODY 1	SABLE	SHERWIN-WILLIAMS # SW6083
P1B	SEMI-GLOSS PAINT	BODY 2	NEUTRAL GROUND	SHERWIN-WILLIAMS # SW7568
P1C	SEMI-GLOSS PAINT	BODY 3	DOVE WHITE	SHERWIN-WILLIAMS # SW6385
P1D	SEMI-GLOSS PAINT	BODY 4	DOWN HOME	SHERWIN-WILLIAMS # SW6081
P2	SEMI-GLOSS PAINT	ACCENT	HIGH REFLECTIVE WHITE	SHERWIN-WILLIAMS # SW7757

LEGEND

▲ WINDOW TYPE (REFER SHEET A5 FOR DETAILS)

- NOTES:**
- PROPOSED BUILDING COMPLIES WITH CITY'S ROOF TOP EQUIPMENT SCREENING REQUIREMENTS. REFER SECTION 3.05.G.6.d. FOR SCREENING COMPLIANCE.
 - SIGNAGE UNDER SEPARATE PERMIT. SHOWN FOR REFERENCE ONLY.
 - EXTERIOR DOWNSPOUTS TO BE INTEGRATED INTO EXTERIOR FACADE OF BUILDING WITH SIMILAR COLOR.

Continental Development Consultants, Inc.

7473 W Lake Mead Blvd, Ste 100, Las Vegas, NV 89128
 Phone (702)287-0347 • FAX (702)664-6237
 Email: Contact @ continentaldc.com
 Civil Engineering • Land Planning and Zoning Entitlements •
 Building Design and Improvements • Construction Consulting

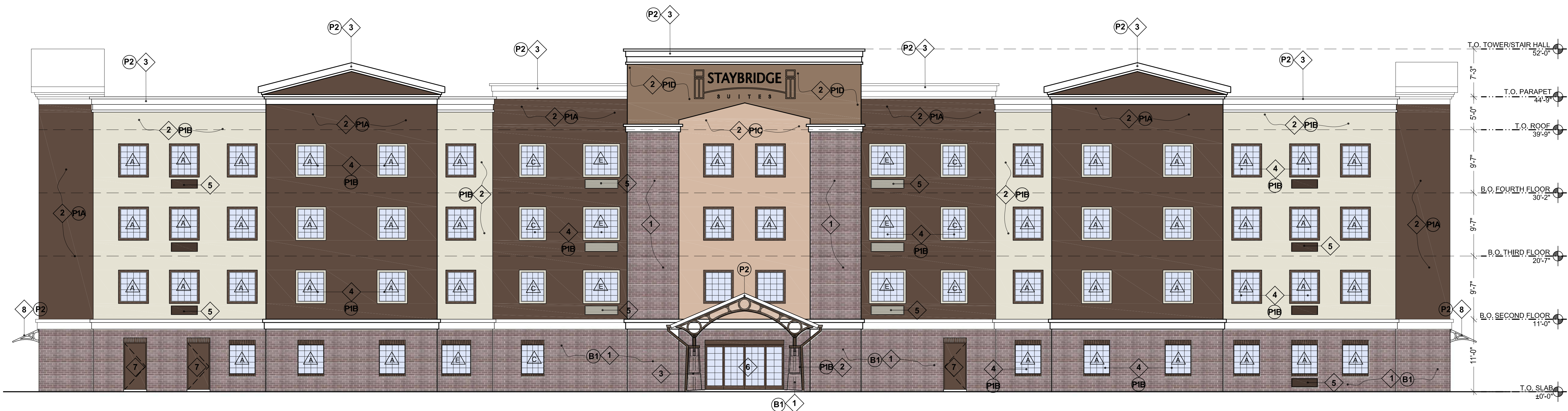


TITLE
PROJECT

RENDERED EXTERIOR ELEVATIONS
 STAYBRIDGE SUITES
 HWY- 113 MAIN PLAZA, 1490 EAST MAIN STREET
 WOODLAND, CA 95776

DATE: 05/28/2019
 JOB: RS-WL-01
 DWG BY: DV
 CKD BY: SPK

A2.4



A FRONT (EAST) ELEVATION
1/8" = 1'-0"



B SIDE (SOUTH) ELEVATION
1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- 1 BRICK BASE
 - 2 3 COAT STUCCO SYSTEM
 - 3 COPING (ALUMINUM) (MATCHING ADJACENT COLOR)
 - 4 WINDOWS (ALUMINUM) (TRIM PER COLOR SCHEDULE)
 - 5 PTAC GRILLE (ALUMINUM)
 - 6 STORE FRONT SYSTEM (ALUMINUM)
 - 7 INSULATED DOOR & FRAME (HOLLOW METAL)
 - 8 STANDING SEAM METAL AWNING

EXTERIOR COLOR SCHEDULE:

FIN. #	MATERIAL	LEGEND	COLOR OR TYPE	DESCRIPTION & ITEM CODES
B1	BRICK	BASE	IRON MOUNTAIN	H.C. MUDDOX - IRON MOUNTAIN
P1A	SEMI-GLOSS PAINT	BODY 1	SABLE	SHERWIN-WILLIAMS # SW6083
P1B	SEMI-GLOSS PAINT	BODY 2	NEUTRAL GROUND	SHERWIN-WILLIAMS # SW7568
P1C	SEMI-GLOSS PAINT	BODY 3	DOVE WHITE	SHERWIN-WILLIAMS # SW6385
P1D	SEMI-GLOSS PAINT	BODY 4	DOWN HOME	SHERWIN-WILLIAMS # SW6081
P2	SEMI-GLOSS PAINT	ACCENT	HIGH REFLECTIVE WHITE	SHERWIN-WILLIAMS # SW7757

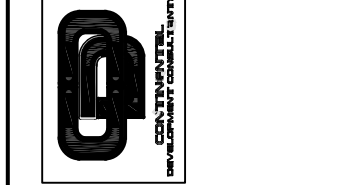
LEGEND
 WINDOW TYPE (REFER SHEET A5 FOR DETAILS)

- NOTES:**
- PROPOSED BUILDING COMPLIES WITH CITY'S ROOF TOP EQUIPMENT SCREENING REQUIREMENTS. REFER SECTION 3.05.G.6.8. FOR SCREENING COMPLIANCE.
 - SIGNAGE UNDER SEPARATE PERMIT. SHOWN FOR REFERENCE ONLY.
 - EXTERIOR DOWNSPOUTS TO BE INTEGRATED INTO EXTERIOR FACADE OF BUILDING WITH SIMILAR COLOR.

REVISIONS:

REVISION	ISSUE	DATE

Continental Development Consultants, Inc.
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 Phone (702)287-0347 • FAX (702)664-6237
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 Building Design and Improvements • Construction Consulting



TITLE RENDERED EXTERIOR ELEVATIONS
PROJECT STAYBRIDGE SUITES
 HWY- 113 MAIN PLAZA, 1490 EAST MAIN STREET
 WOODLAND, CA 95776

DATE: 05/28/2019
 JOB: RS-WL-01
 DWG BY: DV
 CKD BY: SPK

A2.3

TECHNICAL MEMORANDUM

TO: Cindy Norris, Principal Planner, Community Development, City of Woodland
FROM: Michael Bumgardner, Bumgardner Biological Consulting
SUBJECT: Yolo Habitat Conservation Plan/Natural Communities Conservation Plan (HCP/NCCP) Compliance Associated with the Proposed Staybridge Suites Project, 1490 East Main Street, Woodland, CA (Revision 1)
DATE: 8/8/2019

INTRODUCTION

This revised technical memorandum (TM) provides the results of a planning level survey for the site of the proposed Staybridge Suites project (project) in the City of Woodland, California (Figure 1) as well as revisions due to comments from the Yolo Habitat Conservancy (Conservancy) on the original June 16, 2019 technical memorandum. The applicant, Sah Group Inc., has already completed an initial assessment of the project site based on information from the Conservancy's most current database (available through Conservancy staff) and current aerial photos (see attached photograph from Google Earth).

The initial assessment (i.e., land cover and covered species habitat assessment) can be completed at any time of year, but the assessment must be based on the most current data available at the time it is submitted. If the land cover is considered urban or built up, a qualified biologist or a member agency staff member with the appropriate expertise may verify the land cover and this data may be used for the final land cover assessment. The Conservancy may also independently verify land cover as urban or built up. For all other land cover types, a qualified biologist must verify the land cover and covered species habitat through a planning level survey. The Conservancy recommends this step if the applicant or planning staff are not certain whether the project is a covered activity or not. If the project is determined to not be a covered activity based on the land cover and covered species habitat assessment, then a planning level survey will not be needed. However, if the applicant and planning staff are reasonably certain the project is a covered activity, the Conservancy recommends conducting the planning level survey as early in the planning process as possible.

In addition to confirming the existing onsite land cover type, the planning level survey addressed the following:

- review of historic aerial photographs;
- review of habitat, special-status species, and wetland databases (both federal and state);
- a pre-site-survey analysis to assess the presence of suitable land covers that may support special-status species, migratory nesting birds, wetland habitats, or sensitive natural communities; and
- a site reconnaissance survey to assess the presence of active or dormant avian nests (in burrows and trees) within the 2.42-acre project site (consistent with the requirements of the Yolo County HCP/NCCP).

PROJECT SUMMARY

The Staybridge Suites project (Figure 1) involves the construction and operation of a 4-story, 109-room extended stay hotel with parking on a 2.42-acre vacant in-fill lot (APN #066-030-54) and 2.04-acre partially developed lot. The hotel will have an approximately 75,000 sq. ft. footprint (minus parking) and will be accessed from East Main Street to the north through APN #066-030-55 (under the same ownership). A reciprocal access easement will be recorded for both parcels. The vehicle and pedestrian access through APN #066-030-55 will occur on 0.17 acres of urban or built up land cover and 0.15 acres of urban ruderal land cover. In total, APN #066-030-55 supports the following approximate percentage covers: 0.36 acres of urban or built up land cover (i.e., asphalt and buildings), 0.39 acres of bare ground, and 1.29 acres of urban ruderal land cover. The project site is surrounded by Caltrans right-of-way (ROW) on the east, south, and west sides. An existing drainage easement along the Caltrans ROW will be maintained as part of the project. Lastly, the project will result in the permanent conversion of the onsite cover type associated with APN #066-030-54 and APN #066-030-54 to urban or built up and will result in the removal of three existing trees with a diameter at breast height (dbh) up to five inches.

RESEARCH AND SURVEY METHODS

All survey and research conducted for the project's planning level survey was conducted by me (i.e., Michael Bumgardner). I am qualified by the Conservancy to conduct such research and surveys given that I have been in the business as a consulting biologist since 1989 and much of my project history is in Yolo County and the surrounding counties. In addition, I am experienced with each of the covered wildlife species addressed by the HCP/NCCP.

Review of Historic Aerial Photographs

Google Earth photographs were utilized to assess land cover types and land use in the vicinity of the project site given that the project is located within the City of Woodland and there is a substantial number of easily available aerial photographs dating back to 1993.

Review of Special-Status Species and Sensitive Natural Vegetation Communities

A review for documented occurrences of special-status species (including covered species) and sensitive natural communities was conducted through query of the California Natural Diversity Data Base (CNDDDB) for occurrences within one mile of the project, query of the eBird data base for special-status birds (including covered species) within one mile of the project, and evaluation of modeled covered species habitat and occurrences of covered species presented in the species-specific figures of *Yolo Habitat Conservation Plan/Natural Community Conservation Plan Volume 2: Appendix A*.

Review of Wetland Data Bases

A search for available information related to onsite wetlands was limited to the United States Fish and Wildlife Services (USFWS) *National Wetlands Inventory Wetlands Mapper*. The Wetlands Mapper is designed to deliver easy-to-use, map-like views of wetland resources. It integrates digital map data along with other resource information to produce current information on the status, extent, characteristics, and functions of wetland, riparian, and deepwater habitats. The wetlands displayed on the Wetlands Mapper show wetland type and extent using a biological definition of wetlands. There is no attempt to define the limits of proprietary jurisdiction of any federal, state, or local government.

Planning Level Survey

A planning level survey of the project site was conducted on April 18, 2019. Given the relatively small area (i.e., 2.42 acres) of the project site, it was surveyed via random meander transects such that all habitat components could be evaluated. Weather conditions during the survey were sunny with no overcast or clouds and with no to low winds (i.e., less than 3 mph as determined with a Kestrel 2000 All-Weather Environmental Meter). Air temperature was not measured but was warm.

Additional survey up to 1,320 feet outside of the project site was conducted where access could be obtained. Where access was not possible, lands within 1,320 feet were evaluated with Nikon Monarch 7 binoculars from the nearest point of public access to determine the nearby land cover types, presence of covered species as well as other special-status species, and presence of sensitive vegetation communities.

A 2nd planning level survey of the project site was conducted on July 25, 2019 due to comments from the Conservancy on the original June 16, 2019 technical memorandum for the proposed project. The 2nd planning level survey was focused on land associated with APN #066-030-55 that was not addressed previously as well as the approximate percentage cover (on the entire project site) for ruderal and grass dominated covers.

RESEARCH AND SURVEY RESULTS

Review of Historic Aerial Photographs

Visual analysis of available Google Earth photographs shows that there have been no substantial changes in the immediate area of the project since 1993. Land use west, south, and east of the project site (south of Interstate 5 and East Main Street) has been dominated by residential development. Land use north of Interstate 5 and East Main Street has been dominated by industrial development. The most evident change is that residential and industrial development have continued to the east and now also include commercial uses. Though there are vacant in-fill parcels scattered throughout the areas within one mile or less of the project, these parcels or parts of parcels are small, fragmented, and disjunct from suitable habitat for covered species. As identified in the initial assessment for the project, the land cover types within one mile of the project include the following: urban or built up, cultivated agriculture, and semi-agricultural/incidental to agriculture. Though not identified in the initial assessment, vegetated corridor and urban ruderal also exist within one mile of the project site. The land cover type on the project site is all urban ruderal given that it consists of non-native, annual grasses and variety of tall, prevalent non-native forbs such as wild mustard (*Brassica* sp.), wild radish (*Raphanus raphanistrum*), common fiddleneck (*Amsinckia menziesii*), yellow starthistle (*Centaurea solstitialis*), vetch (*Vicia* sp.), curly dock (*Rumex crispus*), narrow leaf milkweed (*Asclepias fascicularis*), field bindweed (*Convolvulus arvensis*), and other weedy species. All land cover types were initially assessed through visual analysis of available Google Earth images, but were subsequently ground-truthed during the planning level survey conducted for the project on April 18, 2019. Though the boundaries of some off-site land cover types may have changed, ground-truthing did not result in any previously unidentified land cover types (particularly cover types that are covered species habitat or sensitive vegetation communities).

The 2nd planning level survey of the project site was conducted, in part, to determine the percentage cover of ruderal and grass species on the originally surveyed 2.42 acres associated with APN #066-030-54. I estimated that approximately 70% of the 2.42 acres is dominated by ruderal species with 90% of the ruderal cover associated with two species: yellow starthistle and field bindweed. The remaining 10% of ruderal cover is a diverse mix of the species previously identified on the parcel.

The vegetation associated with the portions of the proposed project on APN #066-030-55 is more disturbed – mostly from vehicle parking and turnaround for the nearby California Market. Hence, I estimated that approximately 15% is covered with asphalt, 30% is bare dirt, and 55% supports vegetation. In addition, the vegetated cover is 30% bare ground, 50% ruderal species, and 20% grasses. The ruderal species that occur on APN #066-030-55 include yellowstar thistle, common pepperweed (*Lepidium densiflorum*), and field bindweed.

Review of Special-Status Species and Sensitive Natural Vegetation Communities

The review for documented occurrences of special-status species (including covered species) and sensitive vegetation communities resulted in no evidence of special-status species (including covered species) or sensitive vegetation communities on the project site. The land cover on the project site is urban ruderal given that it is fragmented habitat surrounded on each side by developed land covers and supports a tall, dense mix of non-native, annual grasses and various

non-native weedy forbs. Though habitat such as occurs onsite often supports nesting birds (especially red-winged blackbird [*Agelaius phoeniceus*]), no evidence of any birds was found in the urban ruderal land cover on the project site (nesting or otherwise using the habitat). It should be noted that the planning level survey was conducted at an ideal time of year as most avian species in the area are in some phase of their nesting chronology around mid-April. Nonetheless, no birds were observed or heard.

The review of documented occurrences for special-status species within the threshold distances prescribed by Table 2-3 of the *Draft Yolo HCP/NCCP Implementation Handbook: Volume 1* (Permitting Guide) did result in the identification of a Swainson's hawk (*Buteo swainsoni*) occurrence immediately adjacent to the west side of the project site. This occurrence, which involves a nesting pair from 2002 and 2004, documented nest territory defense and apparent incubation behavior, but never resulted in a detection or other evidence of chicks. Nor, has there been any subsequent observation of Swainson's hawk at this site since 2004. The nest, less than 200 feet from the closest boundary of the project, was in a large, sprawling valley oak (*Quercus lobata*) in an otherwise large in-fill lot supporting urban ruderal land cover and a small number of other large trees (see Figure 2). No evidence of the nest was found during the planning level survey conducted on April 18, 2019 and it is believed to have blown down or otherwise disintegrated.

A vacant stick nest constructed by either a raptor or corvid was found in a landscape tree in the backyard of the residential development to the immediate west and less than 200 feet from the southwestern portion of the project site (see Figure 2). Observations at this nest site during the planning level survey showed no evidence that it was occupied. In addition, the nest was relatively small for most raptors that occur within the area, so was most plausibly built by a corvid (most likely American crow [*Corvus brachyrhynchos*]).

Review of Wetland Data Bases

The review of data bases regarding wetlands, if any, that occur on the project site was limited to the use of the Wetlands Mapper found in the USFWS *National Wetlands Inventory*. The use of the Wetlands Mapper resulted in no wetlands being identified for the project site. This finding is also supported by ground-truthing conducted during the planning level survey of the project site on April 18, 2019.

Planning Level Survey

The planning level survey of the project site found that the site supports only urban ruderal land cover since the site is covered by a dense canopy of annual non-native grasses and various weedy forbs and is landlocked by urban or built up, urban ruderal, and vegetated corridor land covers. The urban ruderal land cover type is not considered to be habitat for any of the covered species addressed by the HCP/NCCP. In addition, no evidence of covered species, other special-status species, or nesting birds was found onsite. Lastly, review of aerial photographs show that the project site is mowed once or twice in most years (mostly likely for fire management purposes).

The planning level survey was also extended out to 1,320 feet from the project boundaries (i.e., the prescribed proximity threshold for nesting Swainson's hawk) to address any evidence of adjacent covered species or sensitive vegetation communities that occur within the prescribed proximity thresholds provided in Table 2-3 of the HCP/NCCP Permitting Guide. The offsite survey found no evidence of covered species or nearby sensitive natural communities.

DISCUSSION

Any covered activity described in Chapter 3, Covered Activities, of the HCP/NCCP that occurs on developed land cover types (see Table 2-1 for land cover types classified as developed), as verified in the field, unless the activity may affect covered species; may affect mapped or unmapped stream, riparian, pond, or wetland land cover types; may remove trees during the nesting season; or occurs in a stream setback are exempt from all of the avoidance and minimization measures in Chapter 4. Therefore, given that the proposed Staybridge Suites is a covered activity, but occurs on a land cover type that is considered **developed** (i.e., **urban ruderal**) and would not affect covered species, sensitive land cover types, potential nest trees during the nesting season, or wetlands and their appropriate setback, the project is exempt from the avoidance and minimization measures in the HCP/NCCP.

**ARBORIST REPORT
AND
TREE INVENTORY SUMMARY**

**1490 EAST MAIN STREET PROJECT SITE
[APN # 066-030-54 and 066-030-55]
City of Woodland, County of Yolo, California**

Prepared for:

**Continental Development Consultants, Inc.
7473 W. Lake Mead Blvd., Suite 100
Las Vegas, Nevada 89128**

Prepared by:

**Edwin E. Stirtz
International Society of Arboriculture
Certified Arborist WE-0510A
ISA Tree Risk Assessment Qualified
Member, American Society of Consulting Arborists**

**Acorn Arboricultural Services, Inc.
P.O. Box 401
Roseville, California 95678**

July 19, 2018

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APPENDICES:

- A. Tree Inventory Summary (sorted by tree number)
- B. Tree Inventory Field Exhibit

COPYRIGHT STATEMENT

This consultant's report, dated July 19, 2018, is for the exclusive and confidential use of Continental Development Consultants, Inc. concerning potential development of the 1490 East Main Street Project Site, [APN # 066-030-54 and 066-030-55], located in the City of Woodland, County of Yolo, California. Any use of this report, the accompanying appendices, or portions thereof, other than for project review and approval by appropriate governmental authorities, shall be subject to and require the written permission of Acorn Arboricultural Services. Unauthorized modification, distribution and/or use of this report, including the data or portions thereof contained within the accompanying appendices, is strictly prohibited.

QUALIFICATION STATEMENT

Acorn Arboricultural Services, Inc. is a fully insured, Roseville-based arboriculture consulting firm founded by its Principal, Jay Bate. Edwin E. Stirtz is an ISA Certified Arborist and a member of the American Society of Consulting Arborists and International Society of Arboriculture. Mr. Stirtz possesses in excess of 30 years of experience in horticulture and arboriculture, both maintenance and construction, and has spent the last 23 years as a consulting and preservation specialist in the Sacramento and surrounding regions.

INTRODUCTION

Acorn Arboricultural Services is pleased to present this Arborist Report and Tree Inventory Summary for the trees located within and/or overhanging the property located at the 1490 East Main Street Project Site, [APN # 066-030-54 and 066-030-55], located in the City of Woodland, County of Yolo, California. This Arborist Report and Tree Inventory Summary memorializes tree data obtained by Edwin E. Stirtz, ISA Certified Arborist WE-0510A, at the time of field reconnaissance and inventory efforts on July 18, 2018.

SCOPE OF INVENTORY EFFORT

The City of Woodland Tree Preservation Ordinance (Woodland Municipal Code Chapter 20A) regulates the removal of select trees including street trees, heritage trees, specimen trees, landmark trees, and trees with aesthetic value and may regulate any encroachment into the drip line area of the tree for development projects. The Ordinance defines a “tree” as “any live woody plant having one or more well-defined perennial stems with a diameter at maturity of 6 inches or more measured at 54 inches above ground level (diameter at breast height). In order to preserve trees, Development Projects are required to submit both a Tree Plan and a Tree Replacement Program with their application for the project, which provides the City with critical information necessary to accomplish the goal of tree preservation.

METHODOLOGY

During field reconnaissance and inventory efforts on July 18, 2018, Edwin E. Stirtz of Acorn Arboricultural Services conducted a visual review from ground level of the trees within and/or overhanging the selected lots within the project area. The trees which met the defined criteria were identified in the field by affixing square tags to the tree trunks. The tree numbers utilized in this report and accompanying Tree Inventory Summary correspond to the tree tags which were affixed to the trees in the field, and those tree numbers or grouping of numbers were rough-plotted on the attached Tree Inventory Field Exhibit so that the precise vertical and horizontal location of the trees may be surveyed in the field by a licensed land surveyor and data for the trees (i.e. tree number, diameter, dripline and protected root zone radii) may be properly depicted on future development plans and Tree Location Exhibit.

At the time of field identification and inventory efforts specific data was gathered for each tagged tree including the tree’s species, diameter measured at breast height (“DBH”) and dripline radius (“DLR”). Utilizing this data the tree’s overall structural condition and vigor

were separately assessed ranging from “excellent”¹ to “poor” based upon the observed characteristics noted within the tree and the Arborist’s best professional judgment. Ratings are subjective and are dependent upon both the structure and vigor of the tree. The vigor rating considers factors such as the size, color and density of the foliage; the amount of deadwood within the canopy; bud viability; evidence of wound closure; and the presence or evidence of stress, disease, nutrient deficiency and insect infestation. The structural rating reflects the root crown/collar, trunk and branch configurations; canopy balance; the presence of included bark, weak crotches and other structural defects and decay and the potential for structural failure. Finally, notable characteristics were documented and recommendations on a tree-by-tree basis were made which logically followed the observed characteristics noted within the trees at the time of the field inventory effort. The recommendations are based on the assumption that the tree would be introduced into a developed environment and may require maintenance and/or may not be suitable for retention within a post-development setting.

SUMMARY OF INVENTORY EFFORT

Field reconnaissance and inventory efforts found 13 trees measuring 5 inches in diameter and larger measured at breast height within and/or overhanging the proposed project area. Composition of the 13 inventoried trees includes the following species and accompanying aggregate diameter inches:

SPECIES DIVERSIFICATION			
Almond	=	1 tree	(14 aggregate diameter inches)
Chinese Tallow	=	1 tree	(12 aggregate diameter inches)
Valley Oak	=	11 trees	(219 aggregate diameter inches)
TOTAL	=	13 trees	(245 aggregate diameter inches)

Recommended Removals

At this time, one tree has been recommended for removal from the proposed project area due to the nature and extent of defects, compromised health, and/or structural instability noted at the time of field inventory efforts. If this tree was retained within the proposed project area, it is our opinion that it may be hazardous depending upon its proximity to planned development activities. For reference, the tree which has been recommended for removal due to the severity of noted defects, compromised health and/or structural instability is highlighted in green within the accompanying Tree Inventory Summary and is briefly summarized as follows:

¹ It is rare that a tree qualifies in an “excellent” category, and it should be noted that there were no trees observed within the project area which fell within the criteria of an “excellent” or “good” rating. A complete description of the terms and ratings utilized in this report and accompany inventory summary are found on pages 8-9.

TREE #	COMMON NAME	SPECIES	MULTI-STEMS (inches)	TOTAL DBH (inches)	DLR (feet)	CONDITIONAL ASSESSMENT	
						STRUCTURE	VIGOR
91	Almond	<i>(Prunus dulcis)</i>	4,5,5	14	9	Poor to fair	Fair

CONSTRUCTION IMPACT ASSESSMENT

This Arborist Report and Tree Inventory Summary is intended to provide to Continental Development Consultants, Inc., the City of Woodland, County of Yolo, and other members of the development team a detailed *pre-development review* of the species, size, and current structure and vigor of the trees within and/or overhanging the proposed project area. It is not an exhaustive review of the impacts which will be sustained from project implementation. At this early stage of the project specific root system and canopy impacts on a tree-by-tree basis cannot be definitively assessed until the site development, grading, and other improvement plans have been refined and finalized and data from the accompanying inventory summary (i.e., tree numbers, dripline radius, and root protection zones) is properly depicted on the plans.

Since trees are living organisms whose condition may change at any time a complete assessment of construction impacts and specific recommendations to help mitigate for the adverse impacts which may be sustained by the trees from contemplated construction activities cannot be made until the development plans have been refined and finalized. Once final plans have been developed for the site a qualified ISA Certified Arborist with special expertise and demonstrated experience with construction projects in and among native and non-native trees should review those plans and provide a more detailed assessment of impacts, including identification of trees which may require removal to facilitate home construction and other contemplated site development activities. This review will be particularly important if structures and/or residential activities will fall within or near the fall zone of a tree which has been noted as exhibiting structural defects, questionable long-term longevity and/or a conditional rating which is less than “fair”, and for trees which measure 16 inches and greater in diameter which will be retained within close proximity to development as trees of this size may pose a more significant hazard if a sudden limb shed and/or catastrophic failure should occur. In addition, the review should include an assessment of root system and canopy impacts which will be sustained by the trees which will be retained within the proposed development area, along with specific recommendations on a tree-by-tree basis to help reduce adverse impacts of construction on the retained trees. In the meantime, this report provides some pre-development recommendations which logically follow the observed characteristics noted in the trees at the time of the field inventory efforts, as well as General Protection Measures which should be utilized as a guideline for the protection of trees which may be retained within the development area. These recommendations will require modification and/or augmentation as development plans are refined and finalized.

GENERAL COMMENTS AND ARBORISTS' DISCLAIMER

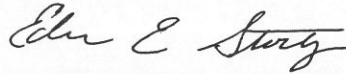
The City of Woodland, County of Yolo regulates both the removal of “protected trees” and the encroachment of construction activities within their driplines. Therefore, a tree permit and/or additional development authorization should be obtained from the City of Woodland, County of Yolo prior to the removal of any trees within the proposed project area. All terms and conditions of the tree permit and/or other Conditions of Approval are the sole and exclusive responsibility of the project applicant. It should be noted that prior to final inspection written verification from an ISA Certified Arborist may be required certifying the approved removal activities and/or implementation of other Conditions of Approval outlined for the retained trees on the site. ***Acorn Arboricultural Services will not provide written Certification of Compliance unless we have been provided with a copy of the approved site development plans, applicable permits and/or Conditions of Approval, and are on site to monitor and observe regulated activities during the course of construction.*** Therefore, it will be necessary for the project applicant to notify Acorn Arboricultural Services well in advance (at least 72 hours prior notice) of any regulated activities which are scheduled to occur on site so that those activities can be properly monitored and documented for compliance certification.

Please bear in mind that implementation of the recommendations provided within this report will help to reduce adverse impacts of construction on the retained trees; however, implementation of any recommendations should not be viewed as a guarantee or warranty against the trees' ultimate demise and/or failure in the future. Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and ***attempt to reduce the risk of living near trees.*** Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. There are some inherent risks with trees that cannot be predicted with any degree of certainty, even by a skilled and experienced arborist. Entities who choose to construct homes on wooded property are accepting a certain level of risk from unpredictable tree related hazards such as toppling in storms, limbs falling and fires that may damage property at some time in the future. Since trees are living organisms their structure and vigor constantly change over time, and they are not immune to changes in site conditions or seasonal variations in the weather. Further, conditions are often hidden within the tree and/or below ground. Arborists and other tree care professionals cannot guarantee that a tree will be healthy and/or safe under all circumstances or for a specific period of time. Likewise remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To develop land and live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees would be to eliminate all of the trees. ***An entity who develops land and builds a home with a tree in the vicinity should be aware of and inform their future residents of this Arborists' Disclaimer, and be further advised that the developer and the future residents assume the risk that a tree could at any time suffer a branch and/or limb failure, blow over in a storm and/or fail for no apparent reason which may cause bodily injury or property damage.*** Acorn Arboricultural Services cannot predict acts of nature including, without limitation, storms of sufficient strength which can even take down a tree with a structurally sound and vigorous appearance.

Finally, the trees preserved within and/or overhanging the proposed project area will experience a physical environment different from the pre-development environment. As a result, tree health and structural stability should be regularly monitored. Occasional pruning, fertilization, mulch, pest management, replanting and/or irrigation may be required. In addition, ***provisions for monitoring both tree health and structural stability following construction must be made a priority.*** As trees age, the likelihood of failure of branches or entire trees increases. Therefore, ***the future management plan must include an annual inspection*** by a qualified ISA Certified Arborist to keep abreast of the trees' changing condition(s) and to assess the trees' ongoing structural integrity and potential for hazard in a developed environment.

Thank you for allowing Acorn Arboricultural Services to assist you with this review. Please feel free to give me a call if you have any questions or require additional information and/or clarification.

Sincerely,



Edwin E. Stirtz
International Society of Arboriculture
Certified Arborist WE-0510A
ISA Tree Risk Assessment Qualified
Member, American Society of Consulting Arborists

ASSUMPTIONS AND LIMITING CONDITIONS

1. Any legal description provided to the consultant is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. The consultant shall not be required to give a deposition and/or attend court by reason of this report unless subsequent contractual arrangements are made for in advance, including payment of an additional fee for such services according to our standard fee schedule, adjusted yearly, and terms of the subsequent contract of engagement.
5. Loss or alteration of any part of this report invalidates the entire report. Ownership of any documents produced passes to the Client only when all fees have been paid.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant.
7. Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed written or verbal consent of the consultant, particularly as to value conclusions, identity of the consultant, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant as stated in his qualifications.
8. This report and any values expressed herein represent the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. Sketches, diagrams, graphs, drawings and photographs within this report are intended as visual aids and are not necessarily to scale and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by other consultants is for coordination and ease of

reference. Inclusion of such information does not constitute a representation by the consultant as to the sufficiency or accuracy of the information.

10. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without laboratory analysis, dissection, excavation, probing or coring, unless otherwise stated.
11. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
12. This report is based on the observations and opinions of Edwin E. Stirtz, and does not provide guarantees regarding the future performance, health, vigor, structural stability or safety of the plants described herein. Neither this author nor Acorn Arboricultural Services has assumed any responsibility for liability associated with the trees on or adjacent to this Project Site, their future demise and/or any damage which may result therefrom.
13. The information contained within this report is true to the best of the author's knowledge and experience as of the date it was prepared; however, certain conditions may exist which only a comprehensive, scientific, investigation might reveal which should be performed by other consulting professionals.
14. The legal description, dimensions, and areas herein are assumed to be correct. No responsibility is assumed for matters that are legal in nature.
15. Any changes to an established tree's environment can cause its decline, death and/or structural failure.

DEFINITIONS

Tree Number:	Corresponds to aluminum tag attached to the tree.
Species Identification:	Scientific and common species name.
Diameter (“DBH”):	This is the trunk diameter measured at breast height (industry standard 4.5 feet above ground level).
Dripline radius (“DLR”):	A radius equal to the horizontal distance from the trunk of the tree to the end of the farthest most branch tip prior to any cutting. When depicted on a map, the dripline will appear as an irregularly shaped circle that follows the contour of the tree’s branches as seen from overhead.
Protected Zone:	A circle equal to the largest radius of a protected tree’s dripline plus 1 foot.
Root Crown:	Assessment of the root crown/collar area located at the base of the trunk of the tree at soil level.
Trunk:	Assessment of the tree’s main trunk from ground level generally to the point of the primary crotch structure.
Limbs:	Assessment of both smaller and larger branching, generally from primary crotch structure to branch tips.
Foliage:	Tree’s leaves.
Overall Condition:	Describes overall condition of the tree in terms of structure and vigor.
Recommendation:	Pre-development recommendations based upon observed characteristics noted at the time of the field inventory effort.
Obscured:	Occasionally some portion of the tree may be obscured from visual inspection due to the presence of dense vegetation which, during the course of inspection for the arborist report, prevented a complete evaluation of the tree. In these cases, if the tree is to be retained on site the vegetation should be removed to allow for a complete assessment of the tree prior to making final decisions regarding the suitability for retention.

TREE CONDITION RATING CRITERIA

RATING TERM	ROOT CROWN	TRUNK	LIMBS	FOLIAGE	STRUCTURE	VIGOR
Good	No apparent injuries, decay, cavities or evidence of hollowing; no anchoring roots exposed; no indications of infestation or disease	No apparent injuries, decay, cavities or evidence of hollowing; no codominant attachments or multiple trunk attachments are observed; no indications of infestation or disease	No apparent injuries, decay, cavities or evidence of hollowing; below average amount of dead limbs or twigs; no major limb failures or included bark; callus growth is vigorous	Leaf size, color and density are typical for the species; buds are normal in size, viable, abundant and uniform throughout the canopy; annual seasonal growth increments are average or above average; no insect or disease infestations/ infections evident	No apparent structural defects; no weak crotches; no excessively weighted branches and no significant cavities or decay	Tree appears healthy and has little or no significant deadwood; foliage is normal and healthy
Fair	Small to moderate injuries, decay, cavities or hollowing may be evident but are not currently affecting the overall structure; some evidence of infestation or disease may be present but is not currently affecting the tree's structure	Small to moderate injuries, decay, cavities or hollowing may be evident; codominant branching or multiple trunk attachments or minor bark inclusion may be observed; some infestation or disease may be present but not currently affecting the tree's structure	Small to moderate injuries, decay or cavities may be present; average or above average dead limbs or twigs may be present; some limb failures or bark inclusion observed; callus growth is average	Leaf size, color and density are typical or slightly below typical for the species; buds are normal or slightly sparse with potentially varied viability, abundance and distribution throughout the canopy; annual seasonal growth increments are average or slightly below average; minor insect or disease infestation/infection may be present	Minor structural problems such as weak crotches, minor wounds and/or cavities or moderate amount of excessive weight; non-critical structural defects which can be mitigated through pruning, cabling or bracing	Tree appears stressed or partially damaged; minimal vegetative growth since previous season; moderate amount of deadwood, abnormal foliage and minor lesions or cambium dieback
Poor	Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the overall structure; presence of infestation or disease may be significant and affecting the tree's structure	Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the tree's structure; presence of infestation or disease may be significant and affecting the tree's structure	Severe injuries, decay or cavities may be present; major deadwood, twig dieback, limb failures or bark inclusion observed; callus growth is below average	Leaf size, color and density are obviously abnormal; buds are obviously abnormal or absent; annual seasonal growth is well below average for the species; insect or disease problems may be severe	Obvious major structural problems which cannot be corrected with mitigation; potential for major limb, trunk or root system failure is high; significant decay or dieback may be present	Tree health is declining; no new vegetative growth; large amounts of deadwood; foliage is severely abnormal

The ratings "good to fair" and "fair to poor" are used to describe trees that fall between the described major categories and have elements of both

GENERAL PROTECTION GUIDELINES **FOR TREES PLANNED FOR PRESERVATION**

Great care must be exercised when work is conducted upon or around protected trees. The purpose of these General Protection Measures is to provide guidelines to protect the health of the affected protected trees. These guidelines apply to all encroachments into the protected zone of a protected tree, and may be incorporated into tree permits and/or other Conditions of Approval as deemed appropriate by the applicable governing body.

A circle with a radius measurement from the trunk of the tree to the tip of its longest limb, plus one foot, shall constitute the critical root zone protection area of each protected tree. Limbs must not be cut back in order to change the dripline. The area beneath the dripline is a critical portion of the root zone and defines the minimum protected area of each protected tree. Removing limbs that make up the dripline does not change the protected area.

Any protected trees on site which require pruning shall be pruned by an ISA Certified Arborist prior to the start of construction work. All pruning shall be in accordance with the American National Standards Institute (ANSI) A300 pruning standards, ANSI Standard 2133.1-2000 regarding safety practices, and the International Society of Arboriculture (ISA) "Tree Pruning Guidelines" and Best Management Practices.

Prior to initiating construction, temporary protective fencing shall be installed at least one foot outside the root protection zone of the protected trees in order to avoid damage to the tree canopies and root systems. Fencing shall be installed in accordance with the approved fencing plan prior to the commencement of any grading operations or such other time as determined by the review body. The developer shall contact the Project Arborist and the Planning Department for an inspection of the fencing prior to commencing construction activities on site.

Signs shall be installed on the protective fence in four (4) equidistant locations around each individual protected tree. The size of each sign must be a minimum of two (2) feet by two (2) feet and must contain the following language:

**WARNING: THIS FENCE SHALL NOT BE REMOVED OR RELOCATED
WITHOUT WRITTEN AUTHORIZATION FROM THE CITY OF
WOODLAND, COUNTY OF YOLO.**

Once approval has been obtained by the City of Woodland, County of Yolo protective fencing shall remain in place throughout the entire construction period and shall not be removed, relocated, taken down or otherwise modified in whole or in part without prior written authorization from the Agency, or as deemed necessary by the Project Arborist to facilitate approved activities within the root protection zone.

Any removal of paving or structures (i.e. demolition) that occurs within the dripline of a protected tree shall be done under the direct supervision of the Project Arborist. To the maximum extent feasible, demolition work within the dripline protection area of the protected tree shall be performed by hand. If the Project Arborist determines that it is not feasible to perform some portion(s) of this work by hand, then the smallest/lightest weight equipment that will adequately perform the demolition work shall be used.

No signs, ropes, cables (except those which may be installed by an ISA Certified Arborist to provide limb support) or any other items shall be attached to the protected trees. Small metallic numbering tags for the purpose of identification in preparing tree reports and inventories shall be allowed.

No vehicles, construction equipment, mobile homes/office, supplies, materials or facilities shall be driven, parked, stockpiled or located within the driplines of protected trees.

Drainage patterns on the site shall not be modified so that water collects, stands or is diverted across the dripline of any protected tree.

No trenching shall be allowed within the driplines of protected trees, except as specifically approved by the Planning Department as set forth in the project's Conditions of Approval and/or approved tree permit. If it is absolutely necessary to install underground utilities within the dripline of a protected tree the utility line within the protected zone shall be "bored and jacked" or performed utilizing hand tools to avoid root injury under the direct supervision of the Project Arborist.

Grading within the protected zone of a protected tree shall be minimized. Cuts within the protected zone shall be maintained at less than 20% of the critical root zone area. Grade cuts shall be monitored by the Project Arborist. Any damaged roots encountered shall be root pruned and properly treated as deemed necessary by the Project Arborist.

Minor roots less than one (1) inch in diameter encountered during approved excavation and/or grading activities may be cut, but damaged roots shall be traced back and cleanly cut behind any split, cracked or damaged area as deemed necessary by the Project Arborist.

Major roots greater than one (1) inch in diameter encountered during approved excavation and/or grading activities may not be cut without approval of the Project Arborist. Depending upon the type of improvement being proposed, bridging techniques or a new site design may need to be employed to protect the roots and the tree.

Cut faces, which will be exposed for more than 2-3 days, shall be covered with dense burlap fabric and watered to maintain soil moisture at least on a daily basis (or possibly more frequently during summer months). If any native ground surface fabric within the protected zone must be removed for any reason, it shall be replaced within forty-eight (48) hours.

If fills exceed 1 foot in depth up to 20% of the critical root zone area, aeration systems may serve to mitigate the presence of the fill materials as determined by the Project Arborist.

When fill materials are deemed necessary on two or three sides of a tree it is critical to provide for drainage away from the critical root zone area of the tree (particularly when considering heavy winter rainfalls). Overland releases and subterranean drains dug outside the critical root zone area and tied directly to the main storm drain system are two options.

In cases where a permit has been approved for construction of a retaining wall(s) within the protected zone of a protected tree the applicant will be required to provide for immediate protection of exposed roots from moisture loss during the time prior to completion of the wall. The retaining wall within the protected zone of the protected tree shall be constructed within seventy-two (72) hours after completion of grading within the root protection zone.

The construction of impervious surfaces within the dripline of a protected tree shall be minimized. When necessary, a piped aeration system shall be installed under the direct supervision of the Project Arborist.

Preservation devices such as aeration systems, tree wells, drains, special paving and cabling systems must be installed in conformance with approved plans and certified by the Project Arborist.

No sprinkler or irrigation system shall be installed in such a manner that sprays water or requires trenching within the dripline of a protected tree. An above ground drip irrigation system is recommended. An independent low-flow drip irrigation system may be used for establishing drought-tolerant plants within the protected zone of a protected tree. Irrigation shall be gradually reduced and discontinued after a two (2) year period.

All portions of permanent fencing that will encroach into the protected zone of a protected tree shall be constructed using posts set no closer than ten (10) feet on center. Posts shall be spaced in such a manner as to maximize the separation between the tree trunks and the posts in order to reduce impacts to the tree(s).

Landscaping beneath native oak trees may include non-plant materials such as bark mulch, wood chips, boulders, etc. Planting live material under protected native oak trees is generally discouraged, and is not recommended within six (6) feet of the trunk of a native oak tree with a diameter at breast height (DBH) of eighteen (18) inches or less, or within ten (10) feet of the trunk of a native oak tree with a DBH of more than eighteen (18) inches. The only plant species which shall be planted within the dripline of native oak trees are those which are tolerant of the natural, semi-arid environs of the tree(s).

CONTINENTAL DEVELOPMENT CONSULTANTS, INC.
1490 East Main Street Project Site
[APN # 066-030-54 and 066-030-55]
City of Woodland, County of Yolo, California
TREE INVENTORY SUMMARY

TREE #	COMMON NAME	SPECIES	MULTI-STEMS (inches)	TOTAL DBH (inches)	DLR (feet)	CONDITIONAL ASSESSMENT						NOTABLE CHARACTERISTICS	MAINTENANCE RECOMMENDATIONS
						RT CR	TRUNK	LIMBS	FOLIAGE	STRUCTURE	VIGOR		
80	Valley Oak	<i>(Quercus lobata)</i>		5	8	Fair	Fair	Fair	Fair	Fair	Fair		None at this time.
81	Valley Oak	<i>(Quercus lobata)</i>		12	17	Fair	Fair	Fair	Fair	Fair	Fair	Above average amount of deadwood.	None at this time.
82	Valley Oak	<i>(Quercus lobata)</i>		7	9	Fair	Fair	Fair	Fair	Fair	Fair	Slightly above average amount of deadwood.	None at this time.
83	Chinese Tallow	<i>(Triadica sebifera)</i>	3,4,5	12	8	Fair	Fair	Fair	Fair	Fair	Fair	Forks at grade. Weak attachments.	None at this time.
84	Valley Oak	<i>(Quercus lobata)</i>		18	28	Fair	Fair	Poor to fair	Poor to fair	Fair	Poor to fair	Out of balance southeast. Weak attachments. Above average amount of deadwood. Sparse foliage.	None at this time.
85	Valley Oak	<i>(Quercus lobata)</i>		17	24	Fair	Poor to fair	Poor to fair	Poor to fair	Fair	Poor to fair	Recent lower trunk injuries. Bark removal/hatchet injuries, east side, to 3' above grade. Weak attachments. Above average amount of deadwood. Sparse foliage.	None at this time.
86	Valley Oak	<i>(Quercus lobata)</i>	19,28	47	30	Poor	Poor	Poor to fair	Fair	Poor	Fair	Callusing basal lower trunk wounds, various locations, with moderate to significant decay evident. Weak attachments. Out of balance/primarily bending south. Above average amount of deadwood. Property line tree.	None at this time.
87	Valley Oak	<i>(Quercus lobata)</i>	17,17	34	24	Poor to fair	Poor	Poor to fair	Fair	Poor to fair	Fair	Embedded chain link in the lower 2' of the trunk bark. Inherently weak primary crotch forking 3' above grade with weak attachments throughout. Above average amount of deadwood. Appears to be a property line tree.	None at this time.
88	Valley Oak	<i>(Quercus lobata)</i>		23	27	Poor	Poor	Poor to fair	Fair	Poor	Fair	Measured 2' above grade. Callusing basal lower trunk wound, north side, from grade to 3' above grade. Moderate interior decay. Forks 3' above grade with weak attachments. Above average amount of deadwood. Slightly sparse foliage. Appears to be a property line tree.	None at this time.
89	Valley Oak	<i>(Quercus lobata)</i>		14	20	Fair	Fair	Fair	Fair	Fair	Fair	Property line tree.	None at this time.
90	Valley Oak	<i>(Quercus lobata)</i>		26	32	Fair	Fair	Fair	Fair	Fair	Fair	Appears to be a property line tree.	None at this time.

CONTINENTAL DEVELOPMENT CONSULTANTS, INC.
 1490 East Main Street Project Site
 [APN # 066-030-54 and 066-030-55]
 City of Woodland, County of Yolo, California
TREE INVENTORY SUMMARY

TREE #	COMMON NAME	SPECIES	MULTI-STEMS (inches)	TOTAL DBH (inches)	DLR (feet)	CONDITIONAL ASSESSMENT						NOTABLE CHARACTERISTICS	MAINTENANCE RECOMMENDATIONS
						RT CR	TRUNK	LIMBS	FOLIAGE	STRUCTURE	VIGOR		
91	Almond	<i>(Prunus dulcis)</i>	4,5,5	14	9	Poor to fair	Poor to fair	Poor to fair	Fair	Poor to fair	Fair	Forks .5'-2' above grade. Weak attachments. Out of balance south. Above average amount of deadwood.	<i>Recommend removal due to nature and extent of noted defects.</i>
92	Valley Oak	<i>(Quercus lobata)</i>		16	24	Fair (only westerly half visible)	Poor to fair	Poor to fair	Fair	Poor to fair	Fair	Located just east of the east property fence. Trunk out of balance and has an abrupt bend 10' above grade to the west. Above average amount of deadwood.	None at this time.

TOTAL INVENTORIED TREES = 13 trees (245 aggregate diameter inches)
TOTAL RECOMMENDED REMOVALS = 1 tree (14 aggregate diameter inches)

Continental Dev. Consultants, LLC
1490 E. Main St., Woodland, CA
Tree Inventory Field Exhibit

Deodara Cedar, 14"

Chinese pistache 2, 3"

83 82 81
1490 E Main St

80

brush

Chinese pistache 2,2"

5"

Chinese pistache, 5"

valley oak 1,3"

valley oak 2,3"

84 85 86 87 88 89

90

91

92

Vic Fazio Hwy

Prepared by Acorn Arboricultural Services, Inc. July 18, 2018

113

5

E Main St





EXHIBIT-D

SUSTAINABILITY STATEMENT

City of Woodland
Community Development Dept.
300 first St. Woodland CA 95695

February 25, 2019

Subject: Staybridge Suites - Extended stay hotel
Address: HWY 113 – Main plaza,
1490 East Main Street,
Woodland CA 95776
APN Number: 066-030-54 (Approx. 2.42 acres)

Dear Sir/Madam:

We respectfully submit that the proposed development will meet sustainability goals and policies contained in City's General Plan and Climate Action Plan in the following manner-

- 1) Project to comply with CalGreen Code & California Energy Code to achieve energy efficiency and sustainability goals set forth by State Government. The mandatory requirements generally includes; Water Efficiency & Conservation, Material Conservation and Resource efficiency, Environmental Quality, Site design with Low Impact development, Commissioning by experts etc.
- 2) Proposed project will not cause any noise disturbance in the neighborhood because of the interior operations and project location.
- 3) Site design meets parking lot shading requirements set forth by Municipal code.
- 4) Site is easily accessed from Main Street by Citywide and Regional Transit. Also provision of 8 bicycle parking spaces will encourage employees to use alternative means of transport.

Details of sustainability measures mentioned above to proposed in construction documents for approval by City and compliance by Contractors and applicant.

Sincerely,

Sukhjot "Tony" Singh
Sr. Project Manager
702-287-0347 (Phone); tony@continentaldc.com

Project Information Page

Staybridge Hotel - Woodland Zoning Administrator Permit: The applicant is requesting a Zoning Administrator Permit to construct a 109 room, 4-story, 77, square-foot extended stay hotel and parking lot on two parcels totaling 4.46 acres of undeveloped property located at 1490 Main Street, on the south side of Main Street between the Caltrans Hwy 113 on and off ramps in the Community Commercial District. APNs 066-030-54 and 066-030-55; PLNG 18-00042

Location: 1490 Main Street, Woodland

Applicant/Owner:

Environmental Report: Categorical Exemption

APN 066-030-54 and 066-030-55

Project Planner: Cindy Norris, Principal Planner

Staff Recommendation: Zoning Administrator Approval

General Plan Designation: Community Commercial

Current Zoning (Interim): Community Commercial

Existing Land Uses: Vacant Commercial – Existing 4,869 square foot market and parking lot, remainder undeveloped, urban ruderal vegetation.

Flood Zone: Zone AE, Map Number 06113C0445H, as revised May 16, 2012

Street Access: Main Street

Adjacent Land Uses & Zoning:

DIRECTION	LAND USE	ZONING
North	East Main Street; Vacant Industrial	Industrial/Light Industrial Flex (I/LIF)
South	Hwy 113 South bound Off-ramp; vacant; retail; multi-family	Community Commercial (CC); Medium Density Residential
East	SR 113 North and South bound lanes, and Southbound Off-Ramp	Community Commercial (CC)
West	SR 113 On and Off-Ramp	Community Commercial (CC)