



City of Woodland
Meeting Agenda
City Council

City Hall
Council Chambers
300 First Street
Woodland, CA 95695

March 18, 2025
6:00 PM

JOINT REGULAR CITY COUNCIL/WOODLAND FINANCE AUTHORITY MEETING
6:00 PM

A. CALL TO ORDER

B. ROLL CALL

C. PLEDGE OF ALLEGIANCE

Land Acknowledgment Statement - The City of Woodland acknowledges the land on which we live and work. For thousands of years, this land has been the home of Patwin people. Today, there are three federally recognized Patwin tribes: Cachil DeHe Band of Wintun Indians of the Colusa Indian Community, Kletsel Dehe Wintun Nation, and Yocha Dehe Wintun Nation. The Patwin people have remained committed to the stewardship of this land over many centuries. It has been cherished and protected, as elders have instructed the young through generations. We are honored and grateful to be here today on their traditional lands.

D. COMMUNICATIONS - PUBLIC COMMENT

This is an opportunity for the public to speak to the Council on any item other than those listed on this agenda. Speakers are requested to use the microphone in front of the Council and to begin by stating their name, whether they reside in Woodland and the name of the organization they represent if any. The Mayor may impose a time limit on any speaker depending on the number of people wanting to speak and time available for the rest of the agenda. In the event comments are related to an item scheduled on the agenda, speakers may be required to wait to make their comments until that item is considered. The option to submit a public comment via voicemail is no longer available. Written Public Comments Members of the public are welcome to submit written comments prior to the meeting. Comments should be submitted by email to CouncilMeetings@cityofwoodland.gov. Written Comments received at least two (2) hours prior to the scheduled start time of the City Council meeting will be provided to the City Council and posted to the City website as part of the official record of the meeting but will not be read into the record. Written Comments received within two (2) hours of the scheduled start time of the City Council meeting and during the City Council meeting will be provided to the City Council the day following the City Council meeting. If you are submitting written comments on a particular item on the agenda, please identify the agenda item number and letter. If you are submitting written comments on an item not listed on the agenda, please identify your e-mail/comment as a General Public Comment. Note: Public comments at special meetings are limited to items on the agenda only.

1. SUBJECT: General Public Comments

WRITTEN COMMUNICATIONS: This section is reserved for "General" Public Comments emailed within two (2) hours prior to the Council Meeting. These comments will be provided to the City Council and incorporated into the meeting minutes. Any other written communications submitted for items specific to this agenda will be attached as a file to the associated agenda item.

E. COMMUNICATIONS - COUNCIL/STAFF STATEMENTS AND REQUESTS

This is an opportunity for the Council Members and Staff to make comments and announcements, to express concerns, or to request Council's consideration of any items a Council Member would like to have discussed at a future Council meeting.

2. SUBJECT: Long Range Calendar

RECOMMENDATION FOR ACTION: Staff recommends that the City Council receive the Long Range Calendar for informational purposes only.

F. CONSENT CALENDAR

3. SUBJECT: Side Letter of Agreement - Woodland City Employees' Association

RECOMMENDATION FOR ACTION: Staff recommends the City Council approve the Side Letter of Agreement to amend the Memorandum of Understanding with the Woodland City Employees' Association.

4. SUBJECT: Woodland Transit Center Ad-Hoc Committee

RECOMMENDATION FOR ACTION: Staff recommends that the City Council appoint Mayra Vega and David Moreno to an ad-hoc Council Subcommittee focused on relocating the Woodland Transit Center.

5. SUBJECT: Request for Appropriation of Reserve Funds for Fleet Vehicle Purchases and Library Bookmobile Tax Payment

RECOMMENDATION FOR ACTION: Staff recommends that the City Council adopt Resolution No. _____, approving the following actions: 1) Authorize the appropriation of \$77,668 from the City's reserve balances into Fund 2012 for the purpose of purchasing replacement fleet vehicles; 2) Authorize the appropriation of \$52,836 to Fund 1917, and then appropriate the funds to Fund 2012 to pay taxes for the Library Bookmobile; and 3) Approve the purchase of fleet replacement vehicles for various City departments at a total cost of \$306,320.

6. SUBJECT: Award a Construction Contract and Professional Services Agreement for the Community Center Parking Lot Expansion, CIP 24-08

RECOMMENDATION FOR ACTION: Staff recommends the City Council adopt Resolution No. _____, to 1.) Transfer \$800,000 in Capital Project Funds (Fund 1501) from the Southeast Area Aquatics Center Project (CIP 19-18) to the Community Center Parking Lot Expansion Project (CIP 24-08) to cover all project costs; 2) authorize the withdrawal of the bid submitted by R&R Pacific Construction and release of its bid bond; 3) Approve a construction contract for the Community Center Parking Lot Expansion Project (CIP 24-08) and award the construction contract in the amount of \$1,609,801.07 to All Phase Construction, authorize a contract contingency up to 15% (241,470), and authorize the City Manager to execute the construction contract and change orders; and 4) Approve a professional services agreement for inspection services with Kitchell, Inc. in the amount of \$96,484, authorize a contract contingency up to 15% (\$14,473), and authorize the City Manager to execute the agreement and amendments.

7. SUBJECT: Resolution Accepting the Offsite Improvements for Subdivision Final Map 5121, Prudler Phase 2

RECOMMENDATION FOR ACTION: Staff recommends the City Council adopt Resolution No. _____, accepting the offsite improvements for Subdivision Final Map 5121, Prudler Phase 2.

8. SUBJECT: Waiver of Second Reading and Adoption of an Ordinance Amending the Boundaries of City Council Election Districts 2 and 3 to Include Annexed Territories

RECOMMENDATION FOR ACTION: Staff recommends the City Council waive the second reading and adopt Ordinance No. _____, amending the boundaries of City Council Election Districts 2 and 3 to include annexed territories.

G. REPORTS OF THE CITY MANAGER

9. SUBJECT: Public Art Installation at the new Aquatic Center

RECOMMENDATION FOR ACTION: Staff recommends the City Council discuss and direct staff to work with the ad-hoc Aquatic Center Subcommittee to analyze options and issue a Request for Qualifications (RFQ) for a public art installation on the external wall of the new Aquatic Center.

10. SUBJECT: Rotary Pavilion License Agreement at the Woodland Regional Park Preserve

RECOMMENDATION FOR ACTION: Staff recommends the City Council adopt Resolution No. _____, to approve the License Agreement between Woodland Sunrise Rotary Club and the City of Woodland for the construction of the Rotary Pavilion at the Woodland Regional Park Preserve.

H. ADJOURN

I declare under penalty of perjury that the foregoing Agenda for the Joint Regular City Council/Woodland Finance Authority of the City of Woodland scheduled for March 18, 2025 was posted on March 14, 2025 in the outside display case at City Hall, 300 First Street, Woodland, CA, and was available to the public during normal business hours.



Jennifer Robinson
Deputy City Clerk

Upon request, agendas and documents in the agenda packet will be made available in appropriate alternative formats to persons with a disability, as required by law. Any such requests must be made in writing to the Office of the City Clerk of the City of Woodland. Requests will be valid for the calendar year in which the request is received, and must be renewed prior to January 1st.

Persons needing disability-related modifications or accommodations in order to participate in public meetings, including persons requiring auxiliary aids or services, may request such modifications or accommodations by calling the Office of the City Clerk (530-661-5806) at least 48 hours prior to the meeting.



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: D.1
SUBJECT: General Public Comments

WRITTEN COMMUNICATIONS: This section is reserved for "General" Public Comments emailed within two (2) hours prior to the Council Meeting. These comments will be provided to the City Council and incorporated into the meeting minutes. Any other written communications submitted for items specific to this agenda will be attached as a file to the associated agenda item.



Ken Hiatt
City Manager

Attachments:

None



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: E.2
SUBJECT: Long Range Calendar

Recommendation for Action: Staff recommends that the City Council receive the Long Range Calendar for informational purposes only.

Staff Contact:

Sarah Lansburgh, CMC, City Clerk, (530) 661-5806, sarah.lansburgh@cityofwoodland.gov

Background:

This calendar is being provided for planning purposes only and is intended to keep the Council apprised of upcoming agenda items and plan for upcoming Council items.

A handwritten signature in black ink, appearing to read "Ken Hiatt".

Ken Hiatt
City Manager

Attachments:

1. Council Long Range Calendar

CITY COUNCIL LONG RANGE CALENDAR

April 1st

REGULAR MEETING

Proclamation – Child Abuse Prevention (CAP) Month
Proclamation – National Library Week, April 6 – 12, 2025
Accept Improvements and File Notice of Completion for County Road 25A Improvement Project, CIP 24-05
Adoption of a City Council Handbook Municipal Code Chapter 2.04 -First Reading
Quarterly Investment Report
Yolano Donnelly Redevelopment – YCH Funding Agreement
FY26 - Spring Budget Workshop

April 15th

REGULAR MEETING

Proclamation – National Public Safety Telecommunications Week, April 13 – April 19, 2025
Authorization to Bid WPCF Grit System and Headworks Screw Pump Rehabilitation Project, CIP 24-12
Approve an Amendment to the Aquametrics Fuel Contract
Approve a Consultant Agreement for 2025 Urban Water Management Plan, CIP 25-06
Authorization to Bid WPCF Biosolids Pond #9 Removal Project, CIP 26-03
Update to the Fireworks Ordinance – Public Hearing
City Council Priority Goals & Strategic Plan 2025-2026
Waste Management Franchise Agreement

May 13th

SPECIAL MEETING

Proclamation – Public Works Appreciation Week, May 18 – May 24, 2025
Proclamation – National Police Week, May 11 – May 17, 2025
Measures R and F Spending Plans
2nd Reading Fireworks Ordinance
American Rescue Plan Spending Plan Update
FY 26 Proposed Capital Improvement Plan Budget

May 20th

REGULAR MEETING

SB684/1123 By-right Small Subdivisions in MF/SF Zones
Annual Housing Report

Future Topics / Study Sessions:

Introduce FY26 Proposed Budget (June 3) Sewer Rate Study (TBD) Water Rate Study (TBD) Woodland Transit Center (TBD) Woodland Tennis Club Agreement (TBD) Woodland Soccer Club Agreement (TBD)
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Updated 3/14/2025



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: F.3
SUBJECT: Side Letter of Agreement - Woodland City Employees' Association

Recommendation for Action: Staff recommends the City Council approve the Side Letter of Agreement to amend the Memorandum of Understanding with the Woodland City Employees' Association.

Staff Contact:

Kim McKinney, Administrative Services Director, (530) 661-5849, kim.mckinney@cityofwoodland.gov

Fiscal Impact:

The budgetary impact of the two additional certificate pays is anticipated to be relatively minor and can be absorbed within the current operating budget. Actual impacts will be factored in to future operating budgets as appropriate.

Background:

The City and the Woodland City Employees' Association (WCEA) completed negotiations on the current Memorandum of Understanding (MOU) in June 2023. The approved MOU includes a list of job classifications covered by the MOU, and also includes an exhibit that details various certifications that certain represented positions can achieve to earn additional pay. WCEA requested some modifications to the MOU to include a new job classification approved after adoption of the MOU, and to expand some of the approved certifications.

Discussion:

The WCEA MOU covers 133 full-time positions in more than 95 classifications throughout the City. In March 2023, the City and WCEA agreed upon and implemented a certification pay program for 29 classifications within the WCEA MOU, and the certification pay program was incorporated into the MOU approved in June 2023.

Since the adoption of the MOU, the new job classification of Community Enhancement Specialist was approved by the Council and authorized in the City budget in fiscal year 2023/24. Because this classification did not exist at the time the MOU was approved, it has not been officially incorporated into the document. Additionally, this classification is considered eligible for one of the certificate pays that exists on the current exhibit. This Side Letter will officially incorporate the Community Enhancement Specialist into the WCEA MOU and allow for payment of specific certification pay.

WCEA also requested staff to consider the addition of several other certificate pays to the program. Based on a review of the proposals and various City needs, staff recommends the addition of a new certificate to the program. The proposed addition would allow employees in the classification of Facilities Maintenance Worker III to be compensated an additional two percent (2%) of pay for obtaining a certification in HVAC, called "Section 608 Technical Certification - Universal". The proposed Side Letter will amend the exhibit to include this new certificate.

All other terms of the MOU remain unchanged.

Conclusion:

Staff recommends the City Council approve the Side Letter of Agreement to amend the Memorandum of Understanding with the Woodland City Employees' Association.

Prepared by: Kim McKinney, Director of Administrative Services



Ken Hiatt
City Manager

Attachments:

1. WCEA Side Letter of Agreement - Cert Pay March 2025



MEMORANDUM

DATE: March 18, 2025
TO: Marshall Echols, Woodland City Employees' Association
FROM: Ken Hiatt, City Manager
SUBJECT: Memorandum of Understanding (MOU) Side Letter of Agreement

This side letter of agreement serves to memorialize the agreement, post labor negotiations, between the City of Woodland and the Woodland City Employees' Association (WCEA). The following modifications shall be made to the Memorandum of Understanding between the City and WCEA covering the period from July 1, 2023 to June 30, 2026.

Section 1.1 Application

1.1.1 is hereby modified to add the classification of Community Enhancement Specialist, at Salary Range 46.

Exhibit B Classifications Provided Uniforms at City Expense

Exhibit B is hereby modified to include the classification of Community Enhancement Specialist.

Exhibit C Certification Pay

Exhibit C is hereby modified to add two job classifications to the list of those eligible to receive certification pay, shown as follows:

Exhibit C Certificate Pays		
Job Classification	Certification	%
Community Enhancement Specialist	HAZWOPER 40 hr Cert	1.50%
Facilities Maintenance Worker III	Section 608 Technician Certification - Universal	2.00%

Resolution 8109, adopting the MOU between the City and the WCEA is hereby modified as reflected in the correction listed above. All other provisions of the MOU remain unchanged, unless the parties mutually agree to reopen negotiations.

AGREED TO THIS DATE: _____

FOR THE CITY OF WOODLAND

Ken Hiatt
City Manager

FOR the Woodland City Employees'
Association

Marshall Echols
Woodland City Employees' Association



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: F.4
SUBJECT: Appointing Transit Center Ad-Hoc Subcommittee

Recommendation for Action: Staff recommends that the City Council appoint Mayra Vega and David Moreno to an ad-hoc Council Subcommittee focused on relocating the Woodland Transit Center.

Staff Contact:

Ken Hiatt, ken.hiatt@cityofwoodland.gov (530) 661-5802

Background:

At its February 18, 2025 meeting, the City Council received a presentation from City and Yolo Transportation District (YoloTD) staff members regarding the status of Woodland's fixed-route transit (Yolobus) center. Council agreed that relocating the hub from its current location at the County Fair Mall should be a priority and directed staff to work with YoloTD to find a suitable solution within calendar year 2025.

Discussion:

Staff is recommending that City Council establish an ad-hoc subcommittee to work with staff and YoloTD to assess options for the relocation of the Woodland Transit Center. Council Member Vega serves as the Council's designed primary YoloTD Board representative and Council Member Moreno has expressed interest in serving as the other member on this ad-hoc subcommittee.

Conclusion:

Staff recommends that the City Council appoint Mayra Vega and David Moreno to an ad-hoc Council Subcommittee focused on relocating the Woodland Transit Center.

Prepared by: Spencer Bowen, Communication & Strategic Policies Manager

A handwritten signature in black ink, appearing to read "Ken Hiatt".

Ken Hiatt
City Manager

Attachments:

None



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: F.5
SUBJECT: Request for Appropriation of Reserve Funds for Fleet Vehicle Purchases and Library Bookmobile Tax Payment

Recommendation for Action: Staff recommends that the City Council adopt Resolution No. _____, approving the following actions: 1) Authorize the appropriation of \$77,668 from the City's reserve balances into Fund 2012 for the purpose of purchasing replacement fleet vehicles; 2) Authorize the appropriation of \$52,836 to Fund 1917, and then appropriate the funds to Fund 2012 to pay taxes for the Library Bookmobile; and 3) Approve the purchase of fleet replacement vehicles for various City departments at a total cost of \$306,320.

Staff Contact:

Reece Ulrich, Fleet and Facilities Manager, (530) 661-5828, reece.ulrich@cityofwoodland.gov

Fiscal Impact:

The total appropriation of \$77,668 directly into Fund 2012, will be used to purchase replacement fleet vehicles. The reserve balance is sufficient to cover these appropriations, and there will be no adverse impact on the City's general fund or operating budget.

The total cost of the vehicles is estimated to be \$306,320, which will be covered by funds that have been previously appropriated plus the recommended appropriation of \$77,668.

The total appropriation of \$52,8362 into fund 1917, then directly into 2012, will be used to pay taxes and vehicle licensing fees for the Library Bookmobile. The fund balance is sufficient to cover these appropriations, and there will be no adverse impact on the City's general fund or operating budget.

Background:

The City of Woodland maintains a reserve fund designated for capital expenditures and vehicle purchases, which supports the ongoing maintenance and enhancement of City services. The City's fleet of vehicles, which are critical for public works, parks, and other City operations, are aging and require replacement to maintain operational efficiency, safety, and service delivery standards.

The City has identified the need to replace and purchase fleet vehicles that are crucial for maintaining operational capacities. The total cost for the purchase of replacement vehicles for various departments is \$306,320. In addition, the City also needs to address the payment of taxes on the Library Bookmobile, which requires the appropriation of an additional \$52,836.

Vehicles with their associated reserve appropriations requested and purchase prices are listed below:

Replaces Vehicle #	Reserve Amount	Appropriation From Reserves	Vehicle Quote w/ Tax	Upfit Quote w/ Tax	Vehicle Purchase Price
698	\$95,443	\$56,506	\$56,506		\$56,506
760	\$90,000		\$54,597		\$54,597

792	\$33,000		\$12,960		\$12,960
793	\$66,146	\$21,162	\$46,927	\$15,856	\$62,783
813	\$30,000		\$25,515		\$25,515
814	\$30,000		\$26,730		\$26,730
815	\$30,000		\$27,135		\$27,135
843	\$35,000		\$12,960		\$12,960
844	\$35,000		\$27,135		\$27,135
TOTALS		\$77,668			\$306,320

Discussion:

The City of Woodland's fleet of vehicles is essential for supporting various municipal operations. However, as these vehicles age, both the cost of maintenance and the frequency of repairs increase, while their overall reliability declines. This leads to disruptions in service delivery, as vehicles are frequently out of commission for repairs, causing delays and additional costs.

The proposed resolution aims to address this issue by appropriating \$77,668 from reserve balances into Fund 2012 to facilitate the purchase of replacement fleet vehicles. The total cost of fleet vehicle replacements is estimated at \$306,320, all of which will be funded through reserve balances.

Replacing these aging vehicles will help reduce breakdowns, lower maintenance costs, and enhance the overall reliability of the fleet. By approving this action, the City will be able to proceed with the timely procurement of these vehicles, ensuring that operations remain efficient and services continue without disruption.

Conclusion:

Staff recommends that the City Council adopt Resolution No. _____, approving the following actions:

1) Authorize the appropriation of \$77,668 from the City's reserve balances into Fund 2012 for the purpose of purchasing replacement fleet vehicles; 2) Authorize the appropriation of \$52,836 to Fund 1917, and then appropriate the funds to Fund 2012 to pay taxes for the Library Bookmobile; and 3) Approve the purchase of fleet replacement vehicles for various City departments at a total cost of \$306,320.

Prepared by: Courtney Morgan, Management Analyst

Reviewed by: Reece Ulrich, Fleet and Facilities Manager


Ken Hiatt
City Manager

Attachments:

1. Proposed Resolution - Appropriations and Vehicle Purchasing

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WOODLAND
REQUESTING THE APPROPRIATION OF RESERVE BALANCES AND
LIBRARY FUNDS AND APPROVAL TO PURCHASE FLEET VEHICLES**

WHEREAS, the City of Woodland maintains a reserve fund intended for capital expenditures and vehicle purchases; and

WHEREAS, the City has identified the need to purchase and fund various fleet vehicles to maintain operational efficiency and meet the growing demands of City services; and

WHEREAS, the City wishes to appropriate a total of \$77,668 from reserve balance into fund 2012 for the purpose of purchasing replacement fleet vehicles; and

WHEREAS, the total cost for the purchase of the fleet vehicles is \$306,320; and

WHEREAS the City wishes to appropriate a total of \$52,836 to Fund 1917, and then appropriate the funds to Fund 2012 for the purpose of paying taxes on the Library Bookmobile.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Woodland hereby authorizes and approves the following:

SECTION 1. The purchase of fleet replacement vehicles for various departments at a total cost of \$306,320.

SECTION 2. The appropriation of \$77,668 from reserve balances into Fund 2012 for the purpose of purchasing replacement fleet vehicles.

SECTION 3. The appropriation of \$52,836 to Fund 1917, which will then be appropriated to Fund 2012 for the purpose of paying taxes on the Library Bookmobile.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Woodland at a regular meeting held on the 18th day of March 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Rich Lansburgh, Mayor

ATTEST:

APPROVED AS TO FORM:

Sarah Lansburgh, CMC, City Clerk

Ethan Walsh, City Attorney



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: F.6
SUBJECT: Award a Construction Contract and Professional Services Agreement for the Community Center Parking Lot Expansion, CIP 24-08

RECOMMENDATION FOR ACTION: Staff recommends the City Council adopt Resolution No. _____, to 1.) Transfer \$800,000 in Capital Project Funds (Fund 1501) from the Southeast Area Aquatics Center Project (CIP 19-18) to the Community Center Parking Lot Expansion Project (CIP 24-08) to cover all project costs; 2) authorize the withdrawal of the bid submitted by R&R Pacific Construction and release of its bid bond; 3) Approve a construction contract for the Community Center Parking Lot Expansion Project (CIP 24-08) and award the construction contract in the amount of \$1,609,801.07 to All Phase Construction, authorize a contract contingency up to 15% (241,470), and authorize the City Manager to execute the construction contract and change orders; and 4) Approve a professional services agreement for inspection services with Kitchell, Inc. in the amount of \$96,484, authorize a contract contingency up to 15% (\$14,473), and authorize the City Manager to execute the agreement and amendments.

Staff Contact:

Clara Olmedo, Associate Engineer, (530) 661-5824, clara.olmedo@cityofwoodland.gov

Fiscal Impact:

The project is currently funded in the Capital Budget with \$1,500,000 in Capital Projects Funds (Fund 1501). The total project cost, including design, construction, contingency, construction management, inspection, and project management, is estimated at \$2,300,000. Due to the complimentary nature of the parking expansion project to the new aquatics center, staff is proposing that the current funding shortfall be resolved by transferring \$800,000 in Capital Projects Funds (Fund 1501) from the new aquatics center project (CIP 19-18) to the parking expansion project (CIP 24-08). The aquatics center project is currently funded at \$16.2 million and current encumbrances total just over \$15 million.

Background:

On September 25, 2017, the Parks & Recreation Commission approved a conceptual plan of new parks and recreation facilities at the Woodland Sports Park. The recommendation presented to the Parks & Recreation Commission was the result of a City Council and Parks & Recreation Commission subcommittee tasked with evaluating current and future recreation facility needs. On October 17, 2017, staff presented the conceptual master plan for buildout of the Woodland Sports Park to the City Council. Following that meeting, the master plan was further refined and once again presented to Council on March 6, 2018.

Recommendations included in the master plan reports provided to the Parks & Recreation Commission and the City Council were provided as "Level A" and "Level B" recommendations: "Level A" projects are those that have the highest current need based on community need. "Level B" projects are projects that have an acknowledged high level of need and take a second priority only to the Level A projects. The need to construct additional parking was identified as a "Level A" recommendation. The master plan identified the turf area in front of the main entrance to the Community & Senior Center as the area to provide the additional parking. With the new aquatic center scheduled to open by the end of 2025, there is a need to complete parking lot improvements

and address the parking deficiencies when holding larger events at the Woodland Sports Park.

City Council authorized a design services contract award in January 2024. The design of the project includes conversion of the existing turf area fronting East Street to additional parking. A total of 96 new parking spaces, including 8 ADA accessible spaces and 4 electric vehicle charging stations, will be added with the project. In addition, the project will install infrastructure to provide 28 EV capable parking spaces for future equipping as EV charging stations.

Discussion:

On December 17, 2024, the City Council approved the project plans and specifications and authorized bid advertisement. The project was advertised for bids on February 13, 2025. On March 11, 2025, the City received 17 bids for the Project in the amounts tabulated below:

	CONTRACTOR	BASE BID
1	R&R Pacific Construction	\$1,351,458.25* (BID WITHDRAWN)
2	All Phase Construction, Inc.	\$ 1,609,801.07
3	Western Engineering	\$ 1,611,858.00
4	Abide Builders Inc.	\$1,616,694.10*
5	All American Construction, Inc.	\$ 1,637,192.98
6	B+M Civil LLC	\$1,667,198.00*
7	D.G. Granade	\$ 1,675,914.00
8	Vaca Valley Excavating & Trucking, Inc.	\$1,691,455.00*
9	JPB Designs Inc.	\$1,716,345.60*
10	Lister Construction, Inc.	\$ 1,742,523.18
11	Schreder & Brandt MFG, Inc.	\$ 1,765,600.10
12	Marone & Company, Inc.	\$1,765,600.10*
13	Martin General Engineering, Inc.	\$ 1,810,933.25
14	TJR Resources, Inc.	\$1,913,289.17*
15	Dutch Contracting, Inc.	\$1,971,951.92*
16	Gabe Mendez, Inc.	\$ 2,008,064.00
17	Granite Construction	\$ 2,141,066.80

*Bids adjusted due to minor tabulation errors

The engineer's estimate of construction cost was \$1.7 million. At the bid opening on March 11, R&R Pacific Construction appeared to be the low bidder with an as-read bid of \$1,403,458.25. Upon review of the bid documents, staff discovered errors in R&R's bid tabulation which lowered their

actual bid to \$1,351,458.25. On March 12, 2025, R&R Pacific Construction submitted a written request for relief of bid, citing considerable material errors made in preparation of their bid. State law authorizes an awarding authority, such as the City, to consent to relieve a bidder from its bid if the grounds for relief described in Public Contract Code section 5103 have been met. Staff has determined that the request for relief was made in compliance with the public contract code and the published bid documents. Therefore, acceptance of the request for relief of bid can be authorized by Council. After continued due diligence in reviewing the remaining bids, staff determined that the apparent second-low bid, as read at the bid opening, submitted by Abide Builders also had bid tabulation errors that raised their total bid from \$1,605,654.10 (as-read) to \$1,616,694.10, moving them from the 2nd low bid position to 4th low. Staff has determined that the next lowest responsible bidder providing a responsive bid is All Phase Construction with a total bid of \$1,609,801.07. All Phase Construction has complied with all technical submittal requirements with no errors in bid tabulation. Therefore, staff requests that Council award the construction contract for the base bid amount of \$1,609,801.07 and authorize a 15% contingency (\$241,470) should any unforeseen conditions arise.

To provide adequate construction management, inspection, and materials testing in compliance with quality assurance requirements for the project, staff is requesting that Council approve a consultant services agreement with Kitchell, Inc. in the amount of \$96,484. Kitchell is currently serving as the construction manager for the new aquatics center project. Given the adjacency of the parking lot expansion to the new aquatics center, utilizing Kitchell's services for both projects is an efficient and cost-effective approach to providing the necessary construction oversight. Staff requests that Council approve a 15% contingency for the consultant contract to account for any unforeseen services that may be required.

Construction is anticipated to take approximately 6 months, with project completion estimated in Fall of 2025, before the new aquatics center is scheduled to open.

Conclusion:

Staff recommends the City Council adopt Resolution No. _____, to 1.) Transfer \$800,000 in Capital Project Funds (Fund 1501) from the Southeast Area Aquatics Center Project (CIP 19-18) to the Community Center Parking Lot Expansion Project (CIP 24-08) to cover all project costs; 2) authorize the withdrawal of the bid submitted by R&R Pacific Construction and release of its bid bond; 3) Approve a construction contract for the Community Center Parking Lot Expansion Project (CIP 24-08) and award the construction contract in the amount of \$1,609,801.07 to All Phase Construction, authorize a contract contingency up to 15% (241,470), and authorize the City Manager to execute the construction contract and change orders; and 4) Approve a professional services agreement for inspection services with Kitchell, Inc. in the amount of \$96,484, authorize a contract contingency up to 15% (\$14,473), and authorize the City Manager to execute the agreement and amendments.

Prepared by: Clara Olmedo, Associate Engineer

Reviewed by: Brent Meyer, Director of Community Development / City Engineer


Ken Hiatt
City Manager

Attachments:

1. Resolution
2. Kitchell Proposal (CM & Inspection)

3. Site & Landscape Planting Plans

RESOLUTION NO. ____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WOODLAND
AUTHORIZING WITHDRAWAL OF BID, APPROVING A CONSTRUCTION
CONTRACT, TRANSFER OF FUNDS, AND CONSULTANT AGREEMENT FOR
CONSTRUCTION MANAGEMENT, FOR THE COMMUNITY CENTER PARKING
LOT EXPANSION PROJECT (CIP 24-08)**

WHEREAS, the Community Center Parking Lot Expansion Project, CIP 24-08 (the “Project”), is identified in the Capital Budget; and

WHEREAS, the Project includes expansion of the existing Community & Senior Center parking lot to the existing turf area west of the main entrance, with an additional 96 parking stalls, including 8 new ADA stalls. Additionally, the Project will equip 4 existing parking spaces with EV charging equipment and will run infrastructure to an additional 14 stalls for future equipping; and

WHEREAS, the Project is currently funded with \$1,500,000 in General Capital Funds (Fund 1501); and

WHEREAS, the total project cost, including design, construction, contingency, construction management, inspection, and project management, is currently estimated at \$2,300,000; and

WHEREAS, to make up the current funding shortfall, staff is requesting that \$800,000 of Capital Projects Funds (Fund 1501) be transferred from the Southeast Area Aquatics Center Project (CIP 19-18) to the Project; and

WHEREAS, the City Council approved the Project plans and specifications and authorized bid advertisement on December 17, 2024, and the Project was advertised for bids on February 13, 2025; and

WHEREAS, the City received 17 bids on the bid opening date of March 11, 2025; and

WHEREAS, the apparent low-bidder at bid opening was R&R Pacific Construction, Inc., but due to considerable material errors made in preparation of their bid, R&R Pacific Construction has submitted written request for relief of bid; and

WHEREAS, the City Council wishes to authorize the withdrawal of the bid submitted by R&R Pacific Construction and release of its bid bond; and

WHEREAS, the lowest responsible bidder submitting a responsive bid was All Phase Construction, Inc. as determined by their base bid in the amount of \$1,609,801.07; and

WHEREAS, the City wishes to award the construction contract to All Phase Construction, Inc. in the amount of \$1,609,801.07 and authorize a contingency up to 15%; and

WHEREAS, the City desires to have the construction management and materials testing performed by an experienced consultant that was selected through a qualifications based selection process; and

WHEREAS, the City wishes to approve the consultant services agreement for construction management and materials testing services with Kitchell, Inc. in the amount of \$96,484 and authorize contingency up to 15%; and authorize its execution through the adoption of this Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WOODLAND AS FOLLOWS:

Section 1. The City Council hereby authorizes the transfer of \$800,000 in Capital Projects Funds (Fund 1501) from the Southeast Aquatics Center Project, CIP 19-18, to the Community Center Parking Lot Expansion Project, CIP 24-08.

Section 2. The City Council hereby authorizes the withdrawal of the bid submitted by R&R Pacific Construction and release of its bid bond.

Section 3. The City wishes to award the construction contract in the amount of \$1,609,801.07 to the lowest responsive bidder submitting a responsible bid, All Phase Construction, Inc., and authorize a contract contingency up to 15% (\$241,470); the City Manager is hereby authorized and directed to execute the contract and change orders up to 15%, subject to City Attorney approval.

Section 4. The City Council hereby approves the professional services agreement for construction management with Kitchell, Inc. in the amount of \$96,484. The City Manager is hereby authorized and directed to execute the agreement and amendments up to 15% of the original contract amount (\$14,473).

Section 5. Copies of the Construction Contract, and the Professional Services Agreement for Construction Management Services, are available and on file in the City Clerk's office and are incorporated herein by reference and made part of this Resolution.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Woodland at a regular meeting of the City Council held on the 18th day of March 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

Richard Lansburgh, Mayor

Sarah Lansburgh, City Clerk



March 13, 2025

Ed Wisniewski, PE
Principal Civil Engineer, Development Services
Community Development Department
City of Woodland
300 First Street
Woodland, CA 95695

Re: Fee Proposal for Construction Management and Inspection Services for City of Woodland Community Center Parking Lot Expansion Project

Dear Ed,

Thank you for choosing Kitchell/Signet to provide the **Construction Management and Inspection Services for City of Woodland Community Center Parking Lot Expansion Project**. On behalf of our entire team, I would like to thank you for this opportunity. We are very excited work with the City of Woodland on this project. We understand time is of the essence to complete the construction work and look forward to working with the selected General Contractor and the rest of the team.

The proposed fee to provide the outlined scope of services, utilizing the level of staff identified on the attached Cost Estimates of Consulting Fees (also included in our proposal) is below:

- | | |
|-----------------------------------|----------------|
| • PM/CM (Kitchell): | \$61,560 |
| • Special Inspection (Signet): | \$29,628 |
| • Special Inspection Contingency: | <u>\$5,296</u> |

Total: \$96,484

The above costs are not to exceed amounts plus reasonable and customary reimbursable expenses based on the schedule attached. Reimbursable expenses may include; project office equipment, telecommunications, postage, consumables, plans/prints/photos and project-related travel.

Thank you for the opportunity to provide these services. Our resources are in place and we are ready to commence with this work. If you have any questions or would like to discuss this proposal in further detail, please do not hesitate to contact me at this office.

Sincerely,

Jim Bruce
Operations Manager

Attachments: Cost Estimates of Consulting Fees

Kitchell CEM

2450 Venture Oaks Way | Suite 500 | Sacramento, CA 95833 | Phone 916.648.9700 | Fax 916.648.6534 | www.kitchell.com

City of Woodland

Parking Lot Project

Schedule / Phase		2025									Total Hours	2025 Rates	2025 Hours	Totals \$
		A	M	J	J	A	S	O	N	D				
		160	160	200	160	200	160	160	200	160				
		20	21	22	23	24	25	26	27	28				
CONSTRUCTION MANAGEMENT SERVICES														
Position / Classification	Name													
Regional Executive	Jennifer Frahm										0.0	\$ -	0	\$ -
Project Director	N/A										0.0	\$ 240.00	0	\$ -
Construction Manager	Kris Bogar	40	40	50	40	50	40				260.0	\$ 201.00	260	\$ 52,260
Project Engineer	TBD				20	20	20				60.0	\$ 155.00	60	\$ 9,300
Scheduler	Rick Stassi										0.0	\$ 178.00	0	\$ -
Special Inspection	Signet										0.0	\$ -	0	
Special Inspection Contingency	Signet										0.0	\$ -	0	
Total (FTEs / Month)		40	40	50	60	70	60	0	0	0	320.0			\$ 61,560

Scope of Services:

We include a 10% fee for insurance and administrative tasks for subconsultants which is included in those line items

\$61,560

100.00%

March 13, 2025

Div. 31/32	Geotechnical Services/Civil Improvements	Estimated Units	Rate	Amount
	Compaction Testing & Observation			
	Grading/Compaction Testing: utility backfilling, AB/AC/PCC areas, AC Coring, concrete sampling areas	120	hours	\$ 115.00 \$ 13,800.00
	Laboratory & Engineering Services:			
	Soils Compaction Curve (ASTM D-1557)	3	each	\$ 365.00 \$ 1,095.00
	Soil Classification (Plasticity Index / Liquid Limit)	3	each	\$ 295.00 \$ 885.00
	Soil Classification (Expansion Index Test)	3	each	\$ 390.00 \$ 1,170.00
	Sieve Analysis, Coarse and Fine Including Wash	3	each	\$ 225.00 \$ 675.00
	Stabilometer Value	1	each	\$ 695.00 \$ 695.00
	Extraction/Gradation	1	each	\$ 425.00 \$ 425.00
	Specific Gravity	3	each	\$ 265.00 \$ 795.00
	Maximum Density	1	each	\$ 565.00 \$ 565.00
	AC Coring Equipment	8	hours	\$ 175.00 \$ 1,400.00
	Concrete Compression Test (3 Sets of 5)	15	each	\$ 30.00 \$ 450.00
	Sample Transportation To Laboratory	12	hours	\$ 80.00 \$ 960.00
	Concrete Cylinder Molds	15	each	\$ 5.00 \$ 75.00
	Nuclear Gauge Equipment	96	hours	\$ 20.00 \$ 1,920.00
	Geotechnical Engineer, Review project Geo-Report, Issue Reports & etc.	8	hours	\$ 190.00 \$ 1,520.00
	Trip Charge	18	trips	\$ 70.00 \$ 1,260.00
Subtotal:				\$ 27,690.00

Project Administration:	\$ 1,938.30
--------------------------------	--------------------

Professional Services Estimated Total:	\$ 29,628.30
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PROJECT STAFF & LOAD SUMMARY		Hours	Amount
Geotechnical Services/Civil Improvements:		120	\$ 27,690.00
Project Administration:		-	\$ 1,938.30
Special Inspection Staff Loaded Schedule:		120	\$ 29,628.30

ALTERNATES

ADD ALTERNATE #1	Contingency	Estimated Units	Rate	Amount
	Laboratory & Engineering			
	Contingency for Unknowns	20	%	\$ 29,628.30 \$ 5,925.66
Subtotal:				\$ 5,925.66

ENGINEERING & PROJECT MANAGEMENT		Units	Rate	
	Senior Staff Professional/Geo-Engineer	Hour	\$ 190.00	
	Project Manager	Hour	\$ 175.00	
	Field Supervisor	Hour	\$ 145.00	
	Weekly Summary Reports	Hour	\$ 190.00	

Additional Comments:

1. The unit rates for laboratory testing include all required laboratory technician costs, sample storage and disposal charges.
2. Regular work day is from 7:00 am to 4:00 pm, Monday - Friday. Inspector rates are based on a two-hour minimum show-up/cancellation and four-hour increments.
3. This estimate was based upon review of the available project documents noted in the attached cover letter.
4. Services will be performed on a time and material basis in accordance with this estimate and our current schedule of fees and services, including the basis of charges and general conditions contained therein. A project administration fee of seven percent will be added to all invoices. Equipment charges are additional. Services are portal to portal.
5. Our discounted Labor rates are based upon CA-Prevailing Wage requirements.

PROPOSED	EXISTING	
		STORM DRAIN AND MANHOLE
		PERFORATED STORM DRAIN
		SANITARY SEWER AND MANHOLE
		SANITARY SEWER FORCE MAIN
		SEWER PUMP STATION
		FIRE HYDRANT AND VALVE ASSEMBLY
		WATER MAIN, VALVE, DOUBLE DETECTOR CHECK VALVE, METER & BLOWOFF VALVE
		JOINT UTILITY TRENCH
		GAS MAIN
		ELECTRICAL LINE UG—UNDERGROUND OH—OVERHEAD
		TELEPHONE LINE
		STREET LIGHT CONDUIT, WIRING & PULL BOX
		STREET LIGHT SERVICE POINT AT UTILITY CO. BOX
		STREET LIGHT AND POLE
		UTILITY POLE WITH DOWN GUY & ANCHOR
		POWER POLE, TELEPHONE POLE, JOINT POLE
		FENCE
		VERTICAL CURB, GUTTER & SIDEWALK WITH DRIVEWAY
		CATCH BASIN OR DRAINAGE INLET
		FLOWLINE OF DITCH OR SWALE
		DIRECTION OF SURFACE DRAINAGE FLOW
		CUT OR FILL SLOPE
		RIGHT OF WAY OR PROPERTY LINE
		STREET CENTERLINE OR BASELINE
		SURVEY MONUMENT
		SIGN
		TREE
		TREE TO BE REMOVED
		EXISTING GROUND SURFACE ELEVATION
		EDGE OF PAVEMENT AND ELEVATION
		FLOW LINE GRADE
		TOP OF CURB GRADE/ASPHALT GRADE
		FINISHED CONCRETE GRADE
		TOP OF WALL GRADE
		TOP OF CURB/FINISHED GRADE/SUBGRADE ELEVATION
		MATCH EXISTING GRADE (FIELD VERIFY)
		PUBLIC UTILITY EASEMENT
		ROLL CURB, GUTTER, & SIDEWALK
		GRADING RIDGE

UTILITY	COMPANY	REPRESENTATIVE	PHONE NUMBER
GAS & ELECTRIC	P.G.&E.	SETH PEREZ	(530) 661-5668
TELEPHONE	AT&T	LISA MARANO	(916) 484-2420
TELEPHONE	YOLO COUNTY TELECOMMUNICATIONS	TOM BATES	(530) 506-5012
CABLE TV	WAVE BROADBAND	FRANK BARGIEL	(916) 223-0123
WATER, SEWER, AND DRAINAGE	CITY OF WOODLAND	CRAIG LOCKE	(530) 661-5899
FIRE	CITY OF WOODLAND	FIRE MARSHALL	(530) 661-5855
USA			(800) 227-2600

The site plan illustrates a proposed 100-unit residential development located at 100 East Street. The development is situated on a triangular lot bounded by East Street to the north and an existing residential street to the east. The plan shows a multi-story building with a complex footprint, including a central courtyard area. A parking lot is located to the west of the building, and a landscaped area with trees and shrubs is situated to the east. The plan also shows the existing street layout, including East Street and the adjacent residential street, and the proposed building's relationship to these streets. A north arrow is located in the bottom right corner of the plan.

SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	C001	TITLE SHEET
2	C002	ABBREVIATIONS AND GENERAL NOTES
3	C003	GENERAL NOTES
4	C101	TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
5	C201	SITE PLAN
6	C202	EV CHARGING PLAN
7	C301	GRADING AND DRAINAGE PLAN
8	C401	UTILITIES PLAN
9	C601	EROSION AND SEDIMENTATION CONTROL PLAN
10	C701	DETAILS
11	C702	DETAILS
12	C801	CROSS SECTIONS
13	TP-1	TREE PROTECTION & REMOVAL PLAN
14	TP-2	TREE PROTECTION & REMOVAL PLAN
15	IR-1	IRRIGATION PLAN
16	IR-2	IRRIGATION PLAN
17	IR-3	IRRIGATION PLAN
18	PL-1	PLANTING PLAN
19	PL-2	PLANTING PLAN
20	DT-1	LANDSCAPE DETAILS
21	DT-2	LANDSCAPE DETAILS
22	DT-3	LANDSCAPE DETAILS
23	E0.01	ELECTRICAL SHEET INDEX, SYMBOL LIST, AND ABBREVIATIONS
24	E1.00	SITE PLAN
25	E2.01	SITE PLAN – LIGHTING
26	E2.02	SITE PLAN – LIGHTING PHOTOMETRICS
27	E3.01	ELECTRICAL PLAN – EV CHARGERS
28	E4.01	ONE-LINE POWER DIAGRAM
29	E5.01	ELECTRICAL DETAILS
30	E6.01	TITLE 24 OUTDOOR LIGHTING COMPLIANCE FORM
31	E6.02	TITLE 24 OUTDOOR LIGHTING COMPLIANCE FORM

"FINAL GEOTECHNICAL REPORT, CITY OF WOODLAND AQUATIC COMPLEX – COMMUNITY & SENIOR CENTER SITE", FILE NO. 4177.x001, MARCH 2024, BLACKBURN CONSULTING, 249 BOATMAN AVENUE, WEST SACRAMENTO, CA 95691.

REGISTERED PROFESSIONAL ENGINEER
BRYAN P. BONINO
No. 41804
CIVIL
STATE OF CALIFORNIA

DATE: 11-21-2024 P.E. 41804

COMMUNITY CENTER PARKING LOT EXPANSION

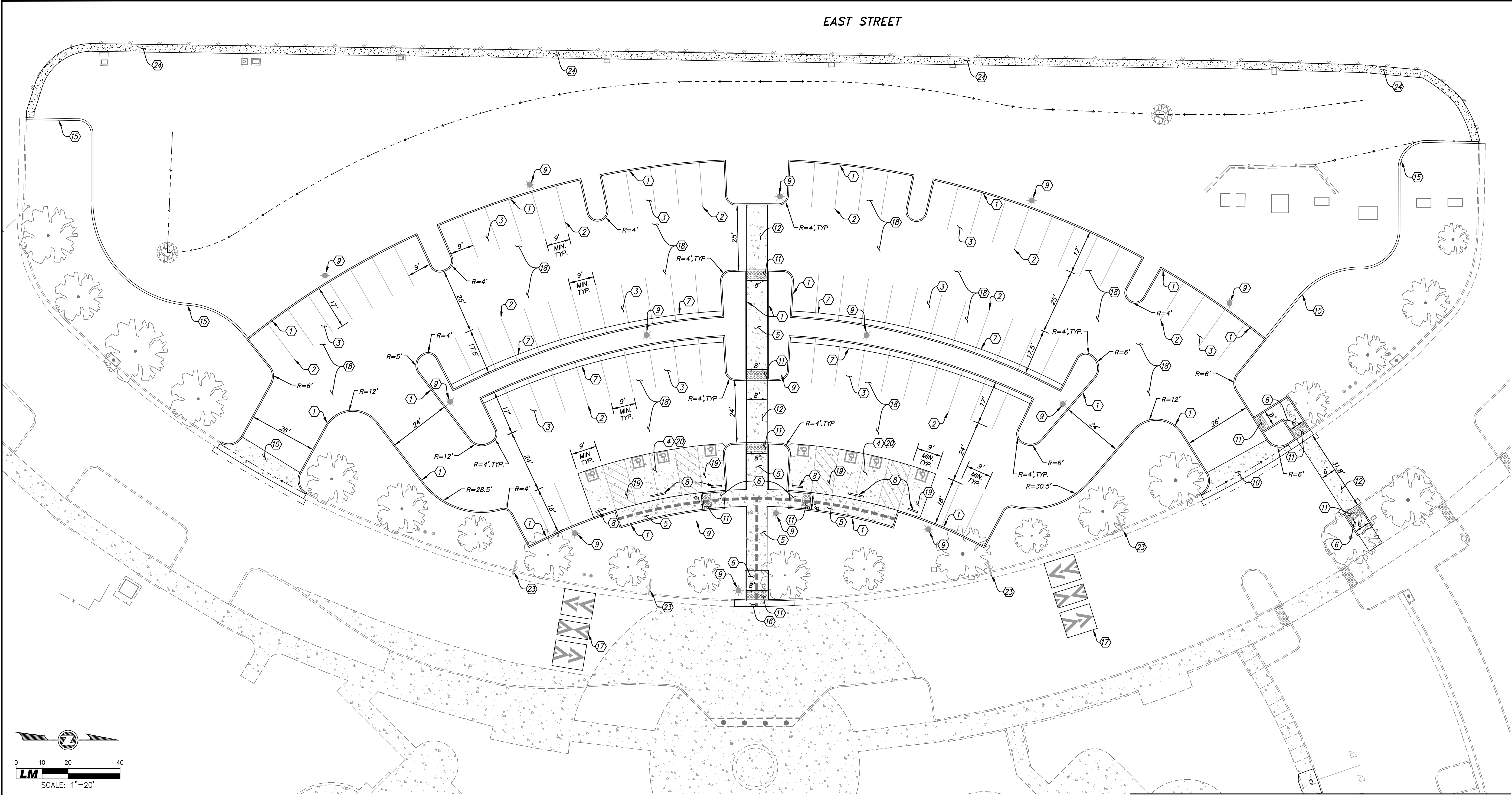
DATE: _____

DATE: 11-21-2024

FILE: 449-99-2_C001.dwg

[illegible]

SHEET 1 OF 31



ACCESSIBLE PATH OF TRAVEL NOTES (-----):

ACCESSIBLE PATH OF TRAVEL TO HAVE A CONTINUOUS SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" AND SHALL BE A MINIMUM OF 48" IN WIDTH PER CBC CHAPTER 11 DIVISION 4. ACCESSIBLE ROUTES OF TRAVEL WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 1:20 SHALL HAVE RAMPS COMPLYING WITH CBC 11B-405. WALKS SHALL NOT EXCEED 1:20 IN DIRECTION OF TRAVEL AND 1:48 GROSS SLOPE.

CONSTRUCTION NOTES

- ① INSTALL VERTICAL CURB PER DETAIL 5, SHEET C701.
- ② INSTALL 4" WIDE PAINTED TRAFFIC STRIPING, TYPICAL.
- ③ STANDARD STALL 9' X 17' WITH 2' PARKING OVERHANG.
- ④ ACCESSIBLE PARKING STALLS: 9' X 18' MIN WITH 2' PARKING OVERHANG WITH 8' WIDE LOADING ZONE.
- ⑤ INSTALL CONCRETE SIDEWALK PER DETAIL 3, SHEET C701.
- ⑥ INSTALL PERPENDICULAR CURB RAMP PER CBC SECTION 11B-406.2 AND 11B-406.5 OR CALTRANS STANDARD PLAN A88A CASE F. SEE SHEET C702.
- ⑦ INSTALL VERTICAL CURB AND GUTTER PER CITY OF WOODLAND STANDARD DETAIL 315.
- ⑧ INSTALL WHEEL STOPS PER DETAIL 4, SHEET C701.
- ⑨ INSTALL SITE LIGHTS PER ELECTRICAL PLANS.
- ⑩ INSTALL DRIVEWAY VALLEY GUTTER PER DETAIL 1, SHEET C702.
- ⑪ INSTALL TRUNCATED DOME PAVERS COMPATIBLE WITH CBC SECTION 11B-705 AND CALTRANS STANDARD PLAN A88A.

- ⑫ INSTALL ENHANCED CONCRETE SIDEWALK PER DETAIL 1 & 2, SHEET C701.
- ⑬ INSTALL CONCRETE MOW STRIP PER CITY OF WOODLAND STANDARD DETAIL 1318.
- ⑭ INSTALL MODIFIED GUTTER SECTION WITH MAXIMUM 4% SLOPE FROM LIP OF GUTTER TO FLOW LINE.
- ⑮ INSTALL SPEED CUSHION PER CITY OF WOODLAND STANDARD DETAIL 385.
- ⑯ INSTALL 3" A.C., 11" A.B. OVER 8" COMPACTED SUBGRADE FOR AUTO DRIVE AISLES AND AUTO PARKING AREAS. SEE GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.
- ⑰ INSTALL 6" P.C.C., 8" A.B. OVER 8" COMPACTED SUBGRADE FOR ADA PARKING AREAS. SEE GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.
- ⑱ SEE SHEET C702, CALTRANS STANDARD PLAN A90A, FOR ACCESSIBLE PARKING AND SIGNAGE DETAILS IN ADA PARKING AREA.
- ⑲ INSTALL STREET SIGN W17-1 PER CAMUTCD 2014.
- ⑳ INSTALL 3' WIDE OF 8" AB SHOULDER.

GENERAL NOTES:

- A. 4" WIDE WHITE STANDARD PAINTED PARKING STALL STRIPES (TYPICAL).
- B. PCC SLABS SHOULD BE CONSTRUCTED WITH THICKENED EDGES. THE THICKENED EDGES SHOULD BE CONSTRUCTED AND TAPERED OVER A MINIMUM DISTANCE OF 48 INCHES IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 330R DESIGN DETAILS. REINFORCING FOR CRACK CONTROL, IF REQUIRED BY DEVELOPER OR GEOTECHNICAL ENGINEER, SHOULD CONSIST OF AT LEAST NO. 5 REINFORCING BARS PLACED ON MAXIMUM 12-INCH CENTERS EACH WAY THROUGH THE SLAB. REINFORCEMENT MUST BE LOCATED AT THE MID-SLAB DEPTH TO BE EFFECTIVE. JOINT SPACING AND DETAILS SHOULD BE DETERMINED BY GEOTECHNICAL REPORT AND SHOULD CONFORM WITH CURRENT PORTLAND CEMENT ASSOCIATION OR ACI GUIDELINES. DOWELING REQUIREMENTS SHALL BE PER GEOTECHNICAL REPORT.
- C. 1.8% MAXIMUM SLOPE AT ADA PARKING STALLS AND ADA PATH OF TRAVEL. CONTRACTOR SHALL VERIFY TOP OF A.B. FOR SLOPE COMPLIANCE PRIOR TO PAVING.
- D. CIVIL ENGINEER TO PROVIDE AUTOCAD DRAWING TO CONTRACTOR FOR LAYOUT OF PARKING LOT.

MATCH LINE - SEE SHEET C202

PARKING CALCULATIONS

PER CBC TABLE 11B-208.2 - PARKING SPACES

TOTAL NUMBER OF PARKING SPACES	96
REQUIRED ACCESSIBLE PARKING SPACES	4 (INCLUDING 1 VAN)
PROVIDED ACCESSIBLE PARKING SPACES	8 (INCLUDING 1 VAN)
PROVIDED ELECTRIC VEHICLE CHARGING PARKING SPACES	4 (INCLUDING 1 VAN)
FUTURE ELECTRIC VEHICLE CAPABLE PARKING SPACES	14

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING - LAND SURVEYING - PLANNING
608 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 662-1755
P.O. BOX 828, WOODLAND, CALIFORNIA 95776 - FAX: (530) 662-4602



PROJECT ENGINEER'S SIGNATURE

BY: BRYAN P. BONINO

DATE: 11-21-2024 P.E. 41804

JOB# 449-99-2

**IMPROVEMENT PLANS
FOR**

**COMMUNITY CENTER
PARKING LOT
EXPANSION**

BENCH MARK:

ELEVATION: 69.205 DATUM: NAVD88

DESCRIPTION: L-24
3 1/2" USC&GS BRASS DISK STAMPED "A1046
1959" IN CONCRETE HEADWALL CENTER LINE
OF EAST-WEST CANAL AND 30'± NORTH OF
ROAD 24A AND 30'± WEST OF CENTER LINE OF
EAST STREET IN WOODLAND, CA.

CITY OF WOODLAND
APPROVED BY:

BRENT MEYER - CITY ENGINEER
RCE# 52587

DATE:

SCALE:
HORIZ. 1"=20' VERT. NONE

DATE: 11-21-2024

DESIGNED BY B.BONINO

DRAWN BY J. BAÑUELOS

REVIEWED BY B.BONINO

FILE: 449-99-2_C201.dwg

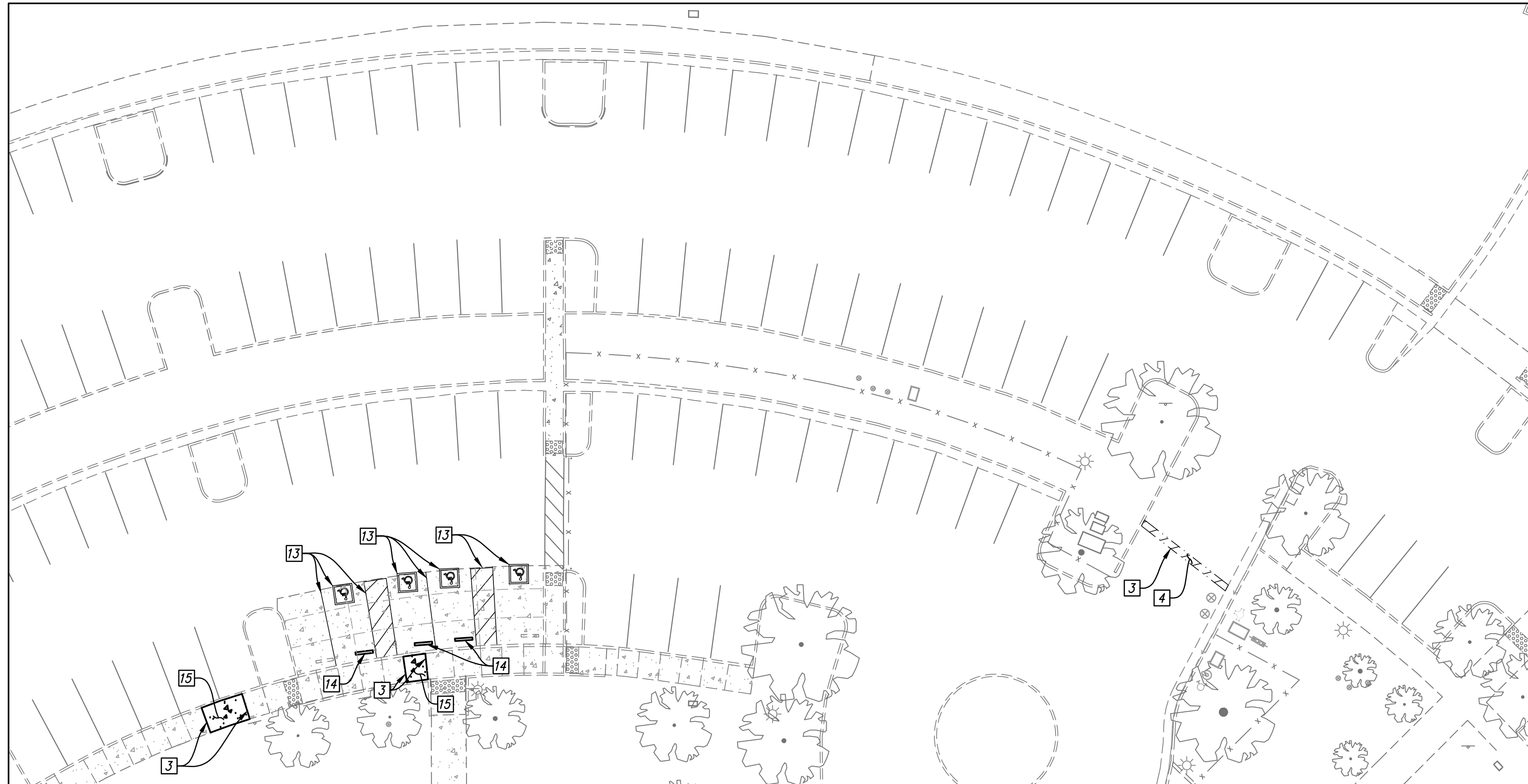
REVISIONS

NO.	DESCRIPTION	BY	DATE
		APPR.	DATE

**C201
SITE PLAN**

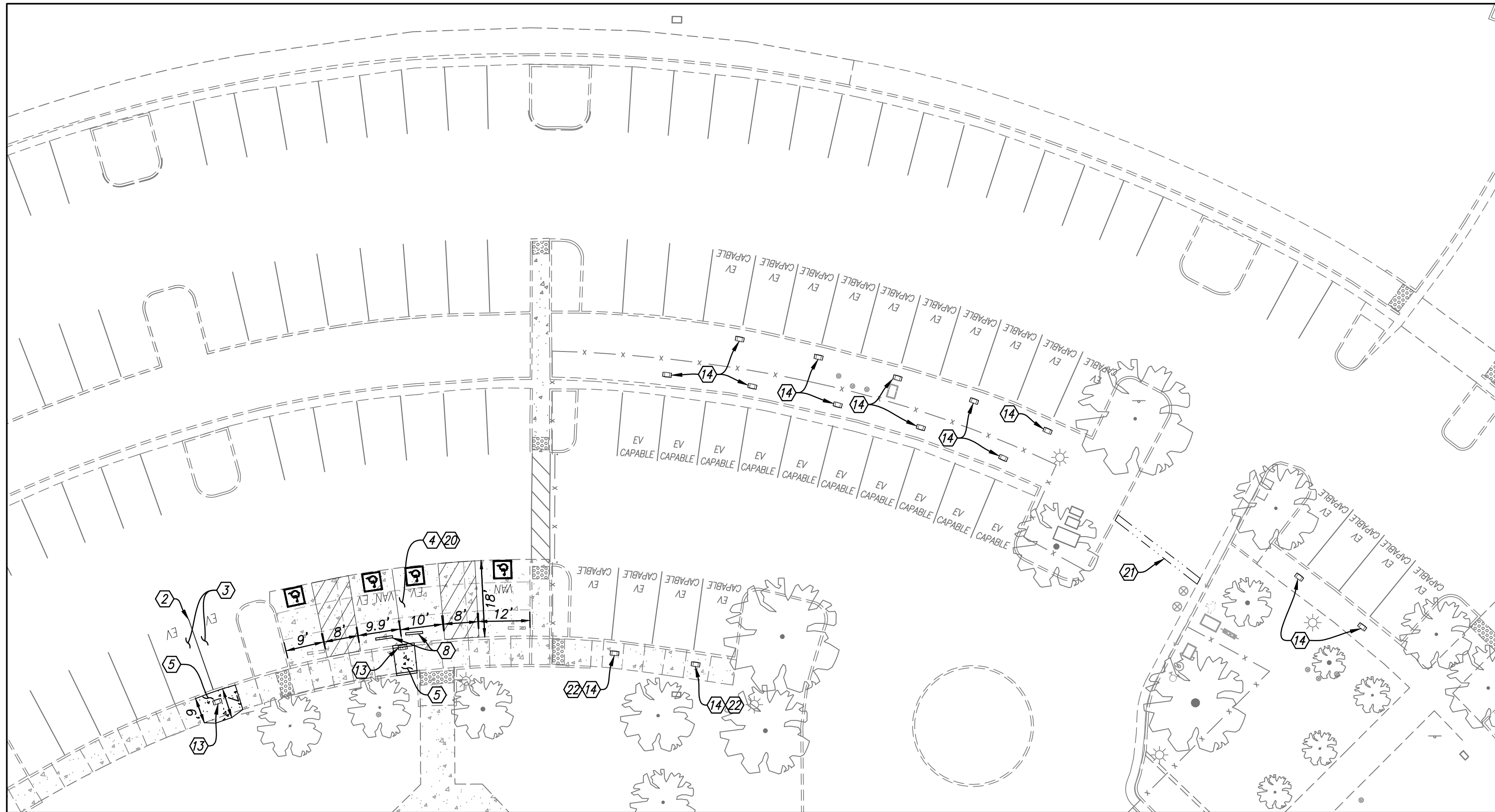
SHEET **5** OF **31**

SEE SHEET 4



1 TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
1"=20'

SEE SHEET 5



2 CIVIL SITE PLAN
1"=20'

GENERAL NOTES:

- 4" WIDE WHITE STANDARD PAINTED PARKING STALL STRIPES (TYPICAL).
- PCC SLABS SHOULD BE CONSTRUCTED WITH THICKENED EDGES. THE THICKENED EDGES SHOULD BE CONSTRUCTED AND TAPERED OVER A MINIMUM DISTANCE OF 48 INCHES IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 330R DESIGN DETAILS. REINFORCING FOR CRACK CONTROL, IF REQUIRED BY DEVELOPER OR GEOTECHNICAL ENGINEER, SHOULD CONSIST OF AT LEAST NO. 5 REINFORCING BARS PLACED ON MAXIMUM 12-INCH CENTERS EACH WAY THROUGH THE SLAB. REINFORCEMENT MUST BE LOCATED AT THE MID-SLAB DEPTH TO BE EFFECTIVE. JOINT SPACING AND DETAILS SHOULD BE DETERMINED BY GEOTECHNICAL REPORT AND SHOULD CONFORM WITH CURRENT PORTLAND CEMENT ASSOCIATION OR ACI GUIDELINES. DOWELING REQUIREMENTS SHALL BE PER GEOTECHNICAL REPORT.
- 1.8% MAXIMUM SLOPE AT ADA PARKING STALLS AND ADA PATH OF TRAVEL. CONTRACTOR SHALL VERIFY TOP OF A.B. FOR SLOPE COMPLIANCE PRIOR TO PAVING.
- CIVIL ENGINEER TO PROVIDE AUTOCAD DRAWING TO CONTRACTOR FOR LAYOUT OF PARKING LOT.
- ANY LANDSCAPING REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND.

DEMOLITION NOTES

- PAVEMENT AND SIDEWALK REMOVAL LINE, SAWCUT (---).
- HATCHING DENOTES EXISTING AC AND AB SECTION TO BE REMOVED AND REPLACED WITH SECTION MATCHING EXISTING PAVING SECTION (MINIMUM 4" AC THICKNESS). SEE CITY OF WOODLAND STANDARD DETAIL 341.
- EXISTING ADA STRIPING TO BE REMOVED.
- EXISTING WHEEL STOP TO BE REMOVED.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.

CONSTRUCTION NOTES

- INSTALL 4" WIDE PAINTED TRAFFIC STRIPING, TYPICAL.
- STANDARD STALL 9' X 17' WITH 2' PARKING OVERHANG.
- ACCESSIBLE PARKING STALLS: 9' X 18' MIN WITH 2' PARKING OVERHANG WITH 8' WIDE LOADING ZONE.
- INSTALL CONCRETE SIDEWALK PER DETAIL 3, SHEET C701.
- INSTALL WHEEL STOPS PER DETAIL 2, SHEET C701.
- DUAL EV CHARGER FOR STANDARD & ADA STALLS PER ELECTRICAL PLANS.
- FUTURE DUAL EV CHARGERS. SEE ELECTRICAL PLAN FOR CONDUIT INSTALLATION FOR FUTURE CONNECTIONS.
- SEE SHEET C702, CALTRANS STANDARD PLAN A90A, FOR ACCESSIBLE PARKING AND SIGNAGE DETAILS IN ADA PARKING AREA.
- SEE ELECTRICAL PLANS FOR CONDUIT LAYOUT FOR EV CHARGING EQUIPMENT.
- EXISTING SIDEWALK TO BE WIDENED TO 7' WHEN FUTURE EV CHARGERS ARE INSTALLED.

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING - LAND SURVEYING - PLANNING
608 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 662-1755
P.O. BOX 828, WOODLAND, CALIFORNIA 95776 - FAX: (530) 662-4602



PROJECT ENGINEER'S SIGNATURE

BY: BRYAN P. BONINO

DATE: 11-21-2024 P.E. 41804

JOB# 449-99-2

IMPROVEMENT PLANS FOR

COMMUNITY CENTER PARKING LOT EXPANSION

BENCH MARK:
ELEVATION: 69.205 DATUM: NAVD88
DESCRIPTION: L-24
3 1/2" USC&GS BRASS DISK STAMPED "A1046
1959" IN CONCRETE HEADWALL CENTER LINE
OF EAST-WEST CANAL AND 30'± NORTH OF
ROAD 24A AND 30'± WEST OF CENTER LINE OF
EAST STREET IN WOODLAND, CA.

CITY OF WOODLAND
APPROVED BY:

BRENT MEYER - CITY ENGINEER
RCE# 52587

DATE:

SCALE: 1"=20'
HORIZ. 1"=20' VERT. NONE

DATE: 11-21-2024

DESIGNED BY B. BONINO

DRAWN BY J. BAÑUELOS

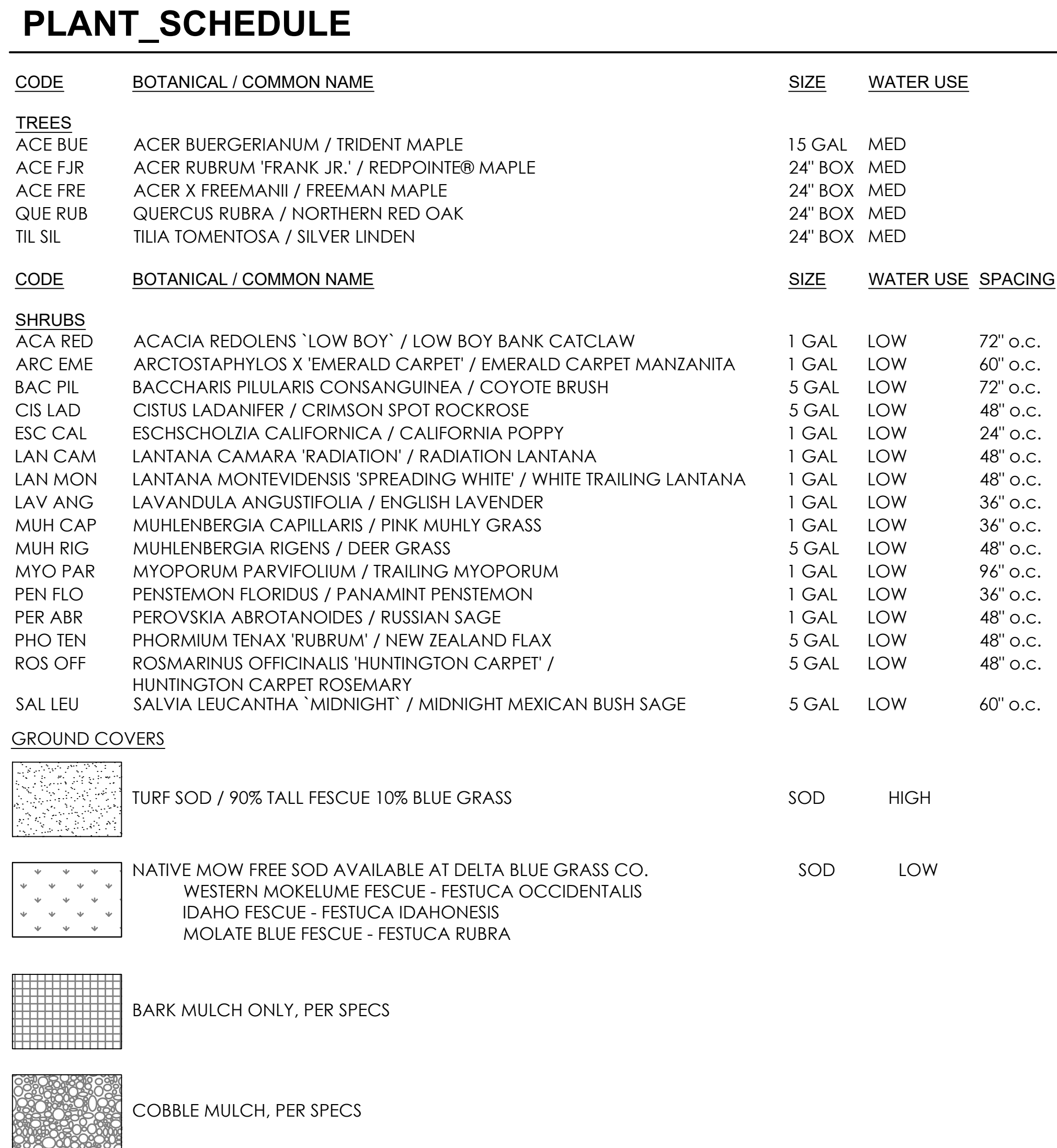
REVIEWED BY B. BONINO

FILE: 449-99-2_C202.dwg

REVISIONS			
NO.	DESCRIPTION	BY APPR.	DATE

**C202
EV CHARGING PLAN**

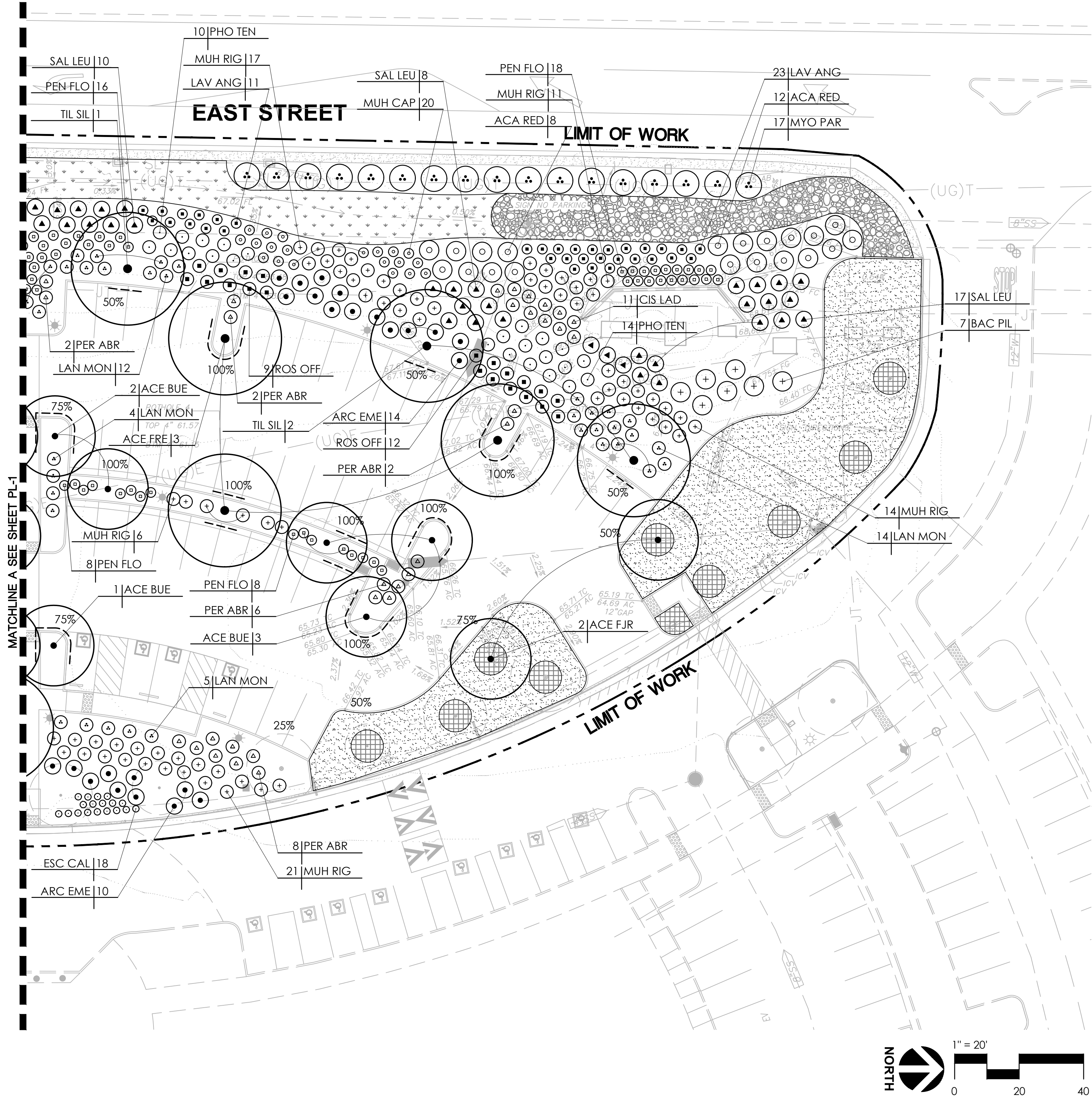
SHEET **6** OF **31**



1. MULCH: INSTALL A UNIFORM THREE INCH COVERING OF MULCH IN ALL PLANTING AREAS, PER SPECIFICATIONS.
2. EXISTING PLANT MATERIAL: PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. REPAIR ANY DAMAGES INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
3. GROUND COVER: PROVIDE GROUND COVER AT INDICATED ON-CENTER SPACING THROUGHOUT ALL AREAS TO BE PLANTED. GROUND COVER SHALL BE PROVIDED UP TO THE WATERING BASIN OF ALL TREES AND SHRUBS.
4. QUANTITIES: THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT. FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE DRAWINGS.
5. SOILS TESTING: SEE SPECIFICATIONS FOR TESTING OF TOPSOIL AND AMENDMENTS. CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR TESTING PRIOR TO CONSTRUCTION.

— — — ROOT BARRIER: DEEP ROOT CORP. #UB18. INSTALL FLUSH WITH INSIDE
FACE OF CURB OR PAVING IN LOCATIONS INDICATED. SHOWN ON
OUTSIDE OF CURB FOR GRAPHIC PURPOSES ONLY.

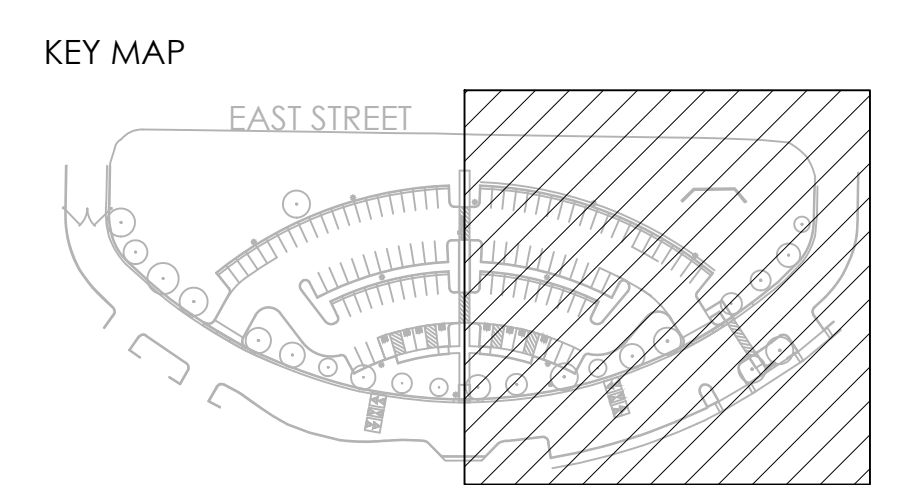
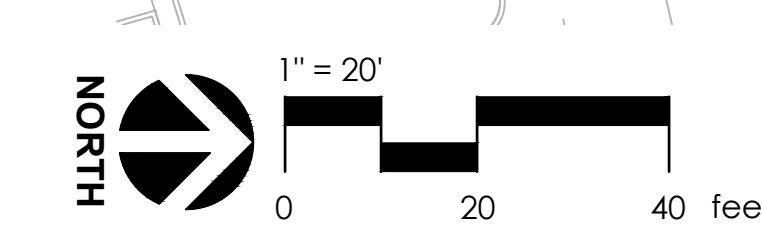
		12150 Tributary Point Drive, Suite 140 Gold River, CA 95670 T 916.985.4366 www.callanderassociates.com	
			
LANDSCAPE ARCHITECT'S SIGNATURE			
BY: _____		MELISSA RUTH	
DATE: <u>06-12-2024</u> LA NO. <u>5425</u>			
REGISTRATION EXP.: May 31, 2025			
JOB# 24011			
IMPROVEMENT PLANS FOR COMMUNITY CENTER PARKING LOT EXPANSION			
BENCH MARK: ELEVATION: <u>69.205</u> DATUM: <u>NAVD88</u> DESCRIPTION: L-24 3 1/2" USC&GS BRASS DISK STAMPED "A1046 1959" IN CONCRETE HEADWALL CENTER LINE OF EAST-WEST CANAL 30'± NORTH OF ROAD 24A AND 30'± WEST OF CENTER LINE OF EAST STREET IN WOODLAND CA.			
CITY OF WOODLAND APPROVED BY: _____ BRENT MEYER – CITY ENGINEER RCE# 52587 DATE: _____			
SCALE: HORIZ. <u>PER PLANS</u> VERT. <u>PER PLANS</u> DATE: <u>11-19-2024</u>			
DESIGNED BY AM			
DRAWN BY OP			
REVIEWED BY MR			
FILE: 24011_PL.dwg			
REVISIONS			
NO.	DESCRIPTION	BY APPR.	DATE DATE
PL-1 PLANTING PLAN			
SHEET 18		OF 31	



PARKING LOT SHADE CALCULATIONS

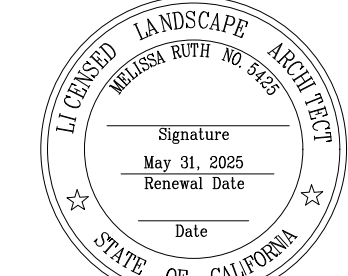
Tree	100%	75%	50%	25%
35'-0" Diameter	7(962 SF) = 6,734 SF	0(722 SF) = 0 SF	7(481 SF)= 3,367 SF	1(240) SF = 240 SF
30'-0" Diameter	0(706 SF) = 0 SF	0(530 SF) = 0 SF	2(353 SF)= 706 SF	1(176) SF = 176 SF
25'-0" Diameter	5(491 SF) = 2,455 SF	8(368 SF) = 2,944 SF	2(246 SF)= 492 SF	0(123) SF = 0 SF
Total Proposed Canopy Cover (A)				16,478 SF
Total Existing Canopy Cover (B)				1,944 SF
Total Overall Canopy Cover (A+B)				18,422 SF
Total Paved Area (Parking Lots): 34,793 SF				
Paved Area Required to be Shaded: 34793 SF X 50% = 17,397 SF				
Percentage of Shade Provided: 18422 SF / 34,793 SF = 53%				

FOR PLANTING LEGEND, PLANTING NOTES AND PLANT SCHEDULE, SEE SHEET PL-1





12150 Tributary Point Drive,
Suite 140
Gold River, CA 95670
T 916.985.4366
www.callanderassociates.com



LANDSCAPE ARCHITECT'S SIGNATURE
BY: _____
MELISSA RUTH
DATE: 06-12-2024 LA NO. 5425
REGISTRATION EXP.: May 31, 2025

JOB# 24011

**IMPROVEMENT PLANS
FOR
COMMUNITY CENTER
PARKING LOT
EXPANSION**

BENCH MARK:
ELEVATION: 69.205 DATUM: NAVD88
DESCRIPTION: L-24
3 1/2" USC&GS BRASS DISK STAMPED "A1046
1959" IN CONCRETE HEADWALL CENTER LINE
OF EAST-WEST CANAL 30'± NORTH OF ROAD
24A AND 30'± WEST OF CENTER LINE OF EAST
STREET IN WOODLAND CA.

CITY OF WOODLAND
APPROVED BY: _____
BRENT MEYER - CITY ENGINEER
RCE# 52587
DATE: _____

SCALE:
HORIZ. PER PLANS VERT. PER PLANS
DATE: 11-19-2024

DESIGNED BY AM
DRAWN BY OP
REVIEWED BY MR
FILE: 24011_PL.dwg

REVISIONS			
NO.	DESCRIPTION	BY APPR.	DATE

PL-2
PLANTING PLAN
SHEET 19 OF 31



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: F.7
SUBJECT: Resolution Accepting the Offsite Improvements for Subdivision Final Map 5121, Prudler Phase 2

Recommendation for Action: Staff recommends the City Council adopt Resolution No. _____, accepting the offsite improvements for Subdivision Final Map 5121, Prudler Phase 2.

Staff Contact:

Kendall Walker, Engineering Technician - (530) 661-5907, kendall.walker@cityofwoodland.gov

Fiscal Impact:

The public improvements constructed with these maps add 37,385 square feet of new public landscaping and new streetlights along East Street, with an estimated annual operating cost of \$66,162 including maintenance and water use. This additional landscaping is within the boundaries of, and will be maintained, by the Prudler Services District (CFD No. 2022-1). These costs were anticipated during the formation of the CFD and will be included in the proposed annual assessments, which are typically presented to Council in May each year.

The Governmental Accounting Standards Board Statement 34 (GASB 34) requires state and local governments to include valuation and depreciation information on public infrastructure assets for accounting purposes and financial reports. The total cost of public infrastructure in the GASB34 categories that the City will acquire with these subdivisions is shown below.

Est. GASB34 category	Prudler Phase 2 Offsites
Road	\$1,356,775
Water	\$37,600
Sewer	\$0
Storm Drain	\$93,390

Background:

On September 6, 2016, the City Council approved Tentative Map (No. 4856) Prudler Subdivision and the associated Development Agreement. The map consisted of 183 single-family lots. On March 1, 2022, the City Council approved Final Subdivision Map (SM) No. 5121 Prudler Phase 2 and the associated Subdivision Improvement Agreement with Ag Essential Housing CA 1, L.P. and Lennar Homes of California, LLC.

The in-tract public improvements constructed for Subdivision 5121 (Prudler Phase 2) were accepted March 19, 2024. Prudler Phase 2 was also required to complete certain offsite improvements to support their development. Those improvements included East Street road widening, intersection improvements at East Street and Sports Park Drive, and landscaping on the east side and center median along East Street from Sports Park Drive to the northern boundary of the property. The improvements were depicted in the plan set entitled "Offsite Civil Improvement Plans Prudler Subdivision - Phase 2 (Subdivision No. 5121)" which were approved by the City Engineer on May 5, 2021. As of February 12, 2025, Lennar Homes has completed the infrastructure improvements

associated with this plan, set to the satisfaction of the City Engineer, Public Works, and Community Development Departments.

Following Council acceptance, the City Clerk will file a Notice of Completion for the completed items initiating release of the developer's performance and payment securities for these improvements. The developer has provided warranty security to correct any defects identified during the warranty timeframe of one year following the filing of the Notice of Completion.

Discussion:

This is standard practice for obtaining infrastructure improvements for new subdivisions. The final map dedicated streets and public utility easements to the City. The work is designed to City Standard Specifications and the improvements are inspected by the City during construction.

This action will accept only the offsite improvements associated with Prudler Phase 2 (East Street). At this time, all other developer-obligated improvements have been completed and accepted.

Conclusion:

Staff recommends that the City Council adopt Resolution No. _____, accepting the offsite improvements for Subdivision Final Map 5121, Prudler Phase 2.

Prepared by: Kendall Walker, Engineering Technician

Reviewed by: Brent Meyer, Community Development Director / City Engineer



Ken Hiatt
City Manager

Attachments:

1. Proposed Resolution - Accept SM 5121 Phase 2 Offsites
2. Location Map

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WOODLAND
ACCEPTING THE OFFSITE IMPROVEMENTS FOR SUBDIVISION FINAL MAP 5121
PRUDLER PHASE 2 BY LENNAR HOMES OF CALIFORNIA, LLC
AND AG ESSENTIAL HOUSING CA 1, L.P.**

WHEREAS, On September 6, 2016, the City Council approved Tentative Map No. 4856 Prudler Subdivision for 183 single family lots and associated Development Agreement; and

WHEREAS, on, March 1, 2022, the City Council approved the final map for Subdivision No. 5121 Prudler Phase 2 which created 98 single family lots ("Map"); and

WHEREAS, the conditions of approval for the Map required the subdivider, Lennar Homes of California, LLC and the owner, Ag Essential Housing CA 1, L.P., to enter into a Subdivision Improvement Agreement calling for the construction of infrastructure necessary to serve the development permitted by this Map (collectively, the "Improvements"), and furnish bonds or other securities to ensure the timely completion of the Improvements; and

WHEREAS, Lennar Homes of California, LLC has completed the Improvements associated with the offsite improvements for Phase 2 (East Street). At this time, all other developer-obligated improvements have been completed and accepted.

WHEREAS, Lennar Homes of California, LLC has previously furnished a bond for Subdivision 5121 identified as Bond No. 30122426 and issued by The Continental Insurance Company as surety ("Bond"), securing the completion of the Improvements; and

WHEREAS, the Subdivision Map Act and the Woodland Municipal Code require the City to accept subdivision improvements which have been completed; and

WHEREAS, Lennar Homes of California, LLC has requested that the City accept those Improvements that have been completed.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Woodland as follows:

SECTION 1. The City Council hereby accepts those Improvements constructed for Subdivision 5121 Prudler Phase 2 offsites and as shown on the civil improvement plans entitled, " Offsite Civil Improvement Plans Prudler Subdivision - Phase 2 (Subdivision No. 5121) " approved by the City Engineer on May 5, 2021.

SECTION 2. The City Council hereby authorizes the City Clerk to file the Notice of Completion and release the developer's performance and payment securities for Subdivision No. 5121 Prudler Phase 2 as related to offsite improvements and as listed above.

SECTION 3. Through adoption of this resolution, the City of Woodland does not waive any of its rights, or obligations of Lennar Homes of California, LLC, or any other entity, under the

conditions of approval for the Map, any associated development agreement, reimbursement agreement, participation agreement, or under any other document, ordinance or applicable law.

SECTION 4. The adoption of this resolution shall not be deemed to cure any breach by Lennar Homes of California, LLC or any other entity of its obligations under the Map or any other document, ordinance, or applicable law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Woodland at a regular meeting held on the 18th day of March, 2025 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN

Rich Lansburgh, Mayor

ATTEST:

APPROVED AS TO FORM:

Sarah Lansburgh, CMC, City Clerk

Ethan Walsh, City Attorney



Main Street

East Main Street

College Street

East Street

Bourne Drive

To Sacramento →

I-5

Gibson Road

PRUDLER PH 2
SM #5121

East Street
Frontage Improvements



East Gibson Road

Matmor Road

Harry Lorenzo Ave

Pioneer Avenue

Farmers Central Road

Sports Park Dr

HWY 113

→ To Davis

Hunt Street

Parkland Avenue

Heritage Parkway



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: F.8
SUBJECT: Waiver of Second Reading and Adoption of an Ordinance Amending the Boundaries of City Council Election Districts 2 and 3 to Include Annexed Territories

Recommendation for Action: Staff recommends the City Council waive the second reading and adopt Ordinance No. _____, amending the boundaries of City Council Election Districts 2 and 3 to include annexed territories.

Staff Contact:

Sarah Lansburgh, CMC, City Clerk, (530) 661-5806, sarah.lansburgh@cityofwoodland.gov

Discussion:

At its February 18, 2025 meeting, the City Council introduced and waived the first reading of an Ordinance to amend the boundaries of City Council Election Districts 2 and 3 to include annexed territories, and replace and supersede the district boundaries established by City Council Ordinance No. 1721.

On September 26, 2024, the Yolo Local Agency Formation Commission (LAFCo) adopted Resolution 24-11, approving the PIRMI and Sports Park reorganization to the City, initiating conducting authority proceedings and set October 31, 2024 as the date of the protest hearing. A public hearing was conducted where all interested persons, organizations and agencies had the opportunity to present objections. At the close of the hearing, LAFCo as the Conducting Authority, adopted Resolution 24-12 and ordered the reorganization of the PIRMI and Sports Park areas to the City.

The City Council typically establishes where district lines will be drawn every 10 years based on the latest U.S. Census and the requirements of State law. Between these regular 10-year updates, changes to district boundaries are typically not allowed under the State Elections Code. However, Elections Code Section 21603(a) provides that if "...the boundaries of a city expand by the addition of new territory, including through annexation of unincorporated territory or consolidation with another city, the council shall add that new territory to the nearest existing council district without changing the boundaries of other council district boundaries".

The recently annexed territories into the City limits will become a part of Districts 2 and 3.

The Sports Park territory being added to District 2 consists of approximately 40 acres located east of the existing Community Center and Sports Park property, just south of Sports Park Drive. State Route 113 runs southwest to northeast near the Sports Park Annexation Area eastern boundary.

The PIMRI territory being added to District 3 consists of approximately 76.43 acres located on the northwest corner of Kentucky Avenue and East Street, just south of Interstate 5. Interstate 5 serves as the PIRMI Annexation Area's northern perimeter and East Street as the eastern perimeter, also running adjacent to Union Pacific Railroad tracks.

Conclusion:

Staff recommends the City Council waive the second reading and adopt Ordinance No. _____, amending the boundaries of City Council Election Districts 2 and 3 to include annexed territories.



Ken Hiatt
City Manager

Attachments:

1. Proposed Ordinance - Revised District Map to Include Annexed Territories 2nd Reading
2. Exhibit A - AnnexationAreasNov2024
3. Certificate of Completion-LAFCo24-01 11.19.24

ORDINANCE NO. _____

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
WOODLAND, CALIFORNIA ADJUSTING THE BOUNDARIES OF CITY
COUNCIL ELECTION DISTRICTS TO INCLUDE ANNEXED
TERRITORIES, AS REFLECTED IN THE ATTACHED MAP**

WHEREAS, Elections Code section 21603(a) provides that if “the boundaries of a city expand by the addition of new territory, including through annexation of unincorporated territory or consolidation with another city, the council shall add that new territory to the nearest existing council district without changing the boundaries of other council district boundaries”; and

WHEREAS, the City recently annexed territory that will become a part of Districts 2 and 3;
and

WHEREAS, the City desires to amend the boundaries and the map in accordance with Election Code section 21603(a).

NOW THEREFORE BE IT RESOLVED the City Council of the City of Woodland does hereby ordain as follows:

SECTION 1. The City Council hereby designates the territories annexed by the Yolo Local Agency Formation Commission Resolution 24-12 to the City to Districts 2 and 3, as depicted in Exhibit A, attached hereto and incorporated herein by this reference.

SECTION 2. Section 1.16.110 of the Woodland Municipal Code is hereby amended in its entirety to read as follows:

“§ 1.16.110 Boundaries and numbering of each district.

Descriptions of the boundaries of each district and their numbering are as shown on the attached Exhibit A of Ordinance No. _____ along with a map entitled "City of Woodland District Map," a copy of which shall be on file in the City Clerk's office.”

SECTION 3. The district boundaries established as set forth in Exhibit A shall replace and supersede the district boundaries established by City Council Ordinance No. 1721.

SECTION 4. The City Manager is directed to take all necessary steps to give effect to this Ordinance. If necessary to facilitate the implementation of this Ordinance, the City Manager or his or her designee is authorized to make technical adjustments to the election district boundaries that do not substantively affect the populations in the districts, the eligibility of candidates, or the residence of elected officials within any district. The City Manager shall consult with the City Attorney concerning any technical adjustments deemed necessary and shall advise the City Council of any such adjustments required.

SECTION 5. The City Clerk is hereby directed to provide a certified copy of this Ordinance to the Yolo County Registrar of Voters for use in subsequent Woodland City Council elections.

SECTION 6. If any section, subsection, subdivision, sentence, or clause or phrase in this Ordinance or any part thereof is for any reason held to be unconstitutional, invalid or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of this Ordinance or any part thereof. The City Council hereby declares that it would have adopted each section irrespective of the fact that any one or more subsections, subdivisions, sentences, clauses, or phrases are declared unconstitutional, invalid, or ineffective.

SECTION 7. This Ordinance shall become effective thirty (30) days from its adoption.

SECTION 8. The City Clerk shall certify the adoption of this Ordinance and cause it, or a summary of it, to be published in a newspaper of general circulation printed and published within the City of Woodland, pursuant to all legal requirements.

INTRODUCED at a regular meeting of the City Council held on the 18th day of February 2025 and **PASSED AND ADOPTED** by the City Council of the City of Woodland at a regular meeting held on the 18th day of March 2025 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Rich Lansburgh, Mayor

ATTEST:

APPROVED AS TO FORM:

Sarah Lansburgh, CMC, City Clerk

Ethan Walsh, City Attorney

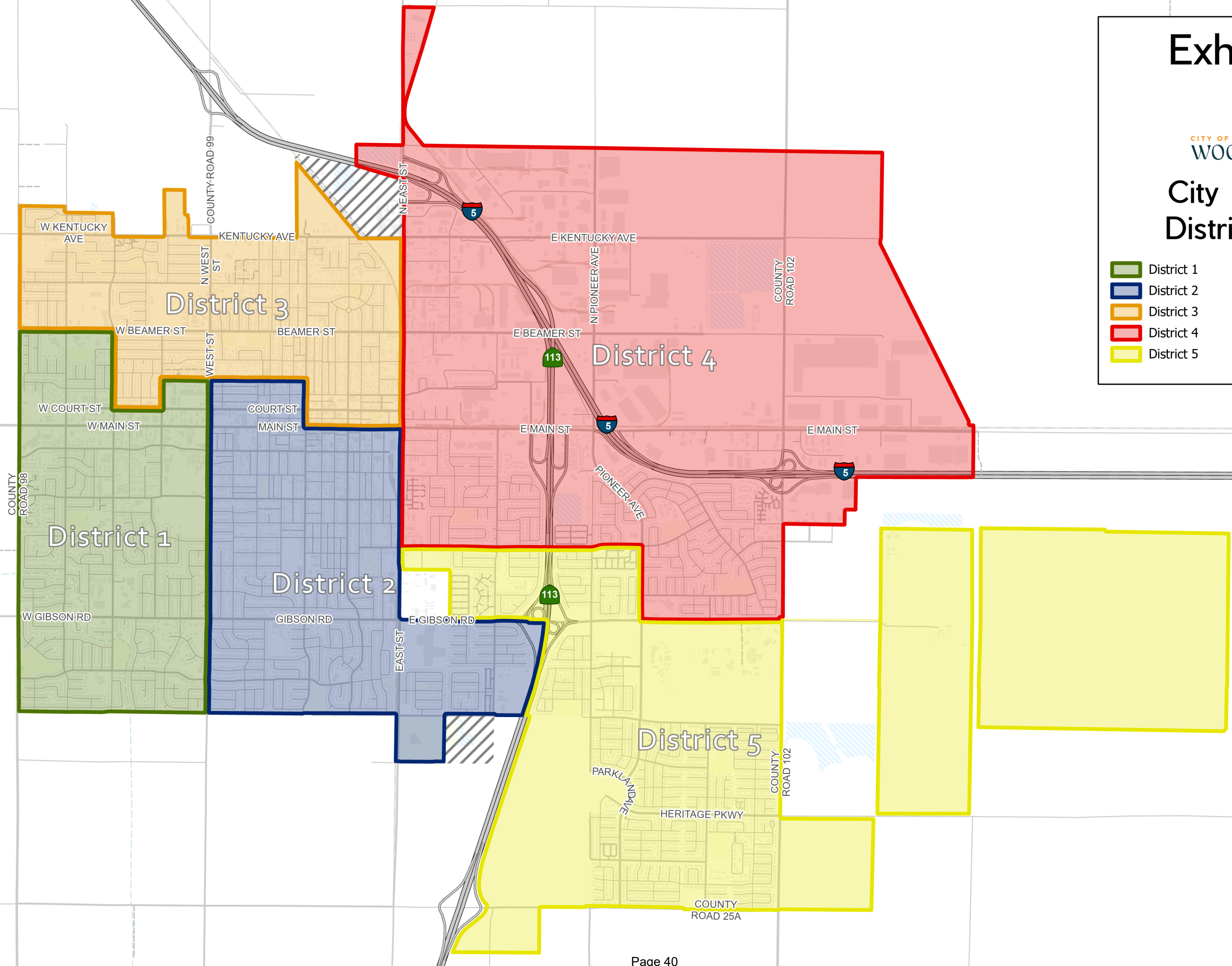
EXHIBIT A

Exhibit A



City Council District Map

-  District 1
 -  District 2
 -  District 3
 -  District 4
 -  District 5
-  Annexed Area - 11/24/2024





2024-0021035

Yolo County Clerk-Recorder
Jesse Salinas

Tuesday, Nov 19, 2024 02:26:57 PM

RECORDING REQUESTED BY:
Yolo Local Agency Formation Commission

WHEN RECORDED RETURN TO:

Yolo LAFCo
625 Court Street, Suite 107
Woodland CA 95695

Titles: 1

Pages: 15

Fees:

\$0.00

CA SB2 Fee:

\$0

Taxes:

\$0.00

Total:

\$0.00

YOLO LAFCO

CERTIFICATE OF COMPLETION

Pursuant to Government Code Section 57200, this Certificate is issued by the Executive Officer of the Local Agency Formation Commission of Yolo County, California.

1. The short-form designation, as determined by LAFCo: **PIRMI Area & Sports Park Reorganization to the City of Woodland (LAFCo № 24-01)**
2. The name of each district or city involved in this reorganization and the kind or type of change of organization ordered for each city or district are as follows:

City or District	Type of Reorganization
City of Woodland	Annexation
Springlake Fire Protection District	Detachment

3. The above listed district(s) are located within **Yolo County**.
4. A description of the boundaries of the above-cited change of organization is shown on the map and description attached to **Resolution 2024-11**, marked **Exhibit A**, and by reference incorporated herein.
5. The territory involved in this reorganization is **uninhabited**.
6. This annexation has been approved subject to the following findings and conditions, if any, as seen in **Resolution 2024-11**, adopted September 26, 2024.
7. The resolution ordering this annexation without election was adopted by the Yolo Local Agency Formation Commission on **October 31, 2024, by Resolution 2024-12**.

I hereby certify that I have examined the above-cited resolution(s), including any terms and conditions, and the map and description, and have found these documents to be in compliance with LAFCo Resolutions 2024-11, adopted September 26, 2024, and LAFCo Resolution 2024-12, adopted October 31, 2024.

Dated: November 20, 2024


Christine M. Crawford, AICP
LAFCo Executive Officer

**YOLO LOCAL AGENCY FORMATION COMMISSION
RESOLUTION № 2024-11**

**Approving the PIRMI and Sports Park Reorganization to the City of Woodland and
determining no further environmental review is needed under the
California Environmental Quality Act (CEQA) (LAFCo № 24-01)**

WHEREAS, on August 9, 2024, the City of Woodland submitted an application to the Yolo Local Agency Formation Commission (LAFCo) for a reorganization of three areas totaling 144 +/- acres on the periphery of the City of Woodland (City); and

WHEREAS, the application was subsequently amended to remove the "Westucky and Barnard" area because it did not meet the definition of "contiguous" per Government Code Section 56031(b);

WHEREAS, the amended application includes an annexation of the "PIRMI" (Pacific International Rice Mills) area (88 +/- acres) Assessor's Parcel Numbers (APNs): 027-340-005, 027-340-008, 027-340-010; 027-340-020; 027-340-022; 027-340-027; 027-340-033; 027-340-034; 027-340-035; 027-340-037; 027-340-038; 027-340-039; and of the "Sports Park" area (40 +/- acres) APN 041-080-002 ("subject territory") to the City of Woodland and a concurrent detachment of the subject territory from the Springlake Fire Protection District; and

WHEREAS, the City initiated the application via Resolution No. 8172 adopted on November 7, 2023, pursuant to Section 56654 of the Government Code; and

WHEREAS, the proposal is subject to a negotiated tax exchange per Revenue and Taxation Code Section 99 which was approved by the Yolo County Board of Supervisors (Agreement No. 22-251) and the City of Woodland (Agreement No. 23-01), filed on February 1, 2023; and

WHEREAS, the project was routed to all subject, affected, and interested agencies on July 22, 2024 and public notices were mailed to all landowners and registered voters within 300 feet and published in the Woodland Daily Democrat on September 4, 2024; and

WHEREAS, the project was analyzed in accordance with all applicable sections of the Cortese-Knox-Hertzberg Act, Yolo LAFCo Standards of Evaluation and Agricultural Policy, and all other matters presented as prescribed by law; and

WHEREAS, the Executive Officer reviewed the proposal and prepared and filed a report with recommendations with this Commission at least five (5) days prior to the date of the September 26, 2024, meeting during which the project was set to be considered; and

WHEREAS, an opportunity was given to all interested persons, organizations, and agencies to present oral or written testimony, protests, objections, and any other information concerning the proposal and all related matters; and

WHEREAS, at said meeting, the Commission reviewed and considered the California Environmental Quality Act (CEQA) documentation and the Executive Officer's Report including all the information, recommendations, findings, and conditions contained therein.

NOW, THEREFORE, BE IT RESOLVED that the Yolo Local Agency Formation Commission approves the PIRMI and Sports Park Reorganization to the City of Woodland (LAFCo No. 24-01), consisting of (1) Annexation to the City; and (2) Concurrent detachment from the Springlake Fire Protection District

of APNs 027-340-005, 027-340-008, 027-340-010; 027-340-020; 027-340-022; 027-340-027; 027-340-033; 027-340-034; 027-340-035; 027-340-037; 027-340-038; 027-340-039; and APN 041-080-002, as illustrated in Exhibit A, subject to the following findings and conditions of approval. The Executive Officer is directed to file a CEQA Notice of Determination and set the conducting authority protest proceeding on this reorganization.

Findings

CEQA Findings

1. **Finding:** No further environmental review is required under CEQA for the PIRMI and Sports Park Reorganization to the City of Woodland (LAFCo № 24-01) pursuant to CEQA Guidelines Section 15183, which applies to projects consistent with the development density established by existing General Plan policies for which an EIR was certified and there are no project-specific significant effects which are particular to the project or the site.

Evidence: The Woodland City Council approved pre-zoning for the subject territory on November 7, 2023, and determined the Project was not subject to further CEQA environmental review pursuant to Guidelines Section 15183. Yolo LAFCo's CEQA review as a Responsible Agency is more limited than a Lead Agency. Pursuant to CEQA Guidelines Section 15096, Yolo LAFCo has considered the determination by the City of Woodland and has determined that it is acceptable and legally adequate for use by Yolo LAFCo. The proposed annexations are consistent with the development type and density established by existing land use designations under the City of Woodland General Plan policies for which the City certified an EIR in 2017 ("2035 General Plan and CAP EIR").

When Yolo LAFCo prepared a Municipal Service Review and expanded the City's Sphere of Influence to match the Urban Limit Line (ULL), LAFCo disclosed that future annexation would result in the loss of prime agricultural land. The City's 2035 General Plan EIR mitigates for this loss in a manner that is consistent with LAFCo policies, and LAFCo concluded that this loss was significant and unavoidable (Yolo LAFCo Resolution No. 2018-10 adopted on January 24, 2019). Annexation does not result in any additional impacts that were not already disclosed.

No new significant impacts specifically related to the proposed annexations or annexation areas are anticipated that were not otherwise identified under the 2035 General Plan and CAP EIR. There would not be potentially significant off-site and/or cumulative impacts that the 2035 General Plan and CAP EIR failed to evaluate. There is no substantial new information that would result in more severe impacts than anticipated by the 2035 General Plan and CAP EIR.

The proposed annexations would be subject to uniformly applied policies, regulations, and development standards that implement the 2035 General Plan, as applicable to any future development located within the annexation areas. Where the 2035 General Plan includes policies and implementation programs developed for the purposes of minimizing and avoiding environmental impacts and that would not be otherwise enforced through existing regulations, the City would enforce implementation of such policies and implementation programs through Conditions of Approval. Therefore, no further review is required for the project pursuant to CEQA Guidelines Section 15183.

Project Findings

2. Finding: The reorganization proposal was considered and analyzed in accordance with the required factors listed in Government Code Section 56668 and Yolo LAFCo Standards of Evaluation for proposals (Yolo LAFCo Project Policies Section 2.0).

Evidence: The proposed annexation area is within the City's sphere of influence (SOI) and is a logical and orderly extension of the City's urban area. The annexation areas either already have City services/utilities or will need them, and the City has the capacity and is the appropriate agency to provide services. The subject territory is mostly surrounded by existing city jurisdiction and the proposal does not create any "islands" or corridors of unincorporated territory. Both annexation areas are not identified for growth in the June 2024 Land Use Assumptions adopted by SACOG for the regional transportation plan. However, both areas are already mostly developed and are consistent with the City's 2035 General Plan land use designations. The City of Woodland has pre-zoned the PIRMI area as Industrial (I)/Light Industrial Flex Overlay (IF) and Public/Quasi-Public (PQP) with Light Industrial Flex Overlay (IF) with one 8.75-acre parcel designated as Flood Study Area (FSA). The Sports Park parcel is pre-zoned Public/Quasi Public (PQP) consistent with its General Plan and the existing surrounding uses.

The PIRMI area is already developed with industrial uses, and the annexation area is disturbed with no agricultural land remaining. The Sports Park parcel is partially developed (approximately 1/3rd) with sports fields and the rear portion is undeveloped with agricultural uses. The loss of agricultural land (approximately 20 acres of Prime Farmland) for the future development of the remainder of the parcel was determined to be significant and unavoidable because much of Yolo County contains fertile agricultural soils, it is difficult to expand the City's footprint without impacting agricultural land. However, the City's ULL preempts any uncontrolled sprawl.

The City exempts public facilities from agricultural mitigation requirements (and the County's mitigation ordinance does as well). Yolo LAFCo Project Policy 4.13 provides "that, in the case of proposals that are undertaken exclusively for the benefit of a public agency, the Commission should review the applicability of the mitigation requirements set forth in this Policy on a case-by-case basis to determine the appropriateness of requiring mitigation in any particular case." Staff recommends mitigation not be required for this portion of the Sports Park parcel because the City does not have a practical option to locate elsewhere, impacts are not growth inducing, a Statement of Overriding Considerations has already been adopted for this impact, the City does not have additional funding to mitigate this impact which would reduce public facilities, and the public good is served by the Sports Park project. Therefore, the proposal is consistent with Yolo LAFCo's Agricultural Conservation Policy.

The City's 2035 General Plan and CAP EIR analyzed the capacity and availability of public services and utilities and concluded that the City has the capacity to serve the project. Because the territory will be zoned Industrial and Public/Quasi Public, it will not affect the City in achieving its regional housing needs. The proposal boundary does not exclude any existing communities that should be provided equal access to municipal services. The proposal area is not identified as a "very high fire hazard zone". The City and County have approved a property tax exchange agreement. For all these reasons, staff recommends that the annexation proposal complies with required state factors and local standards of evaluation.

3. Finding: The mitigation requirements of Yolo LAFCo Project Policy 4.09 for the annexation of prime agricultural lands associated with the Sports Park are excused because the Project is undertaken exclusively for the benefit of a public agency and meets the factors identified in Policy 4.13.

Evidence: The Project includes the annexation of approximately 20 acres of prime agricultural lands, representing approximately half of the Sports Park parcel. Yolo LAFCo Project Policy 4.09 generally requires the preservation of an acre of farmland for each acre of prime farmland annexed into the City. However, Policy 4.13 provides “that, in the case of proposals that are undertaken exclusively for the benefit of a public agency, the Commission should review the applicability of the mitigation requirements set forth in this Policy on a case-by-case basis to determine the appropriateness of requiring mitigation in any particular case.” In making this determination, the Commission considered the following factors:

- The City does not have a practical option to locate the Sports Park on non-prime or less prime agricultural land.
- The City's ULL limits the potential for further sprawl, and annexation of the Sports Park parcel does not have growth inducing impacts.
- The Sports Park project is exempt from the City's mitigation requirements. Similarly, had the project been undertaken in the unincorporated area, the project would have been exempt from the County's mitigation ordinance as well. See Yolo County Code of Ordinances § 8-2.404(c)(2)(ii).
- The 2035 General Plan and Climate Action Plan (CAP) EIR (pages 6-13 and 6-14) (City of Woodland 2016) determined that new development throughout the region would convert agricultural land, including Important Farmland, to nonagricultural uses resulting in a significant cumulative impact. New development envisioned by the 2035 General Plan would convert all the farmland in the Planning Area to non-agricultural uses (see Table 6-5 of the 2035 General Plan and CAP EIR). Therefore, the City analyzed the loss of agricultural land associated with implementation of the General Plan including the Sports Park project and determined that there was no feasible mitigation and that the impact was significant and unavoidable. The City adopted a Statement of Overriding Considerations for this impact, and LAFCo concluded that this loss was significant and unavoidable (Yolo LAFCo Resolution No. 2018-10 adopted on January 24, 2019).
- The City does not have funding available for the acquisition of farmland conservation easements, and imposing LAFCo's mitigation requirement would reduce the funding available for the recreational facilities associated with the project.
- The Sports Park project is necessary to meet the City's immediate needs for increased park and recreational space.
- The public good served by the Sports Park project, including enhanced recreational opportunities for children and adults, outweighs the purposes served by LAFCo Policy 4.09.

Conditions of Approval

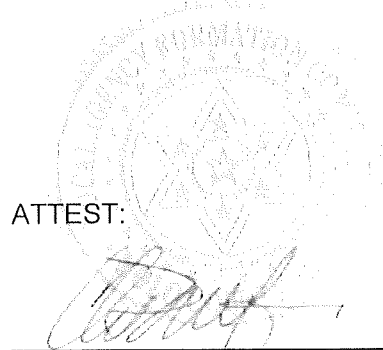
1. The applicant and the real party of interest, if different, agree to defend, indemnify, hold harmless and release the Yolo Local Agency Formation Commission, its agents, officers, attorney and employees from any claim, action or proceeding brought against any of them, the purpose of which to attack, set aside, void, or annul the approval of this application or adoption of the environmental review which accompanies it. This indemnification obligation shall include, but not be limited to, damages, costs, expenses, attorney fees, or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with

the approval of this application, whether or not there is concurrent passive negligence of the part of the Yolo Local Agency Formation Commission its agents, officers, attorney or employees.

2. The project will be subject to all appropriate LAFCo, State Board of Equalization, and County Clerk-Recorder fees prior to recording the Certificate of Completion for the PIRMI and Sports Park Reorganization to the City of Woodland (LAFCo № 24-01).
3. Provided the thresholds for a protest are not met, the Executive Officer shall record a Certificate of Completion with the County Recorder.
4. The effective date of the approval of this annexation will be 5 days after the date the Certificate of Completion is recorded by the County Recorder.

PASSED AND ADOPTED by the Yolo Local Agency Formation Commission, State of California, this 26th day of September 2024, by the following vote.

AYES: *Frerichs, Garcia-Cadena(A), Miller, Villegas, Biasi*
NOES: *None*
ABSENT: *None*



Bill Biasi

Bill Biasi, Chair
Yolo Local Agency Formation Commission

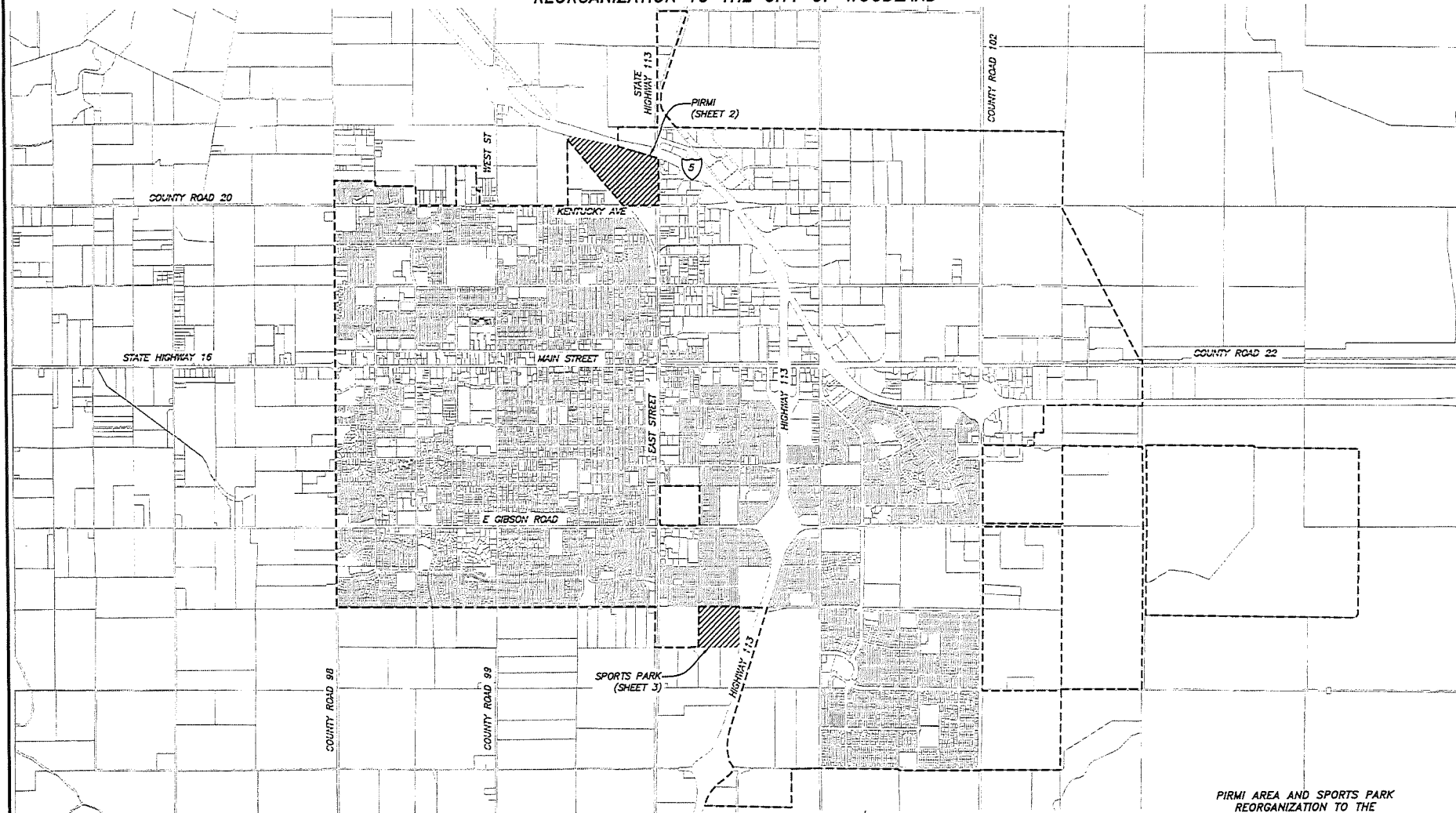
ATTEST:

Christine Crawford
Christine Crawford, Executive Officer
Yolo Local Agency Formation Commission

Approved as to form:

Eric May
Eric May, Commission Counsel

PIRMI AREA AND SPORTS PARK REORGANIZATION TO THE CITY OF WOODLAND



NOTES:

1. THIS MAP WAS CREATED FOR THE PURPOSE OF DEFINING NEW CITY OF WOODLAND BOUNDARIES. THE EXTERIOR BOUNDARY OF THE ANNEXATION AREAS SHOWN HEREON WERE NOT SURVEYED AND PLOTTED FROM RECORD INFORMATION.
2. PIRMI AREA ENCOMPASSING 87.987 ACRES, SPORTS PARK AREA ENCOMPASSING 40.043 ACRES, FOR A COMBINED TOTAL OF 128.030 ACRES, MORE OR LESS.

LEGEND:

----- EXISTING WOODLAND CITY LIMITS

APPROVED BY LAFCO
LAFCO PROCEEDING NO.

Paul Pursi 9/27/24
CHAIRMAN DATE



0 1000 2000 4000
LM
SCALE: 1"=2000'



PIRMI AREA AND SPORTS PARK
REORGANIZATION TO THE
CITY OF WOODLAND

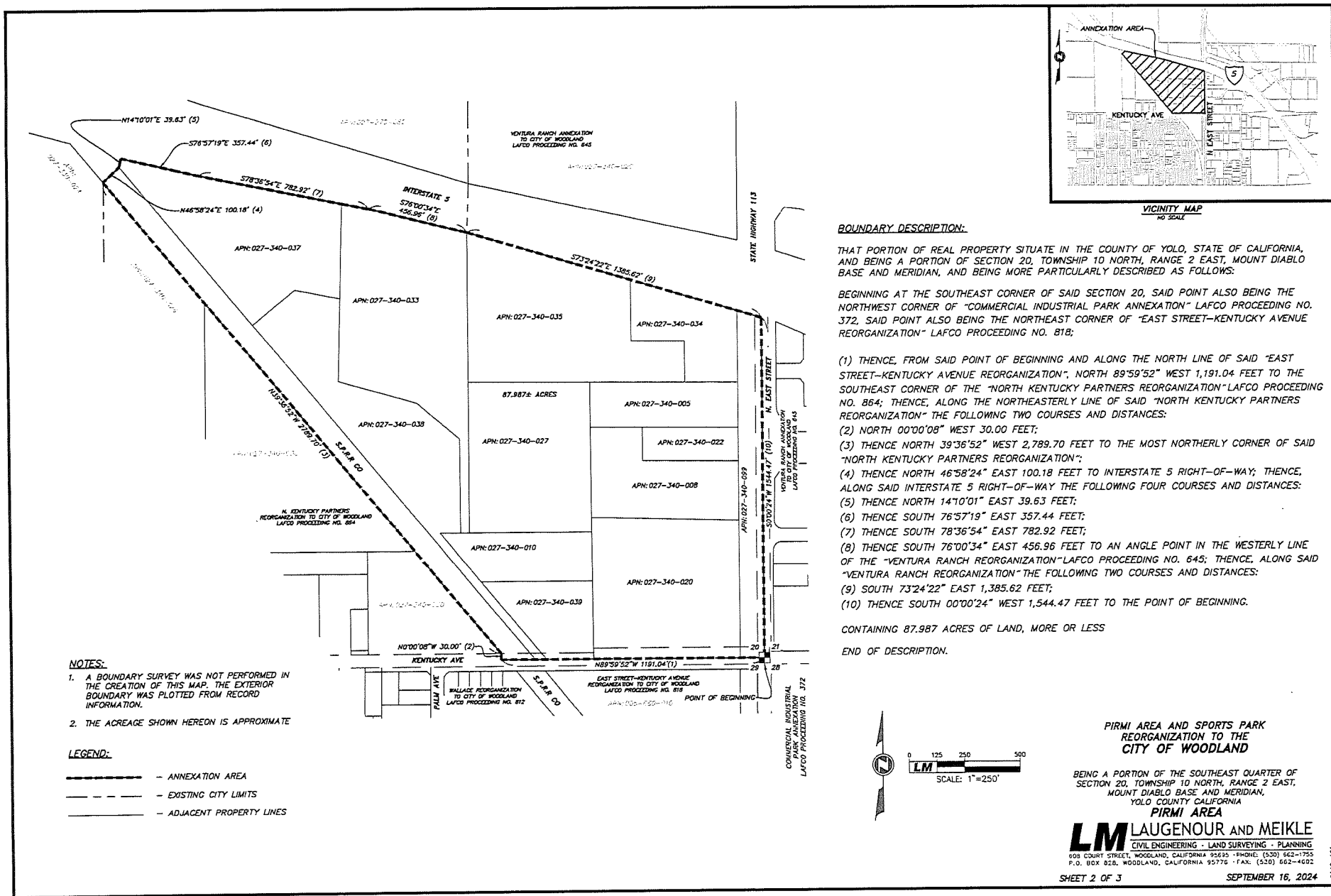
YOLO COUNTY CALIFORNIA
KEY MAP

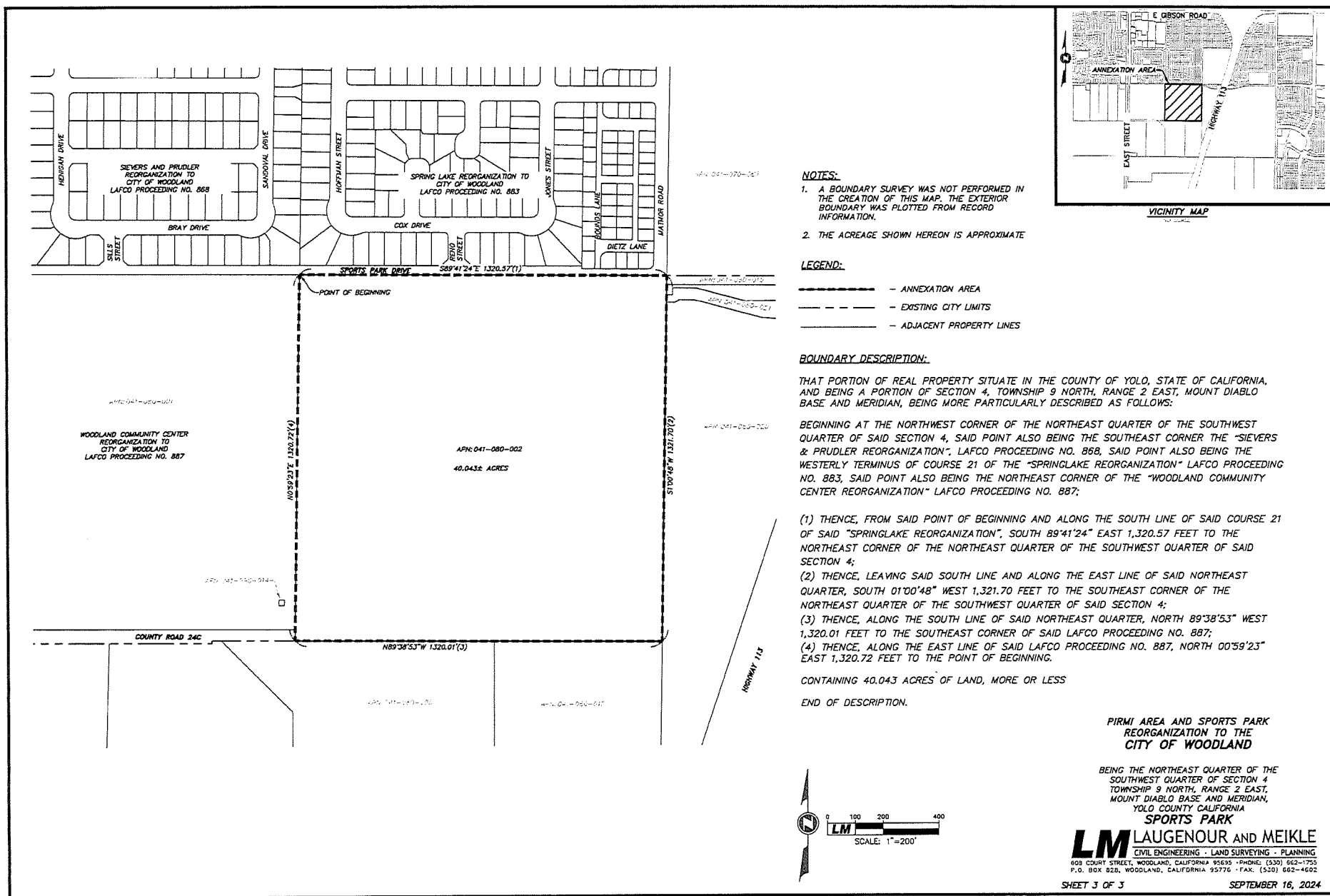
LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING • LAND SURVEYING • PLANNING
608 COURT STREET, WOODLAND, CALIFORNIA 95695 • PHONE: (930) 662-1755
P.O. BOX 828, WOODLAND, CALIFORNIA 95776 • FAX: (930) 662-4602

SHEET 1 OF 3

SEPTEMBER 16, 2024

P419-161





NOTES:

1. A BOUNDARY SURVEY WAS NOT PERFORMED IN THE CREATION OF THIS MAP. THE EXTERIOR BOUNDARY WAS PLOTTED FROM RECORD INFORMATION.
2. THE ACREAGE SHOWN HEREON IS APPROXIMATE

LEGEND:

- ANNEXATION AREA
- - - EXISTING CITY LIMITS
- ADJACENT PROPERTY LINES

BOUNDARY DESCRIPTION:

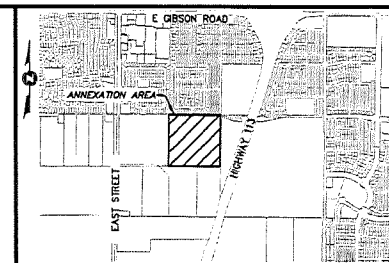
THAT PORTION OF REAL PROPERTY SITUATE IN THE COUNTY OF YOLO, STATE OF CALIFORNIA, AND BEING A PORTION OF SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, MOUNT DIABLO BASE AND MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4, SAID POINT ALSO BEING THE SOUTHEAST CORNER THE "SEIERS & PRUDLER REORGANIZATION", LAFCO PROCEEDING NO. 868, SAID POINT ALSO BEING THE WESTERLY TERMINUS OF COURSE 21 OF THE "SPRINGLAKE REORGANIZATION" LAFCO PROCEEDING NO. 883, SAID POINT ALSO BEING THE NORTHEAST CORNER OF THE "WOODLAND COMMUNITY CENTER REORGANIZATION" LAFCO PROCEEDING NO. 887;

- (1) THENCE, FROM SAID POINT OF BEGINNING AND ALONG THE SOUTH LINE OF SAID COURSE 21 OF SAID "SPRINGLAKE REORGANIZATION", SOUTH 89°41'24" EAST 1,320.57 FEET TO THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4;
- (2) THENCE, LEAVING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, SOUTH 01°00'48" WEST 1,321.70 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4;
- (3) THENCE, ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER, NORTH 89°38'53" WEST 1,320.01 FEET TO THE SOUTHEAST CORNER OF SAID LAFCO PROCEEDING NO. 887;
- (4) THENCE, ALONG THE EAST LINE OF SAID LAFCO PROCEEDING NO. 887, NORTH 00°59'23" EAST 1,320.72 FEET TO THE POINT OF BEGINNING.

CONTAINING 40.043 ACRES OF LAND, MORE OR LESS

END OF DESCRIPTION.



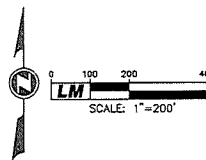
VICINITY MAP

PIRMI AREA AND SPORTS PARK
REORGANIZATION TO THE
CITY OF WOODLAND

BEING THE NORTHEAST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST,
MOUNT DIABLO BASE AND MERIDIAN,
YOLO COUNTY CALIFORNIA

SPORTS PARK

LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING • LAND SURVEYING • PLANNING
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SHEET 3 OF 3

SEPTEMBER 16, 2024

7449-161

**PIRMI AREA AND SPORTS PARK REORGANIZATION TO THE CITY OF
WOODLAND**

PIRMI AREA

THAT portion of real property situate in the County of Yolo, State of California, and being a portion of Section 20, Township 10 North, Range 2 East, Mount Diablo Base and Meridian, and being more particularly described as follows:

BEGINNING at the Southeast corner of said Section 20, said point also being the Northwest corner of "Commercial Industrial Park Annexation" LAFCO Proceeding No. 372, said point also being the Northeast corner of "East Street-Kentucky Avenue Reorganization" LAFCO Proceeding No. 818;

(1) thence, from said POINT OF BEGINNING and along the North line of said "East Street-Kentucky Avenue Reorganization", North 89°59'52" West 1,191.04 feet to the Southeast corner of the "North Kentucky Partners Reorganization" LAFCO Proceeding No. 864; thence, along the Northeasterly line of said "North Kentucky Partners Reorganization" the following two courses and distances:

(2) North 00°00'08" West 30.00 feet;

(3) thence North 39°36'52" West 2,789.70 feet to the most Northerly corner of said "North Kentucky Partners Reorganization";

(4) thence North 46°58'24" East 100.18 feet to Interstate 5 right-of-way; thence, along said Interstate 5 right-of-way the following four courses and distances:

(5) thence North 14°10'01" East 39.63 feet;

(6) thence South 76°57'19" East 357.44 feet;

(7) thence South 78°36'54" East 782.92 feet;

(8) thence South 76°00'34" East 456.96 feet to an angle point in the Westerly line of the "Ventura Ranch Reorganization" LAFCO Proceeding No. 645; thence, along said "Ventura Ranch Reorganization" the following two courses and distances:



A handwritten signature in black ink, appearing to be "MS" or similar, written over a horizontal line.

Matthew K. Souza

9-4-2024

Date

(9) South 73°24'22" East 1,385.62 feet;

(10) thence South 00°00'24" West 1,544.47 feet to the POINT OF BEGINNING.

Containing 87.987 acres of land, more or less.

End of description.

**PIRMI AREA AND SPORTS PARK REORGANIZATION TO THE CITY OF
WOODLAND**

SPORTS PARK

THAT portion of real property situate in the County of Yolo, State of California, and being a portion of Section 4, Township 9 North, Range 2 East, Mount Diablo Base and Meridian, being more particularly described as follows:

BEGINNING at the Northwest corner of the Northeast Quarter of the Southwest Quarter of said Section 4, said point also being the Southeast corner the "Sievers & Prudler Reorganization", LAFCO Proceeding No. 868, said point also being the Westerly terminus of Course 21 of the "Springlake Reorganization" LAFCO Proceeding No. 883, said point also being the Northeast corner of the "Woodland Community Center Reorganization" LAFCO Proceeding No. 887;

(1) thence, from said POINT OF BEGINNING and along the South line of said Course 21 of said "Springlake Reorganization", South $89^{\circ}41'24''$ East 1,320.57 feet to the Northeast corner of the Northeast Quarter of the Southwest Quarter of said Section 4;

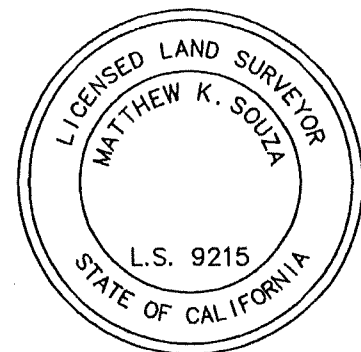
(2) thence, leaving said South line and along the East line of said Northeast Quarter, South $01^{\circ}00'48''$ West 1,321.70 feet to the Southeast corner of the Northeast Quarter of the Southwest Quarter of said Section 4;

(3) thence, along the South line of said Northeast Quarter, North $89^{\circ}38'53''$ West 1,320.01 feet to the Southeast corner of said LAFCO Proceeding No. 887;

(4) thence, along the East line of said LAFCO Proceeding No. 887, North $00^{\circ}59'23''$ East 1,320.72 feet to the POINT OF BEGINNING.

Containing 40.043 acres of land, more or less.

End of description.



A handwritten signature of Matthew K. Souza, consisting of stylized initials and a surname.

Matthew K. Souza

9-4-2024
Date

RESOLUTION № 2024-12

Conducting Authority Resolution Ordering the PIRMI Area and Sports Park Reorganization to the City of Woodland (LAFCo No. 24-01)

WHEREAS, the City initiated the application via Resolution No. 8172 adopted on November 7, 2023, pursuant to Section 56654 of the Government Code; and

WHEREAS, on August 9, 2024, the City of Woodland submitted an application to the Yolo Local Agency Formation Commission (LAFCo) for a reorganization of three areas totaling 144 +/- acres on the periphery of the City of Woodland (City); and

WHEREAS, the application was subsequently amended to remove the "Westucky and Barnard" area because it did not meet the definition of "contiguous" per Government Code Section 56031(b);

WHEREAS, the amended application includes an annexation of the "PIRMI" (Pacific International Rice Mills) area (88 +/- acres) Assessor's Parcel Numbers (APNs): 027-340-005, 027-340-008, 027-340-010; 027-340-020; 027-340-022; 027-340-027; 027-340-033; 027-340-034; 027-340-035; 027-340-037; 027-340-038; 027-340-039; and the two adjacent UPRR rights of way which have been assigned a portion of APN 027-340-099; and of the "Sports Park" area (40 +/- acres) APN 041-080-002 (collectively, "subject territory") to the City of Woodland and a concurrent detachment of the subject territory from the Springlake Fire Protection District; and

WHEREAS, the proposal is subject to a negotiated tax exchange per Revenue and Taxation Code Section 99 which was approved by the Yolo County Board of Supervisors (Agreement No. 22-251) and the City of Woodland (Agreement No. 23-01), filed on February 1, 2023; and

WHEREAS, the Executive Officer reviewed the proposal and prepared and filed a report with recommendations with this Commission at least five (5) days prior to LAFCo's September 26, 2024, meeting during which the project was set to be considered; and

WHEREAS, an opportunity was given to all interested persons, organizations, and agencies to present oral or written testimony, protests, objections, and any other information concerning the proposal and all related matters; and

WHEREAS, at said meeting, the Commission reviewed and considered the California Environmental Quality Act (CEQA) documentation and the Executive Officer's Report including all the information, recommendations, findings, and conditions contained therein; and

WHEREAS, on September 26, 2024, the Commission adopted Resolution 2024-11 approving the PIRMI Area and Sports Park Reorganization to the City of Woodland (LAFCo No. 24-01), initiating conducting authority proceedings and set October 31, 2024, as the date of the protest hearing date; and

WHEREAS, notices of the October 31, 2024 protest hearing were published in the Woodland Democrat on October 9, 2024, and mailed to all landowners of record within the affected territory plus a 300-foot radius; and

WHEREAS, Government Code §57000 et seq. designates the Commission as the Conducting Authority for protest proceedings; and

WHEREAS, on October 31, 2024, the Commission conducted a public hearing, summarized LAFCo Resolution 2024-11, and provided an opportunity to all interested persons, organizations, and agencies to present oral or written protests, objections, and any other information concerning the proposal and all related matters; and

WHEREAS, following the close of the protest hearing, the Commission determined the value of all valid written protests filed and not withdrawn.

NOW, THEREFORE, BE IT RESOLVED that the Yolo Local Agency Formation Commission, acting as the Conducting Authority for these proceedings, orders the PIRMI Area and Sports Park Reorganization to the City of Woodland (LAFCo No. 24-01), subject to the following findings and conditions of approval:

Finding

1. Finding: The number of the written protests of landowners filed and not withdrawn is less than 50 percent of the assessed value of land within the affected territory.

Evidence: Protest was received from landowners who own \$0.00 or 0% of the \$12,367,027 total assessed value of land in the affected territory.

Conditions of Approval

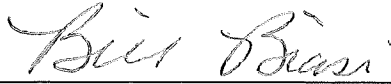
1. The applicant and the real party of interest, if different, agree to defend, indemnify, hold harmless and release the Yolo Local Agency Formation Commission, its agents, officers, attorney and employees from any claim, action or proceeding brought against any of them, the purpose of which to attack, set aside, void, or annul the approval of this application or adoption of the environmental review which accompanies it. This indemnification obligation shall include, but not be limited to, damages, costs, expenses, attorney fees, or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of this application, whether or not there is concurrent passive negligence of the part of the Yolo Local Agency Formation Commission its agents, officers, attorney or employees.
2. The project will be subject to all appropriate LAFCo, State Board of Equalization, and County Clerk-Recorder fees prior to recording the Certificate of Completion for the PIRMI Area and Sports Park Reorganization to the City of Woodland (LAFCo No 24-01).
3. The Executive Officer shall record a Certificate of Completion with the County Recorder.
4. The effective date of the approval of this annexation is five (5) days after the date the Certificate of Completion is recorded by the County Recorder.

PASSED AND ADOPTED by the Local Agency Formation Commission, County of Yolo, State of California, this 31st day of October 2024, by the following vote.

AYES: Frerichs, Miller, Partida, Villegas, Woods

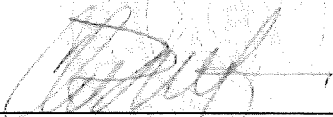
NOES: None

ABSENT: None



Bill Biasi, Chair
Yolo Local Agency Formation Commission

ATTEST:



Christine Crawford, Executive Officer
Yolo Local Agency Formation Commission

APPROVED AS TO FORM:



Eric May, Commission Counsel



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: G.9
SUBJECT: Public Art Installation at the new Area Aquatic Center

Recommendation for Action: Staff recommends the City Council direct staff to work with the Council ad-hoc Aquatic Center Subcommittee to analyze options and issue a Request for Qualifications (RFQ) for a public art installation on the entry wall of the new Aquatic Center.

Staff Contact:

Spencer Bowen, Communication & Strategic Policies Manager | (530) 661-5808,
spencer.bowen@cityofwoodland.gov

Fiscal Impact:

Cost for the public art installation will be determined by the ultimate scope and form of the project to be determined. Prior to final selection of the artwork, staff will return to Council with a contract for commissioning the design and installation of the project. Funding for the artwork will come from a combination of new Aquatic Center project funds CIP 19-18 and City Public Art Funds.

Background:

The new Woodland Aquatic Center, located adjacent to the Woodland Community and Senior Center, remains on schedule for completion before the end of 2025. Adjacent to the main facility entrance, a south-facing 17-foot-tall wall has been identified as a potential location for a painted or ceramic mural.



Discussion:

Staff recommends that the Council's ad-hoc Aquatic Center Subcommittee of Mayor Rich Lansburgh and Mayor Pro Tempore Tom Stallard work with staff to identify the desired budget and art medium for the selected wall. Once a direction has been specified, staff will prepare and issue a Request for Qualifications (RFQ) to which interested artists may respond. A review committee comprised of community members will be invited to assist in reviewing the RFQ's and the final design of the proposed art installation .

Conclusion:

Staff recommends the City Council direct staff to work with the ad-hoc Aquatic Center Subcommittee to analyze options and issue a Request for Qualifications (RFQ) for a public art installation on the entry wall of the new Aquatic Center.



Ken Hiatt
City Manager

Attachments:

None



TO: THE HONORABLE MAYOR AND CITY COUNCIL
AGENDA: City Council Regular Meeting
DATE: March 18, 2025
ITEM #: G.10
SUBJECT: Rotary Pavilion License Agreement at the Woodland Regional Park Preserve

Recommendation for Action: Staff recommends the City Council adopt Resolution No. _____, to approve the License Agreement between Woodland Sunrise Rotary Club and the City of Woodland for the construction of the Rotary Pavilion at the Woodland Regional Park Preserve.

Staff Contact:

Stephanie Burgos, Business Engagement & Resource Conservation (530) 661-5800,
stephanie.burgos@cityofwoodland.gov

Background:

The Woodland Regional Park Preserve (WRPP) is approximately 160 acres, located between Road 25A and Road 102 at the site of the former landfill, capped and retired in the 1980s. The Preserve has ecological significance and is home to over 20 different native plant species, including the federally listed endangered Palmate Bracted Birds Beak. Additionally, the WRPP's habitat, which consists of alkali prairie, grassland, valley foothill riparian, fresh emergent wetland, and lacustrine natural communities, lends itself to being a home base for resident and migratory birds such as the Swainson's hawk and white-tailed kite, among other wildlife.

In 2019, Woodland Sunrise Rotary Club (Rotary) became one of the founding partners in the City of Woodland's Woodland Regional Park Preserve Leadership Team and continues to be an active participant to date. The Leadership Team serves as an informal advisory committee to the City, meeting with the City and other Leadership Team members on a monthly basis, advising the City on a variety of topics pertaining to the preservation and conservation of the Preserve, educational opportunities on the site, community projects, and more.

In this first year of the WRPP Leadership Team, Woodland Sunrise Rotary approached the City with the concept of spearheading the efforts to raise funds towards the construction of The Rotary Pavilion (Pavilion), a covered observation deck on the west side of the Americans with Disabilities Act (ADA) accessible trail, overlooking the pond that would accommodate up to a maximum of 47 individual for the purpose of wildlife viewing, educational activities, and wellness activities at the WRPP. The City enthusiastically supported the idea for this future community amenity. The idea gained significant support from all Yolo County Rotary Clubs, generating a solid and unified support system for the advancement of this project. Initial seed money was donated from the Rotary to begin fundraising efforts, and an architect provided the first concept designs of the planned structure. Shortly thereafter, the pandemic hit, leading to a significant slowdown in the project and fundraising progress nearly halted between 2020-2022. Despite these challenges, the Rotary continued to be an active member in the Leadership Team monthly meetings, advising on other WRPP-specific projects.

Among these projects included the work leading up to the April 18, 2023 City Council approval of the WRPP Conservation Easement and site-management plan to ensure that the easement area would be forever retained and protected. In conjunction with these efforts, City of Woodland staff and the support from its partners, including the Rotary, were instrumental in helping move forward ongoing conservation management efforts as the City continued to complete infrastructural improvements in

preparation for the Park's grand opening to the public in Spring 2025. Infrastructural improvements since this time include: the installation of ten donor benches and placement of picnic tables, extensive gravel road repair of the entry road leading to the permanent parking area, the installation of a donated shed for maintenance supplies, post and cable fencing around the ADA path and parking area, extensive irrigation work, the installation of an artist fabricated park entry sign, and completion of the CR 102/25A traffic signal and crosswalk.

Concurrent with the Council approval of the Conservation Easement, the Rotary set forth anew and recommenced fundraising efforts, generating fresh interest and momentum in the project. From late 2023 to early 2024, enough funding was secured to seek out the development of architectural drawings. As the initial architect was no longer available, the Rotary contracted with a different local architect, Duane Thomson, who also shared Rotary's vision to design an accessible and functional observation deck at this unique nature site. Fundraising efforts successfully continued this year, thanks to the generosity of local organization and individual donors. In mid-2024, the City approached local business, Allweather Wood, who donated 100% of the lumber needed for this community project, amounting to roughly \$70,000 in material savings. With significant headway made with fundraising and the newly secured materials, Rotary contracted with a local construction company, Shellhammer Construction. Shellhammer joined the Rotary-City-Duane Thomson project team and generated interest from Berry Lumber to donate the hardware needed for the project, amounting to roughly \$5,000 in material savings.

Thanks to the enthusiasm from donors and sponsors, the Pavilion project, which has a total budget of approximately \$220,000, has been nearly funded. At this stage, approximately \$15,000 is needed to meet the funding goal to complete the project in its entirety. Regardless, the Rotary has the adequate funding to commence Phase 3 out of 5, which, once finalized, will take the Pavilion to 90% completion. Please see below for this project's phases and its current status.

- Phase 1 (complete): – Design: Development of 2023-24 Initial Engineering Plans + 2023-24 Final Engineering Plans.
- Phase 2 (complete): – Site reconnaissance and permitting: Soil testing and reports + City Building Permit.
- Phase 3 – Construction: Contract with Shellhammer Construction + procurement of lumber & hardware materials + Pavilion construction + Rotary sign installation + decking installation and decking sealant labor.
- Phase 4 – Sails installation: Contract with local sail company to procure and install sails upon completion of Phase 3.
- Phase 5 – Donor plaque installation: City to coordinate the creation and installation of a donor plaque on a large boulder placed by Pavilion.

Phase 3 of the project is underway, with the construction contract secured, lumber on order by Allweather Wood (expected arrival at the WRPP during the week of March 28th), and hardware secured. In addition to the Rotary's financial contribution and in-kind efforts to fundraise for this project, they will also donate their labor via the installation of the decking and application of the sealant in tandem with Shellhammer Construction. The installation of the Rotary Sign will also be completed during this phase.

Once the additional \$15,000 has been secured, the Rotary will be able to complete their portion of the project by contracting with a local shade sails company. Lastly, the City will coordinate the creation and installation of a donor plaque on a prominent boulder, showcased by the Pavilion.

Discussion:

To grant access to the Rotary for the construction of the Pavilion, the City and a License Agreement have been developed. Key provisions of this agreement are summarized below:

- **Grant of License:** The City grants Rotary temporary right to enter onto the Property for the purpose of constructing the Pavilion within the designated footprint, depicted in Attachment 3.
- **Construction:** Rotary shall design and construct the Pavilion at their sole cost, responsibility, and liability. The Pavilion shall be constructed in compliance with City-approved plans and permits and shall be subject to City Building department review upon completion of the project. Rotary has deemed that no public funds will be used in the installation or construction of the Pavilion. However, Rotary understands and agrees that if any public funds are used for the installation or construction of the Pavilion, that the Pavilion will be a “public works” project only for the purposes of Labor Code Section 1720 et seq. of the Labor Code regarding payment of prevailing wages and associated requirements.
- **Compliance with Applicable Laws:** Rotary and its Contractors shall insure that all work performed on the Pavilion complies with all applicable federal, state, county and City laws, regulations and rules, as these rules and regulations may be modified or changed from time to time.
- **Use of Volunteers:** Rotary understand and agree that they shall comply with Labor Code Section 1720.4, as it reads at the time of Agreement execution and as it may be amended, with respect to the use of volunteer labor and paid labor.
- **Notification to City and Authorization:** Rotary shall notify City of their intention to commence installation at least five (5) days prior to the commencement of any work or delivery of materials to the Property. Rotary and its contractors or subcontractors, if used, shall not commence installation of the Public Improvements until the Rotary has received written authorization from City to proceed.
- **Damage to Public Improvements During Term:** Until the Pavilion is completed and accepted by the City, Rotary, at all times, shall be solely responsible for all damage to the Pavilion and damages to the Property or third parties, regardless of cause.
- **Insurance:** The Rotary and its contractors shall provide the City insurance to cover liability during construction, as outlined within the License Agreement.
- **License Termination:** The Agreement shall terminate upon the completion of the Pavilion.
- **Ownership at Completion:** Upon completion of the Pavilion, the maintenance and responsibility of the Pavilion shall be transferred to the City.

It should further be noted that the Yolo Habitat Conservancy was routinely informed of the progress of the Pavilion project. On February 10, 2025, the City informed the Yolo Habitat Conservancy of the Rotary’s intention to construct in Spring 2025 within the City’s development envelope, seeking its formal approval of the selected location. As this was a previously authorized amenity, as described in the WRPP’s Management Plan, approval of the location was given by the Conservancy, California Department of Fish and Wildlife, and U.S. Fish and Wildlife Service. Please see attachment 6 for the Conservancy’s approval letter.

Conclusion:

Staff recommends the City Council adopt Resolution No. _____, to approve the License Agreement between Woodland Sunrise Rotary Club and the City of Woodland for the construction of the Rotary Pavilion at the Woodland Regional Park Preserve.

Prepared by: Stephanie Burgos, Program Manager: Business Engagement & Resource Conservation

Reviewed by: Ken Hiatt, City Manager



Ken Hiatt
City Manager

Attachments:

1. Proposed Resolution - Approve License Agreement with Rotary
2. Pavilion Plans
3. Conservancy Location Approval Memo
4. Footprint of Pavilion

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY OF WOODLAND
AUTHORIZING THE CITY MANAGER TO ENTER INTO A
LICENSE AGREEMENT WITH WOODLAND SUNRISE ROTARY FOR
THE CONSTRUCTION OF THE “ROTARY PAVILION” AT
THE WOODLAND REGIONAL PARK PRESERVE SITE**

WHEREAS, the City of Woodland (“City”) is the owner of certain property located at 20179 County Road 102 in the City of Woodland, County of Yolo, State of California (the “Property”), which Property is known as the Woodland Regional Park Preserve; and

WHEREAS, the Property entered into a Conservation Easement with Yolo Habitat Conservancy on April 18, 2023, that delineated the easement area under the jurisdiction of the Conservancy, and the development envelopes under the jurisdiction of the City; and

WHEREAS, a Management Plan that serves as a companion document to the Conservation Easement for the Woodland Regional Park, was prepared to outline the preservation and maintenance of the species habitat and natural communities on the Property, including authorized amenities and infrastructural improvements of the site for various recreational and educational uses consistent with the habitat values of the Property; and

WHEREAS, the Yolo Habitat Conservancy provided the City a memo dated on March 6, 2025, indicating formal approval of the location of the Rotary Pavilion on behalf of the Conservancy, California Department of Fish and Wildlife, and U.S. Fish and Wildlife Service; and

WHEREAS, the planned Pavilion will allow the Property to be better utilized in a manner that benefits and serves the community while protecting habitat through secured access to the waterfront, improving the habitat value of the Property; and

WHEREAS, the Rotary has nearly completed fundraising that commenced in 2019 to construct a covered observation deck on the west side of the ADA trail, overlooking the pond that would accommodate up to a maximum of 47 individual for the purpose of wildlife viewing, educational activities, and wellness activities at the WRPP; and

WHEREAS, the Rotary has created positive community investment, awareness, and interest in the Park Preserve through the fundraising of monetary and material donations for this project that amount to roughly \$220,000; and

WHEREAS, the Rotary has provided architectural plans from a licensed architect that the City has approved, and has entered into a construction contract with a licensed construction company for the execution of this project; and

WHEREAS, the Rotary and City desire to enter into an Agreement whereby the Rotary will gain access to the site for the purpose and duration of the Pavilion’s construction; and

WHEREAS, the Rotary will ensure the proper completion of the Pavilion, subject to City-approved plans and final inspections by the City, as well as returning the area around the project's footprint in the same condition as before the project's commencement; and

WHEREAS, the Agreement will be terminated upon completion of the Pavilion project and the City will assume maintenance and ownership of the Pavilion at its completion.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Woodland as follows:

SECTION 1. Recitals. The Recitals set forth above are true and correct and are incorporated into this Resolution by this reference.

SECTION 2. Approval of License Agreement. The City Council hereby authorizes the City Manager to enter into and if necessary, make minor modifications, after consultation with the city attorney, a license agreement with Woodland Sunrise Rotary for the construction of the "Rotary Pavilion" at the Woodland Regional Park Preserve site (20179 County Road 102) consistent with the terms outlined in the 18th day of March, 2025 City Council staff report approving this Resolution.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Woodland at a regular meeting held on the 18th day of March 2025 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

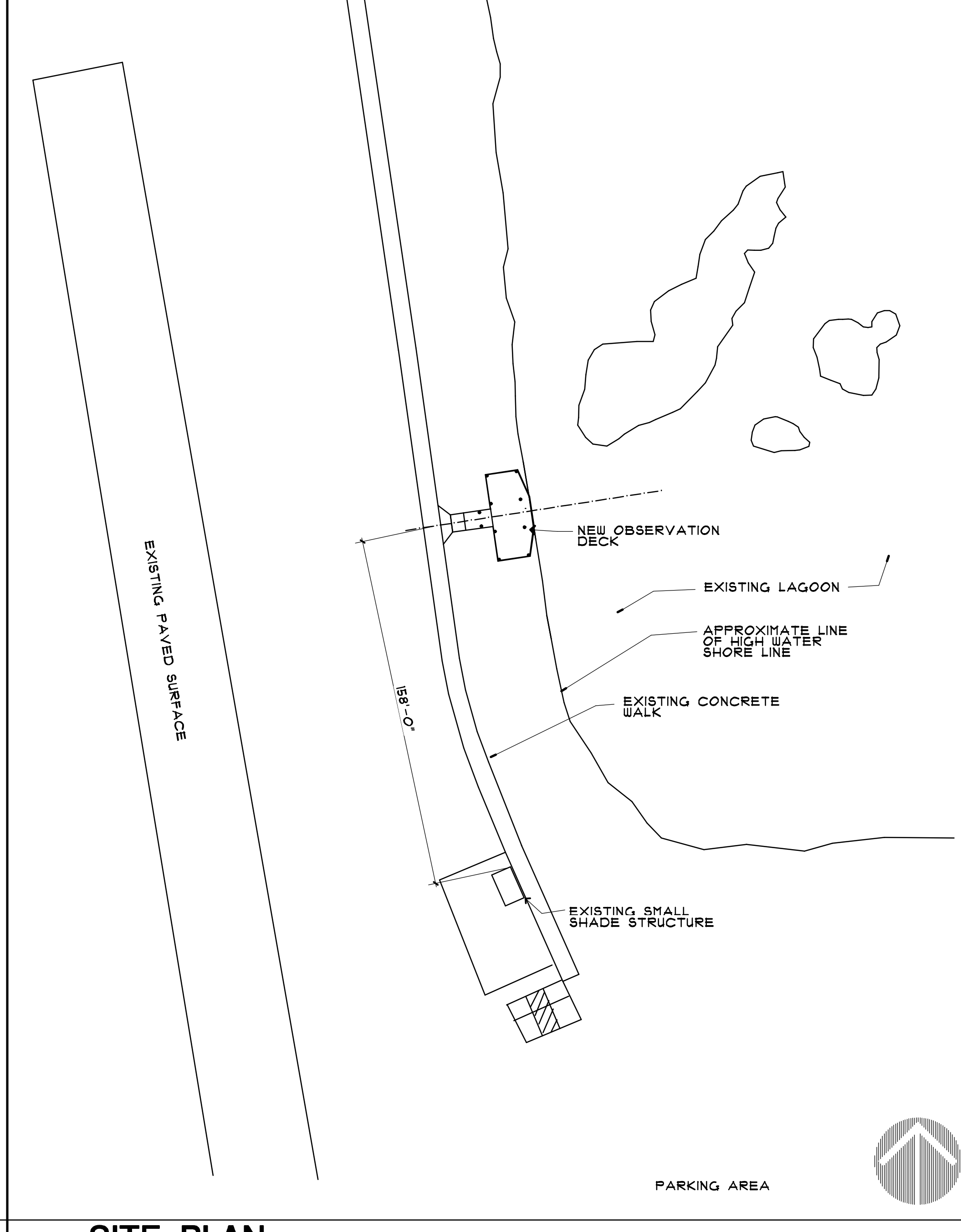
Rich Lansburgh, Mayor

ATTEST:

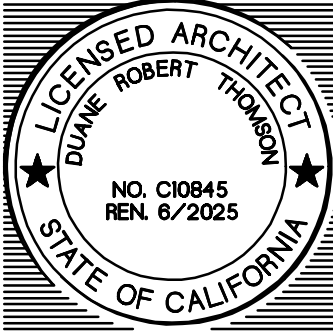
APPROVED AS TO FORM:

Sarah Lansburgh, CMC, City Clerk

Ethan Walsh, City Attorney



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UNTIL SIGNED



DATE: 01-30-25

REVISIONS

TITLE SHEET, SITE PLAN

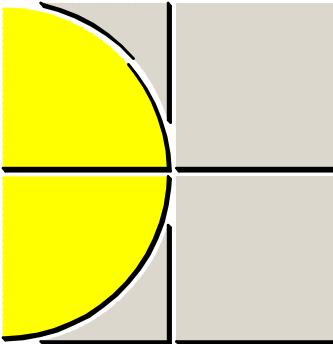
WRPP OBSERVATION DECK

WOODLAND, CA

NOTE

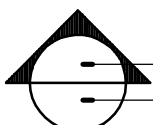
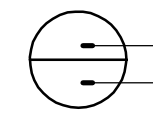
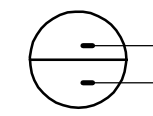
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AND IS TO BE
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Duane R. Thomson AIA
ARCHITECT
772 Main Street, Suite 102
Woodland, CA 95695
530.955.4960 DRTAA@aol.com



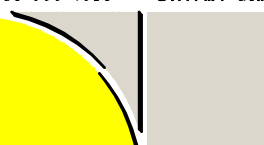
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WRPP OBSERVATION DECK

ABBREVIATIONS FOR ABBREVIATIONS NOT SHOWN CONTACT THE ARCHITECT				ARCHITECTURAL SYMBOLS	GENERAL NOTES	BUILDING DATA	INDEX TO DRAWINGS	PRE-BID INFORMATION		
CLR	CLEAR	HT.	HEIGHT	 SECTION NUMBER  SHEET NUMBER	1. THE DRAWINGS AND ACCOMPANYING SPECIFICATIONS ARE INTENDED TO BE USED IN CONJUNCTION WITH EACH OTHER AND NOT SEPARATELY. SHOULD DISCREPANCIES BE DISCOVERED (WHETHER AMONG THE DRAWINGS, SPECIFICATIONS OR BETWEEN THEM) THE HIGHER QUALITY SHOULD BE ASSUMED AND THE DISCREPANCY BE REPORTED TO THE ARCHITECT. 2. THE CONTRACTOR SHALL REVIEW AND VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT. 3. THE DIMENSIONS SHOWN ON THE DRAWINGS SHALL RULE OVER SCALING AND SCALING SHALL BE AVOIDED EXCEPT FOR GENERAL (NOT SPECIFIC) PURPOSES. WORK NOT DIMENSIONED SHALL BE AS DIRECTED BY THE ARCHITECT. 4. DIMENSIONS ARE TYPICALLY TO FACE OF STUD UNLESS NOTED OTHERWISE OR SHOWN WITH A CENTERLINE INDICATION. 5. MATERIALS INDICATED SHOULD BE ASSUMED TO BE NEW UNLESS NOTED OR DETERMINED OTHERWISE. 6. LAY OUT FORMS, WALLS, FLOORING, ETC. THE EXACT LOCATIONS OF ALL PARTITIONS AS A GUIDE TO ALL TRADES AND SUBCONTRACTORS. EXERCISE PROPER PRECAUTION TO VERIFY FIGURES SHOWN ON DRAWINGS BEFORE LAYING OUT WORK AND BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTION. 7. WORK NOT DETAILED SHALL BE EQUAL IN QUALITY AND COMPATIBLE TO SIMILAR AND ADJACENT WORK.	NEW WOOD FRAMED VIEWING DECK. STORY RESIDENCE. NEW ADDITION COMPLETELY UNDER EXISTING ROOF - ENCLOSING EXISTING PATIO. 100 / 15 SF PER OCCUPANT = 41 OCCUPANTS CBC OCCUPANCY - B CBC STRUCTURE TYPE - TYPE VB VIEWING DECK = 100 SF APPROACH DECK = 114 SF CONCRETE APRON = 140 SF	AI TITLE SHEET, SITE PLAN A2 OBSERVATION DECK PLAN A3 ELEVATIONS A4 FOUNDATION PLAN A5 FRAMING PLAN A6 SECTION A7 DETAILS A8 SPECIFICAIONS SV TOPOGRAPHIC SURVEY	CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR VISITING THE PROJECT SITE AND FAMILIARIZING THEMSELVES WITH THE EXISTING ON-SITE CONDITIONS PRIOR TO THE SUBMISSION OF THE BIDS. THE SUBMITTED BIDS FOR THIS PROJECT ARE EXPECTED TO INCLUDE THE INFORMATION ON EXISTING CONDITIONS NOT NOTED ON THE PLANS BUT READILY APPARENT VIA THIS ON-SITE INSPECTION. APPLICATIONS FOR ADDITIONAL COST DURING CONSTRUCTION WILL NOT BE CONSIDERED FOR THOSE ITEMS THAT ARE READILY APPARENT DURING THE PRE-BID INSPECTION. CONTACT THE ARCHITECT TO COORDINATE ACCESS TO THE PROJECT SITE.		
BM	BEAM	JST	JOIST							
CONC	CONCRETE	MAX.	MAXIMUM	 DETAIL NUMBER  SHEET NUMBER	DEFERRED SUBMITALS			BUILDING CODES		
COORD.	COORDINATION	MIN.	MINIMUM							
(D)	DEPTH	(N)	NEW	 SHADE SAIL AWNINGS AND ATTACHMENTS	SHADE SAIL AWNINGS AND ATTACHMENTS					
DBL	DOUBLE	O.C.	ON CENTER							
DF	DOUGLAS FIR	PTDF	PRESUURE TREATED DOUGLAS FIR	 SHADE SAIL AWNINGS AND ATTACHMENTS	SHADE SAIL AWNINGS AND ATTACHMENTS					
(E)	EXISTING	RDWD.	REDWOOD							
EXIST.		S.S.	STAINLESS STEEL	 SHADE SAIL AWNINGS AND ATTACHMENTS	SHADE SAIL AWNINGS AND ATTACHMENTS					
		SIM.	SIMILAR							
ELEV.	ELEVATION	SQ. FT.	SQUARE FOOT	 SHADE SAIL AWNINGS AND ATTACHMENTS	SHADE SAIL AWNINGS AND ATTACHMENTS					
EQ.	EQUAL	TDF	SEE PTDF							
GALV.	GALVANIZED	TYP	TYPICAL	 SHADE SAIL AWNINGS AND ATTACHMENTS	SHADE SAIL AWNINGS AND ATTACHMENTS					
		UN.O.	UNLESS NOTED OTHERWISE							
		(W)	WIDTH	 SHADE SAIL AWNINGS AND ATTACHMENTS	SHADE SAIL AWNINGS AND ATTACHMENTS					

OF THE ARCHITECT AND IS TO BE USED ON THIS SPECIFIC PROJECT ONLY.

Duane R. Thomsen, AIA
ARCHITECT
712 Main Street, Suite 10
Woodland, CA 95694
925.666.4680 DRTAA@aol.com

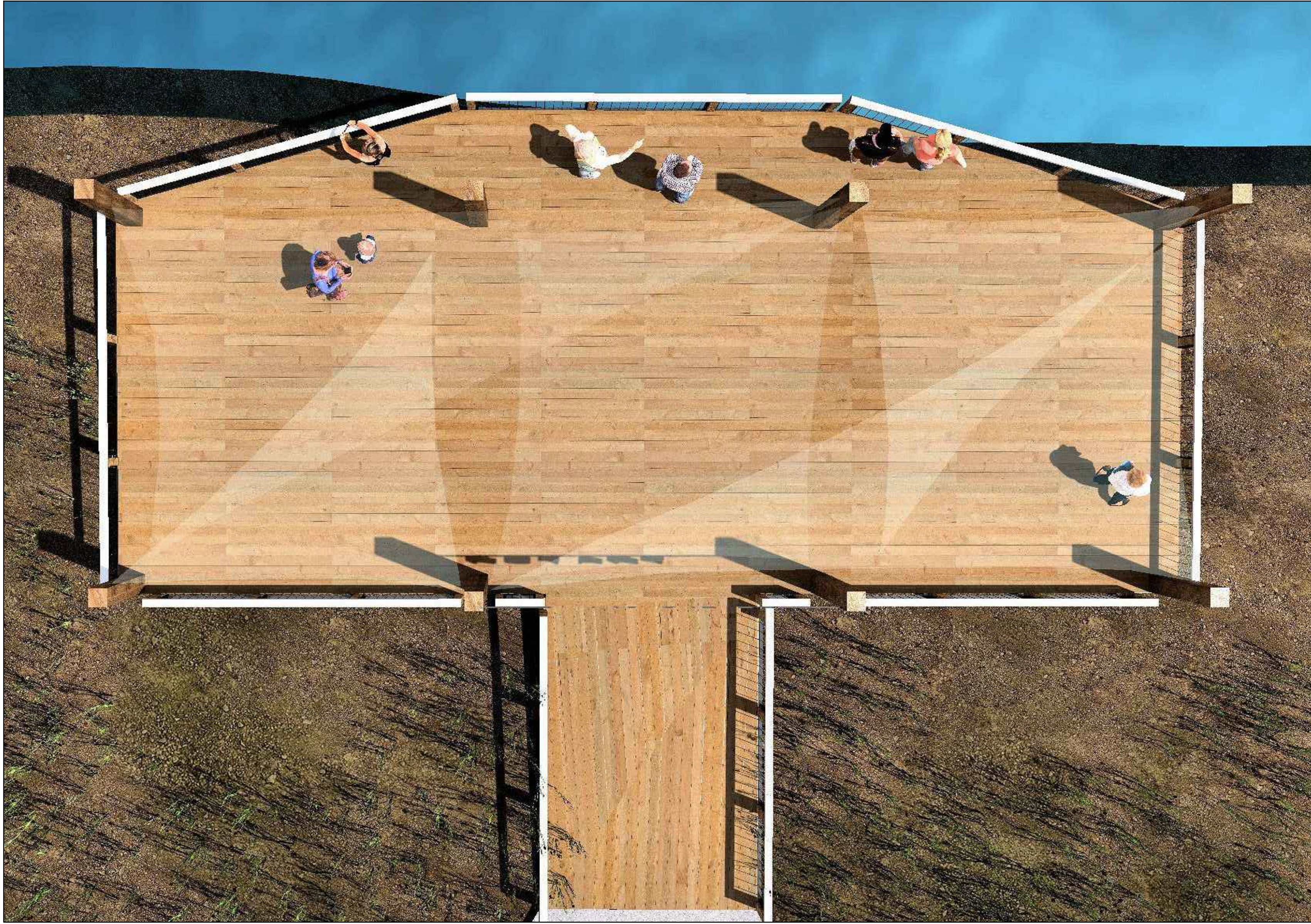


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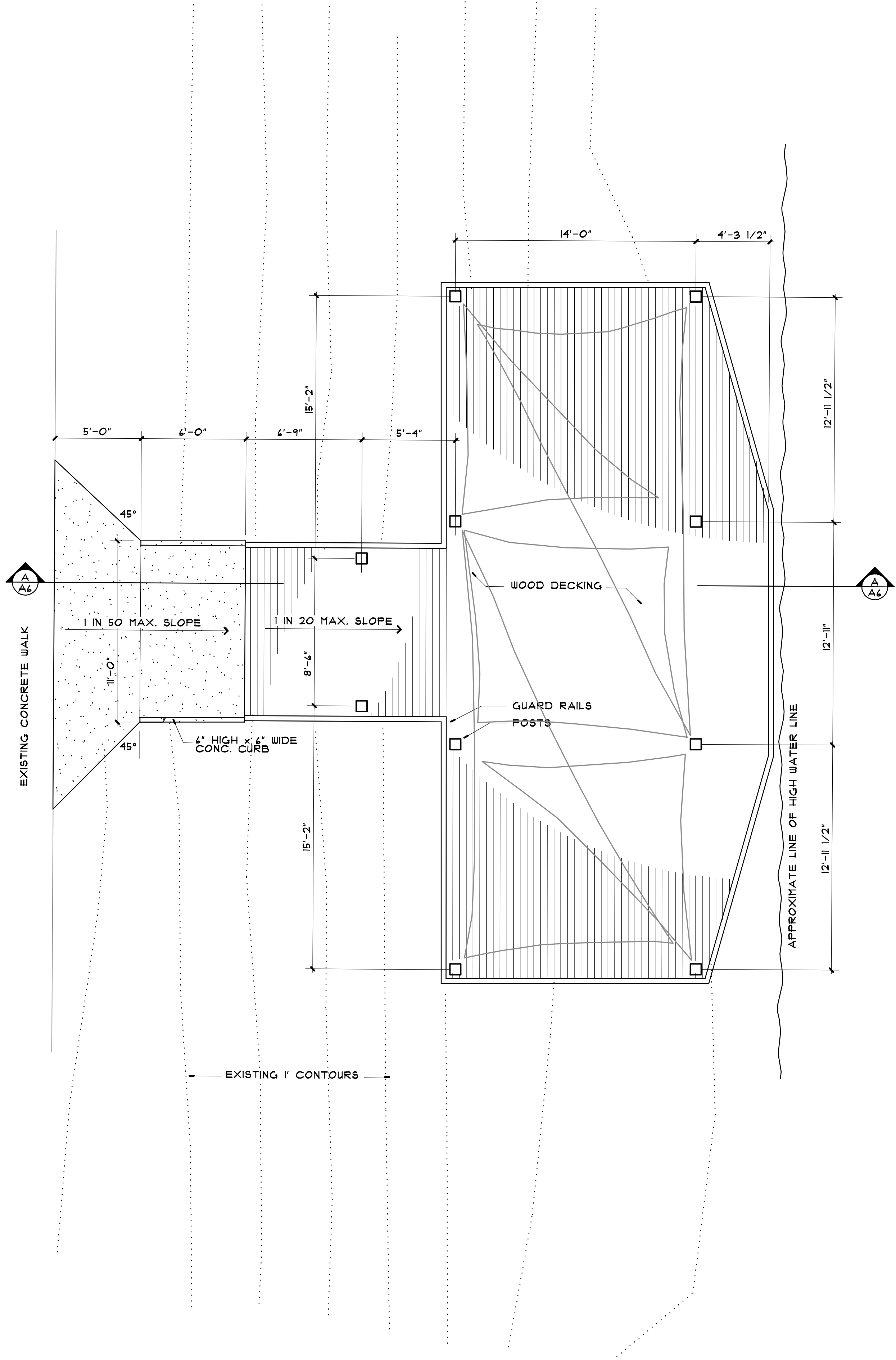
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RENDERING OF OBSERVATION DECK VERIFY LAYOUT, DETAILS, FINISHES, ETC. WITH THE OTHER DRAWINGS IN THIS PLAN SET.



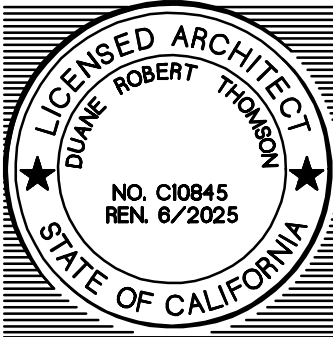
RENDERING OF OBSERVATION DECK PLAN VERIFY LAYOUT, DETAILS, FINISHES, ETC. WITH THE OTHER DRAWINGS IN THIS PLAN SET.



OBSERVATION DECK PLAN

1/4" = 1'-0"

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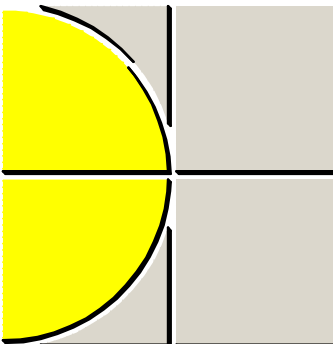
OBSERVATION DECK PLAN

WRPP OBSERVATION DECK

WOODLAND, CA

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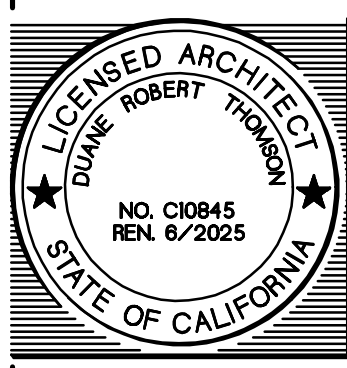
Duane R. Thomson AIA
ARCHITECT
772 Main Street, Suite 102
Woodland, CA 95695
350.856.4060 DRTAIA@aol.com



A2

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ELEVATIONS

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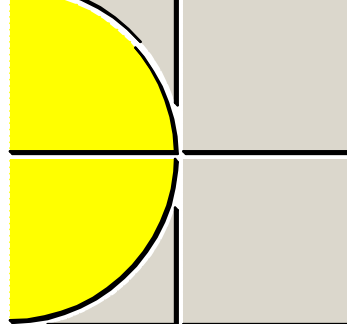
WRPP OBSERVATION DECK

WOODLAND, CA

NOTE

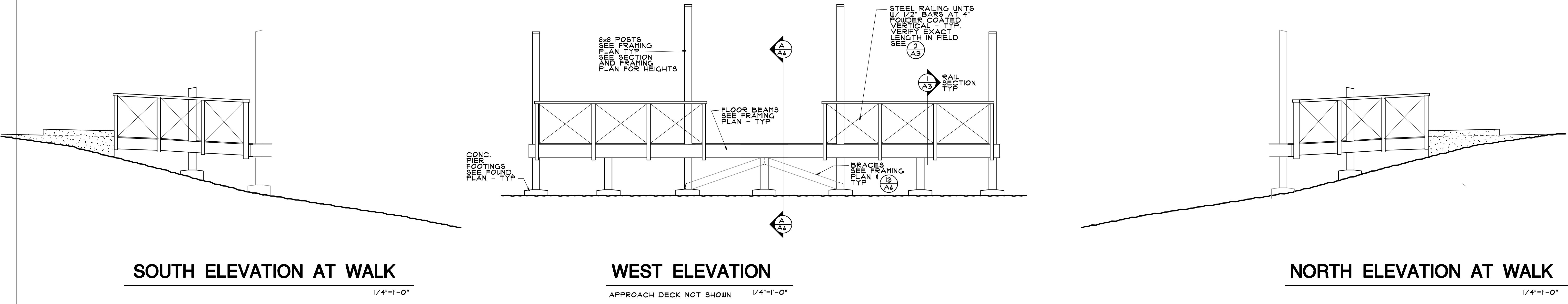
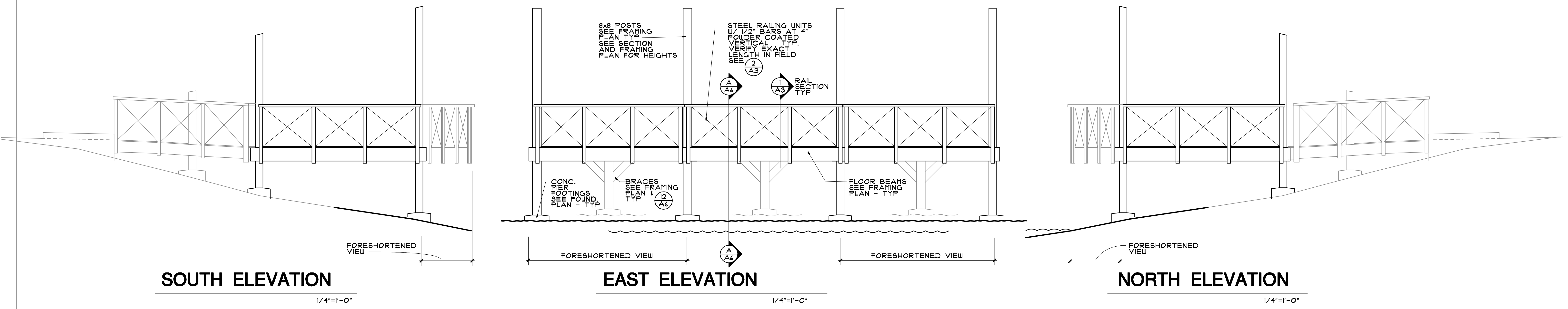
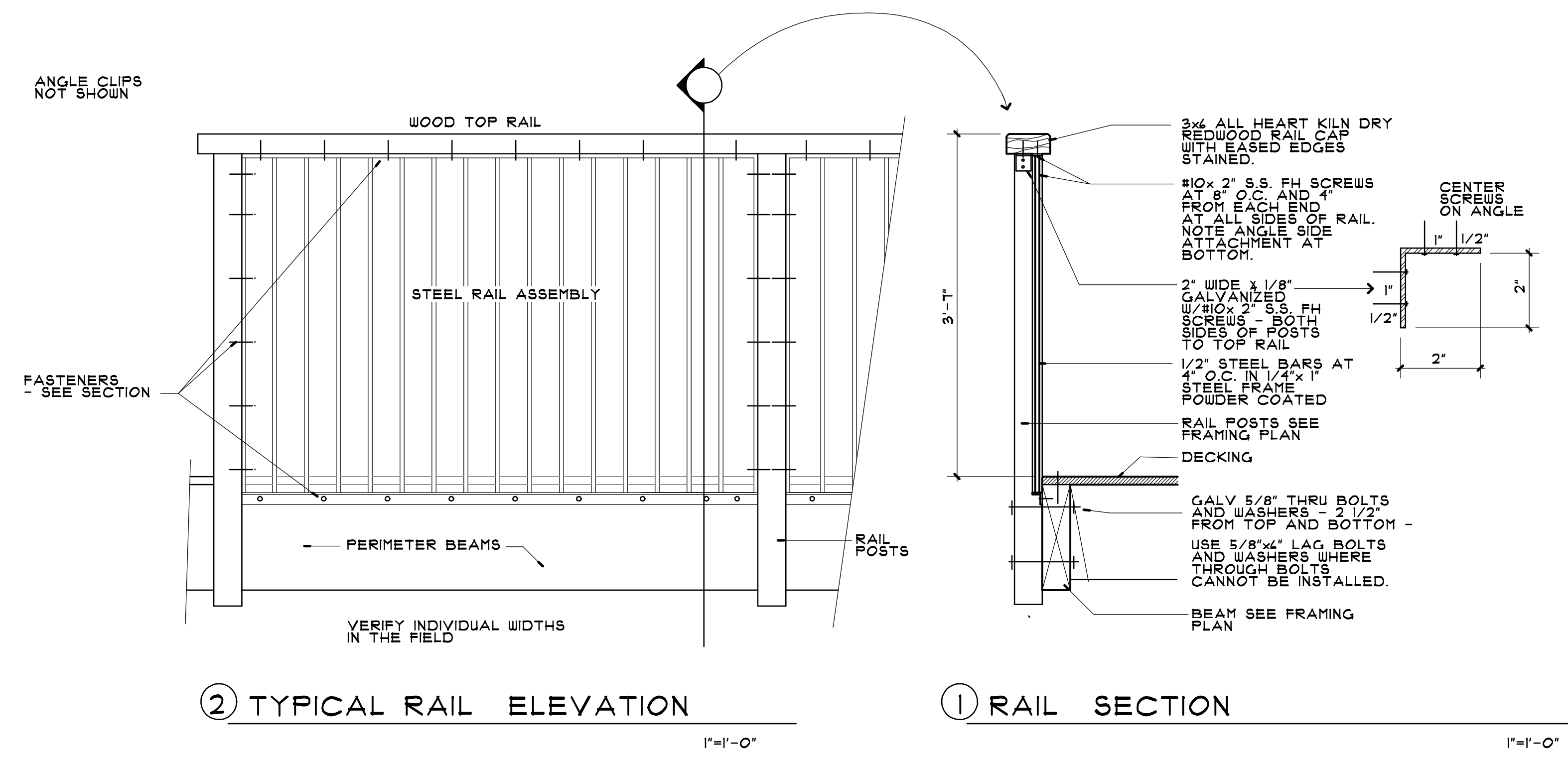
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ARCHITECT
72 Main Street, Suite 102
Woodland, CA 95695
530.955.4580 DRTAIA@aol.com



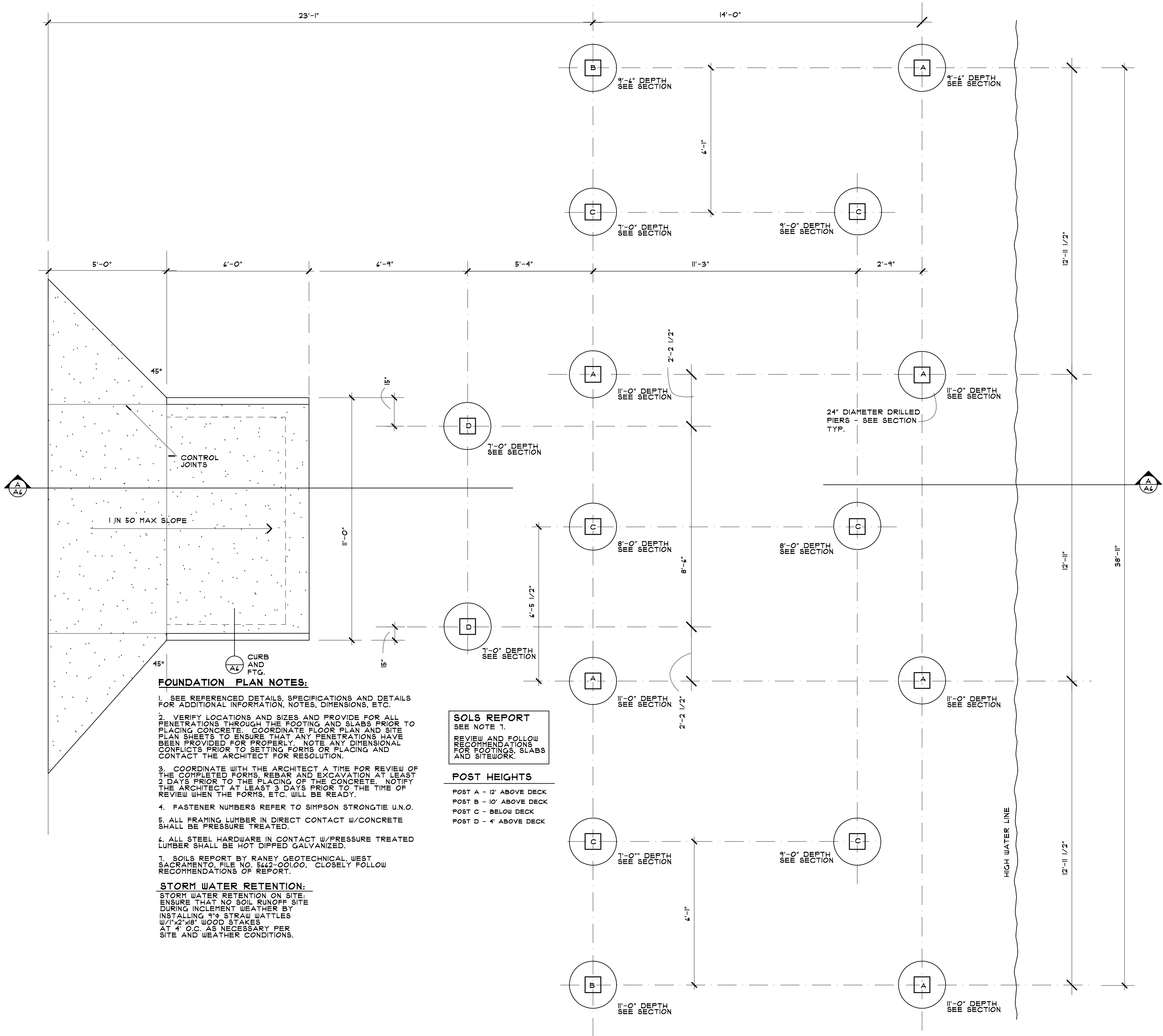
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ELEVATIONS

FOUNDATION PLAN



FOUNDATION PLAN NOTES:

- SEE REFERENCED DETAILS, SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION, NOTES, DIMENSIONS, ETC.
- VERIFY LOCATIONS AND SIZES AND PROVIDE FOR ALL PENETRATIONS THROUGH THE FOOTING AND SLABS PRIOR TO PLACING CONCRETE. COORDINATE FLOOR PLAN AND SITE PLAN SHEETS TO ENSURE THAT ANY PENETRATIONS HAVE BEEN PROVIDED FOR PROPERLY. NOTE ANY DIMENSIONAL CONFLICTS PRIOR TO SETTING FORMS OR PLACING AND CONTACT THE ARCHITECT FOR RESOLUTION.
- COORDINATE WITH THE ARCHITECT A TIME FOR REVIEW OF THE COMPLETED FORMS, REBAR AND EXCAVATION AT LEAST 2 DAYS PRIOR TO THE PLACING OF THE CONCRETE. NOTIFY THE ARCHITECT AT LEAST 3 DAYS PRIOR TO THE TIME OF REVIEW WHEN THE FORMS, ETC. WILL BE READY.
- FASTENER NUMBERS REFER TO SIMPSON STRONGTIE U.N.O.
- ALL FRAMING LUMBER IN DIRECT CONTACT W/CONCRETE SHALL BE PRESSURE TREATED.
- ALL STEEL HARDWARE IN CONTACT W/PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED.

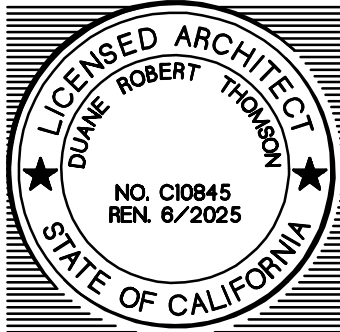
SOILS REPORT
SEE NOTE 1.
REVIEW AND FOLLOW RECOMMENDATIONS FOR FOOTINGS, SLABS AND SITEWORK.

POST HEIGHTS

POST A - 12' ABOVE DECK
POST B - 10' ABOVE DECK
POST C - BELOW DECK
POST D - 4' ABOVE DECK

STORM WATER RETENTION:
STORM WATER RETENTION ON SITE.
ENSURE THAT NO SOIL RUNOFF SITE DURING INCLEMENT WEATHER BY INSTALLING 1"Ø STRAW WATTLES W/1"x2"x8" WOOD STAKES AT 4' O.C. AS NECESSARY PER SITE AND WEATHER CONDITIONS.

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REVISIONS

FOUNDATION PLAN

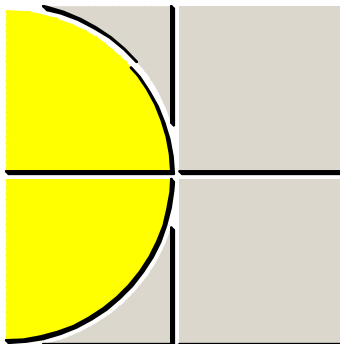
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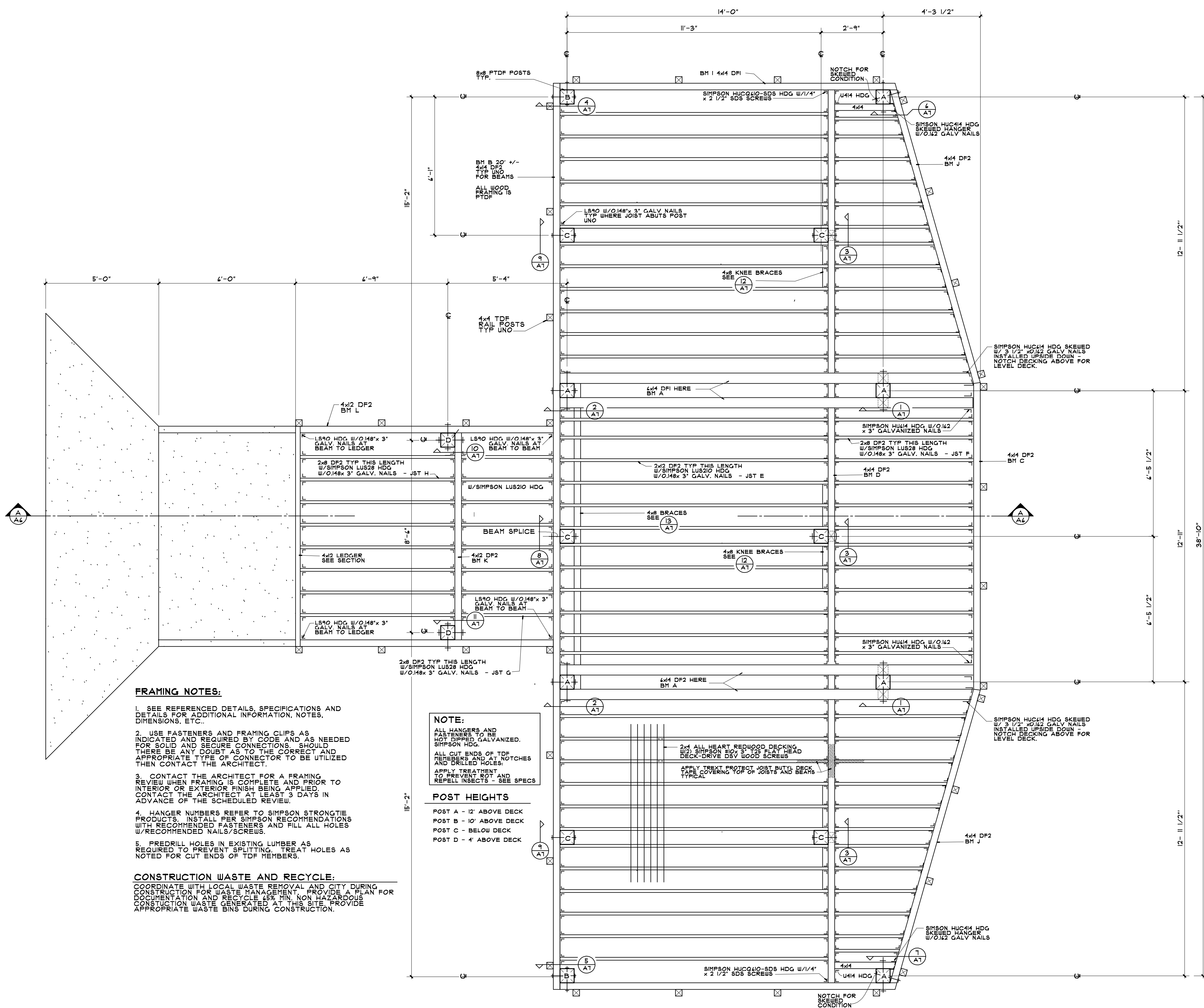
WOODLAND, CA

NOTE

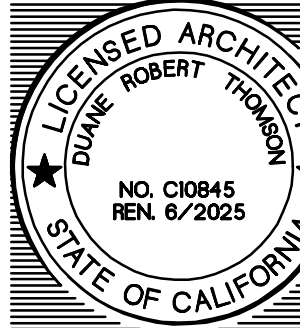
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Duane R. Thomson AIA
ARCHITECT
772 Main Street, Suite 102
Woodland, CA 95695
916.855.4590 DRTAIA@aol.com





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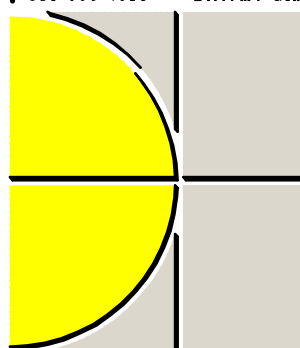
FRAMING PLAN

WRPP OBSERVATION DECK

WOODLAND, CA

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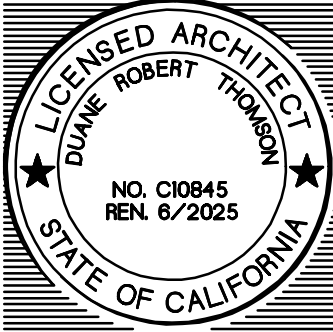
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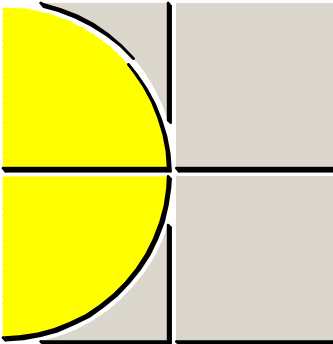
REVISIONS

SECTION

WRPP OBSERVATION DECK
WOODLAND, CA

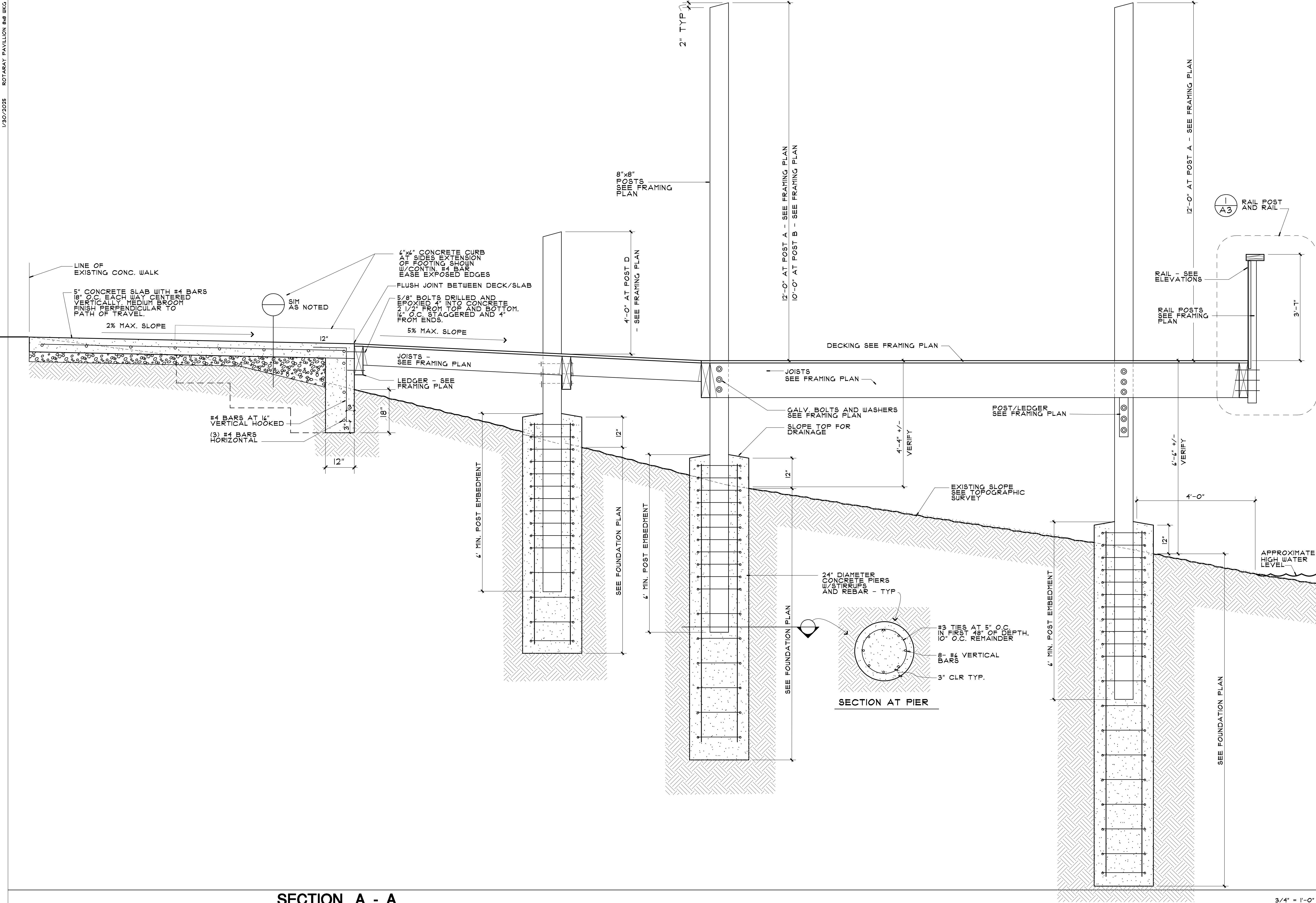
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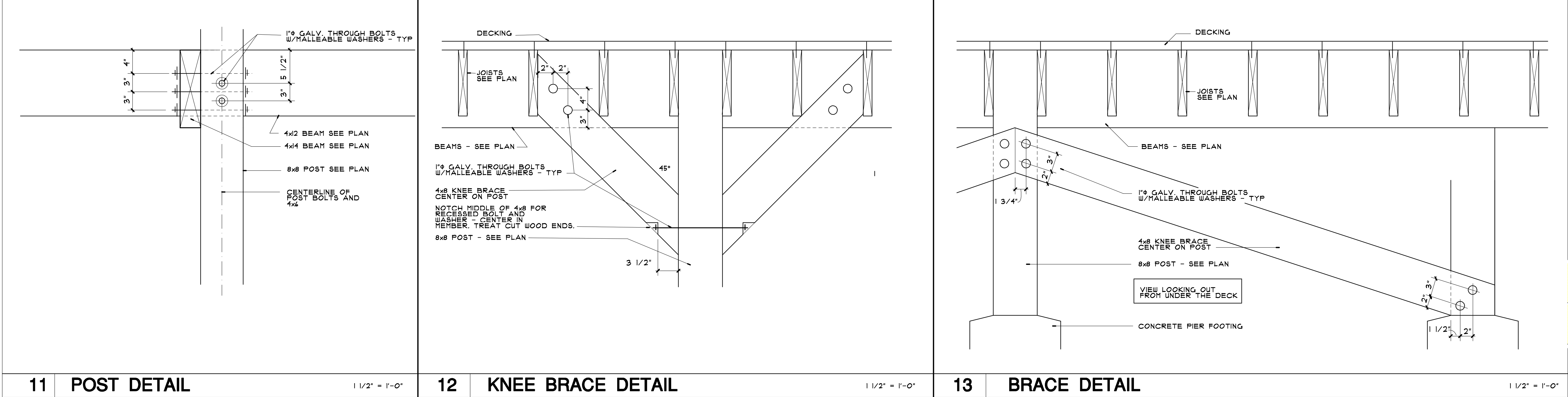
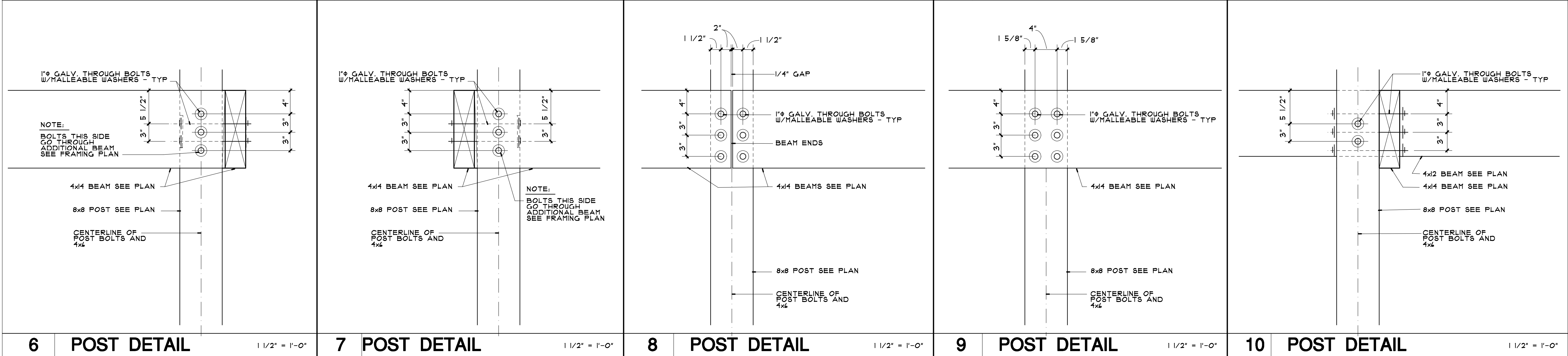
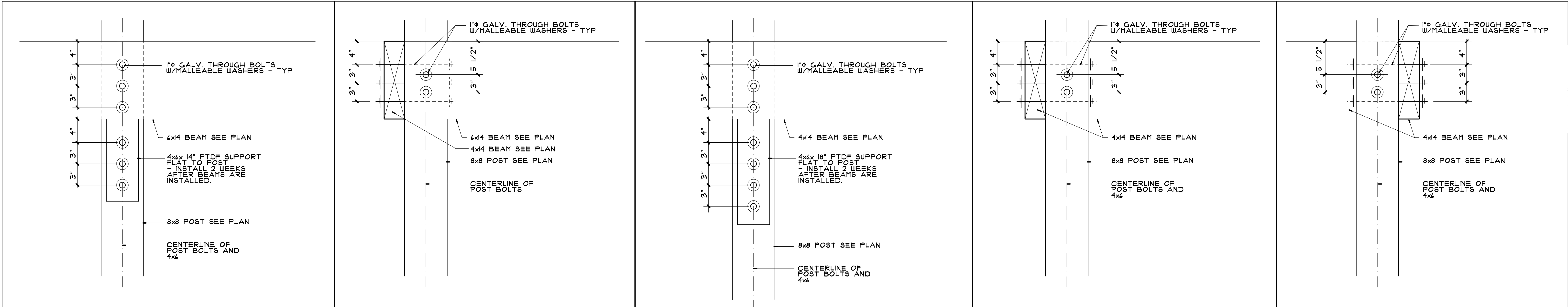
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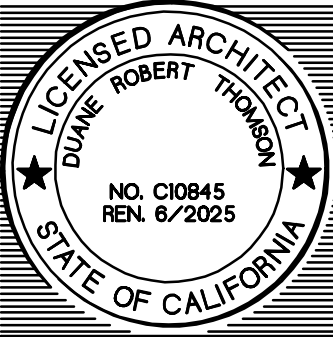


SECTION A - A

3/4" = 1'-0"



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DATE: 01-30-25

REVISIONS

FRAMING DETAILS

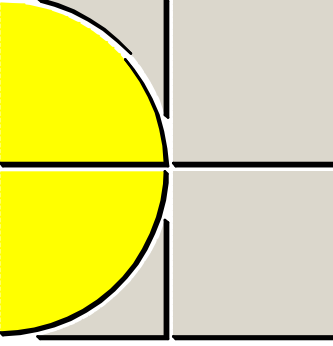
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Duane R. Thomson AIA
ARCHITECT
772 Main Street, Suite 102
Woodland, CA 95695
360 695-6660 DRTAA@aol.com



A7

01010 SUMMARY OF WORK -

The Work to be performed by the Contractor shall comprise all the construction required (whether directly or indirectly shown or implied) to complete the project fully, ready for occupancy and use. All Work shall be performed and will be considered as included in the Contract Price (or Prices) quoted, whether or not specifically classified for payment under any items in the proposal.

The work on these drawings consists of, in general, but not limited to: construction of a wood framed Observation Deck and a wood framed and concrete slab approach access.

Contractor and subcontractors acknowledge that prior to execution of the construction work they have examined the site and all pertinent local conditions concerning the performance of the Contract. In the event that any conflict is discovered between the site examinations and Contract Documents, Contractor shall call such conflict to the attention of the Architect.

01060 REGULATORY REQUIREMENTS -

All work indicated on these plans shall be executed to conform in accordance with currently adopted Title 24, California Code of Regulations. Should any conflicts arise between codes or the specifications & drawings, the strictest or higher quality shall govern.

The Contractor is responsible to comply with the applicable sections of the "Construction Safety Orders" as issued by the State of California and all OSHA requirements. The Architect and the Owner do not accept any responsibility for the Contractor's failure to comply with these requirements.

01300 SUBMITTALS -

See Section 01600 subsection F.

01600 MATERIAL AND EQUIPMENT -

Where a specific product or standard is referenced in these specifications then the manufacturer's or standard's installation instructions shall be strictly followed including handling, storage, application temperature range, etc.. Deliver materials to job site in original packing materials and leave in such until ready for use. The following shall also apply:

- A) Verify that conditions are satisfactory for installation of the product and do not proceed until unsatisfactory conditions have been corrected.
- B) Determine the extent and character of related work, and provide proper coordination of the work specified with work specified elsewhere to provide a completely finished and fully operable installation.
- C) Include all materials referenced in the manufacturer's specifications and other's as necessary (whether shown or not shown) for a complete and operable installation.
- D) Alternative materials can be substituted as long as they are equal or superior in quality and are approved by the Architect. All additional costs related directly or indirectly to an approved substitution shall be paid for by the Contractor. Submittals shall be made to the Architect for all proposed substitutions prior to that Work being purchased or performed. If substitution does not perform or work as intended for the original material then it shall be replaced with the original material at no increase in Contract cost.
- E) Protect products and materials once installed from the Work remaining and repair or replace as necessary where damaged.
- F) Submittals as required by D above or when listed elsewhere, shall be delivered to the Architect in triplicate consisting of the Manufacturers complete description of the material and its recommended installation. Submittals shall be delivered to the Architect at the beginning of the Contract and with sufficient lead time to ensure no delays in the construction time period.

01700 PROJECT CLOSEOUT -

1.1 Contract closeout includes final cleaning, project record documents, operating and maintenance data, instruction of Owner's personnel guaranties, warranties and bonds, service and maintenance contracts, preparation for final inspection, damage and restoration, remedial Work and extra materials.

- G. No wood spreaders or wood stakes shall be used in areas to be concreted that cannot be completely removed after pouring. Use an appropriate bond breaker on the wood forms for easy removal of forms. Thoroughly wet forms 1 hour prior to placing of concrete and lightly moisten soil immediately prior to placing concrete.
- H. Screed floors, slabs-on-grade and concrete base for toppings level, maintain surface flatness of maximum 1/8 inch in 10 feet (or as indicated for drainage) - in no case shall the slope exceed a 1 in 50 maximum.
- I. Thoroughly work concrete around reinforcement and embedded fixtures and into corners of forms during placing operations.
- J. Completely compact with tamping poles and by tapping forms until the concrete is thoroughly compact and without voids.
- K. Finish surface of slabs to be a medium broom texture perpendicular to the direction of travel.

3.05 CURING

- A. Immediately after placement, protect concrete from premature drying with a curing compound.
- B. Maintain concrete with minimal moisture loss at relatively constant temperature for a period necessary for hydration of cement and hardening of concrete.

05500 STEEL FABRICATIONS -

The following shall be observed for the stairs and railings except as noted otherwise on the plans: Submit shop drawings showing layout of fabrications and welds.

MATERIALS

- A. Rolled steel plates, bars and other shapes as noted on the Drawings: ASTM A36.
- B. Steel pipe: ASTM A53, grade B (and see drawings).
- C. Arc welding electrodes: ASTM A233, series as required for conditions of intended use.
- D. Primer: SSPC 15, type I, red oxide.
- E. Anchor bolts: ASTM A307.

FABRICATION

- A. Fabricate items of structural steel in accordance with AISC specifications. Assemble to Simpson compenents as indicated on the drawings.
- B. Where finishing is required, complete the assembly, including welding of units, before start of finishing.
- C. Provide finish surfaces of members exposed in the final structure free from burrs, markings and other defects.
- D. Assemble and weld built-up sections by methods which will produce true alignment of axes without warp.
- E. Do not flame cut or enlarge holes by burning.
- F. Grind all welds smooth and cap all exposed ends. All welds to completely encircle the connection.

SHOP PAINTING

NOTE – Railings to be powder coated – verify color with Architect.

- A. Thoroughly clean structural steel, removing all loose mill scale, grease, dirt and other foreign matter by scraping or sandblasting.
- B. Apply the specified paint to a dry film thickness of not less than 1.5 mils.

OTHER MATERIALS

- A. Provide other materials not specifically described but required for a complete and proper installation as selected by the Contractor subject to the approval of the Owner.
- B. Provide heavy duty galvanized grates at entrances - see drawings.

SURFACE CONDITIONS

02600 UTILITIES -

There are no Utilities in the new structure and there are no utilities at the site. Contractor is responsible to provide necessary utilities as necessary for the completion of the work.

02010 SOIL AND EXCAVATIONS -

There is a soils report by – see drawings for reference. Footing depths on these drawings are minimum and shall be increased where poor soil conditions are present (the Architect and Engineer shall be notified when these conditions are present or suspected). Note that a post tensioned slab is not required for these buildings.

Cut and fill to the existing contours and grades indicated on the plans. Do not cut more than necessary. Do not fill under footings without the approval of the Engineer. Protect existing adjacent grounds and minimally disturb existing grounds within the project area.

Footing trenches and slab excavations shall be firm, dry, undisturbed soil or compacted gravel fill (in 6" lifts). All debris and loose material shall be removed from the forms and footings prior to the placing of any concrete. All footings not formed shall be poured into neat excavations. Adequate precautions shall be taken prior to and during the placing of concrete to prevent sloughing of soil into the footing excavations.

03200 REINFORCEMENT -

The following shall be observed except as noted otherwise on the plans:

Reinforcing steel shall conform to ASTM A615 Grade 40, use Grade 60 for #5 and larger bars.

Fabricate reinforcing steel according to the "Manual of Standard Practice for Reinforced Concrete Construction". Reinforcing dowels, bolts, anchors and other items to be embedded in concrete shall be securely positioned before placing concrete. Splices in continuous reinforcement shall be 48 bar diameters and splices in adjacent bars shall be staggered a minimum of 5 feet.

Concrete coverage shall be from the face of the bar and shall denote clear coverage. The following minimum coverage shall be observed:

Concrete poured against earth ----- 3"
Conc. poured in forms, exposed to earth/weather ----- 2"
Bars in beams or columns ----- 2"
Bars in walls on interior face ----- 3/4"
Bars in interior slabs ----- 3/4"

03300 CAST-IN-PLACE CONCRETE -

PART 1 GENERAL

1.01 SUMMARY

- A. Provide cast-in-place concrete where shown on the Drawings, as specified herein and as needed for a complete and proper installation.

1.02 QUALITY ASSURANCE

- A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this Section.
- B. Perform cast-in-place concrete work in accordance with ACI 301, unless specified otherwise in this Section.

PART 2 PRODUCTS

- A. Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the Work. Do not proceed until unsatisfactory conditions are corrected.

PREPARATION

- A. Establish permanent benchmarks necessary for accurate erection of the steel.
- B. Check elevations of concrete surfaces and locations of anchor bolts and similar items before erection proceeds.

FIELD ASSEMBLY

- A. Allow for erection loads. Provide temporary shoring and bracing members with connections of sufficient strength to bear imposed loads.
- B. Field weld components indicated on the Shop Drawings.
- C. Set and secure items square, plumb, and level, accurately aligned to positions required.
- D. After erection, prime welds after they have been inspected.
- E. Do not field cut or alter structural members without approval of the Owner.
- F. Repair abraded areas of the shop applied coating, and areas of weld where the shop applied coating has been damaged, with a primer or galvanizing repair compound applicable and compatible with the shop coating.

06100 ROUGH CARPENTRY -

All structural wood shall conform with the latest edition of the following specifications:

Douglas Fir - West Coast Lumbermens "Association Grading Rules #16".
Redwood - California Redwood Association Grading Rules.

See drawings for wood grades and types.

The Contractor is responsible for the replacing of any excessively twisted or otherwise deformed lumber after or before it is installed. All new framing lumber to have a maximum of 19% moisture content at time of installation.

Treat all cut ends, notches and bored bolt holes of treated doug fir members with Copper Green Wood Preservative or approved equal.

BOLTS, SCREWS, NAILS ETC.: All bolts, nails, screws, clips, etc., required for finishing and assembling of work indicated on these drawings shall be provided for and installed. All exterior metal fastening devices shall be hot dip galvanized or stainless steel.

Holes for bolts in wood shall be bored with a bit of the same nominal diameter as the bolt plus 1/16th of an inch. Holes for lag screws shall be first bored to the same nominal diameter and depth as the shank and the remainder of the hole shall be bored at no more than the diameter of the root of the threads.

All bolts, expansion anchors and lag screws shall be provided with metal washers under the heads and nuts which bear on wood. Lag screws and wood screws shall be screwed and not driven into place. All bolt and lag screws shall be tightened on installation and retightened before closing in or completion of the job.

09900 PAINTING -

PART 1 GENERAL

1.01 QUALITY ASSURANCE

- A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this Section.

1.02 ENVIRONMENTAL CONDITIONS

- A. Apply per manufacturers directions.

1.03 SUBMITTALS

- B. Submit duplicate sets of samples, using materials approved for the Project, of each color and paint finish selected. Prepare on 8x10 inch hardboard panels, sealed as required.

2.01 CEMENT

- A. Provide a standard brand of portland cement, ASTM C150, type I or II.

2.02 AGGREGATES

- A. General: Provide hardrock aggregate, ASTM C33, with additional attributes as specified herein.
- B. Fine aggregate: Provide washed natural sand having strong, hard, durable particles, and containing not more than 2 percent by weight of deleterious matter such as clay lumps, mica, shale or schist. Grade from coarse to fine.
- C. Coarse aggregate:
 - 1. Provide coarse aggregate consisting of clean, hard, fine-grained, sound crushed rock or washed gravel, or a combination of both, containing not more than 5 percent by weight of flat, chip-like, thin, elongated, friable or laminated pieces, nor more than 2 percent by weight of shale or cherty material.
 - 2. Use coarse aggregate of the largest practicable size for each condition of placement.

2.03 WATER

- A. Use only clean potable water.

2.04 CONCRETE MIXES

- A. Unless otherwise directed use standard weight portland cement to achieve an ultimate compressive strength of 2500 psi at 28 days in a 5 sack mix.
- B. Slump: Footings and slabs on grade: 3 inches.
All other concrete: 4 inches.

PART 3 EXECUTION

3.01 SURFACE CONDITIONS

- A. Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the Work. Do not proceed until unsatisfactory conditions are corrected.

3.02 CONCRETE MIXING

- A. Concrete for minor work may be mixed at the site in a power mixer when the mixer has a capacity not less than one full sack batch.
- B. Unless otherwise approved by the Owner, use ready mixed concrete complying with ASTM C94.

3.03 INSERTS AND EMBEDDED ITEMS

- A. Coordinate the various trades who are required to fasten work to the structure, or are required to insert therein any sleeve, box, bolt, anchor or other rough hardware.
- B. Provide every facility for setting all required items accurately in the forms.
- C. Conduits and sleeves:
 - 1. Locate so as not to reduce the strength of construction. Do not place pipes, except conduits, in slabs less than 3-1/2 inches in thickness.
 - 2. In placing conduits in slabs on earth, place below the reinforcement and encase in concrete by increasing the thickness of the slab locally to at least 3 inches of concrete around the conduit on all sides.

3.04 CONVEYING AND PLACING CONCRETE

- A. Before placing concrete, thoroughly clean forms and make tight.

PART 2 PRODUCTS

2.01 PAINT MATERIALS

- A. The painting Schedule in Part 3 of this Section is based, in general, on the best quality products Cabot Stain (or approved equal) for the material as recommended by the manufacturers application guide and literature.
- B. Supply at least 1 gallon of each type of stain used for the Owner after the Project is finished.
- C. Semi Solid Stain for all exposed wood, Semi-transparent stain for wood decking, Opaque stain for handrail.

2.02 COLOR SCHEDULES

- A. The Architect will prepare a color schedule with samples for guidance in painting.

2.03 APPLICATION EQUIPMENT

- A. Use only equipment approved for application by the paint manufacturer of the particular paint being used.

2.04 OTHER MATERIALS

- A. Provide other materials not specifically described but required for a complete and proper installation as selected by the Contractor subject to the approval of the Owner.

PART 3 EXECUTION

3.01 SURFACE CONDITIONS

- A. Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the Work. Do not proceed until unsatisfactory conditions are corrected.

3.02 MATERIALS PREPARATION

- A. Mix and prepare paint materials in accordance with the manufacturer's instructions.

3.03 PREPARATION

- A. Verify that substrate conditions are ready to receive work.
- B. Correct minor defects and clean surfaces which affect work of this Section.
- C. Shop primed metal surfaces: Sand and scrape to remove loose primer, rust and other foreign materials. Prime paint bare steel surfaces.

3.04 APPLICATION

- A. Apply products in accordance with the manufacturer's instructions.

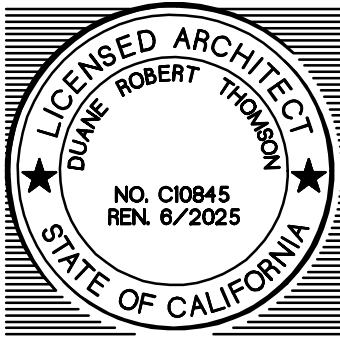
3.05 PAINTING SCHEDULE (verify w/Architect)

- A. Steel Rail – powder coated.
- B. Wood decking
 - 1. stain - 2 coats.
- C. Exterior Wood:
 - 1. Stain – 2 coats.

SEE THE DRAWINGS FOR ADDITIONAL ITEMS NOT INDICATED HEREIN.

NOTE: FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND GUIDES FOR THE PRECEDING SECTIONS. SEE DRAWINGS FOR ADDITIONAL SPECIFICATIONS.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED



DATE: 01-30-25

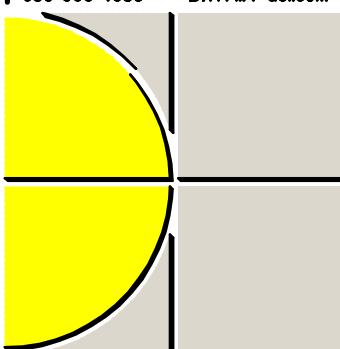
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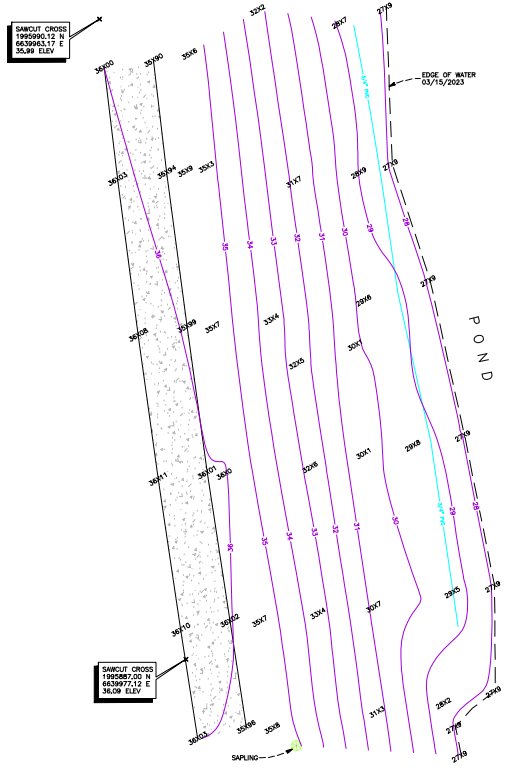
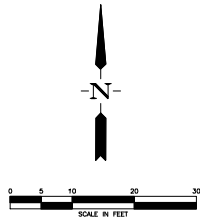
SPECIFICATIONS

WRPP OBSERVATION DECK
WOODLAND, CA

NOTE
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ON THIS SPECIFIC PROJECT ONLY.

Duane R. Thomson AIA
ARCHITECT
712 Main Street, Suite 102
Woodland, CA 95695
925-885-4600 DRTAA@aol.com





LEGEND

- Survey Control Point (marked with 'x')
- Utility Water Line (cyan line with cross-ticks)
- Elevation Contour (purple line with cross-ticks)
- Tree (green circle with cross-ticks)
- Concrete Paving (stippled pattern)
- Spot Elevation (x represents ground location & decimal point) (e.g., 32534)

Jim
Frame

Digitally signed by Jim Frame
DN: cn=Jim Frame, o=Frame
Surveying & Mapping, ou=
email=jframe@dcn.org, c=US
Date: 2023.03.16 13:17:09
+0700

LEONARD LAND SURVEYING

LEONARD K. FRAME

No. 068

STATE OF CALIFORNIA

DATE: MARCH, 2023	SCALE: 1" = 10'	FIELD BOOK	33	SHEET 1 OF 1	TOPOGRAPHIC SURVEY WOODLAND REGIONAL PARK PRESERVE DECK WOODLAND, YOLO COUNTY, CALIFORNIA	PREPARED FOR: DUNN, JIM 712 MAIN STREET, AKA WOODLAND, CA 95695	REVISIONS:



Yolo Habitat Conservancy

County of Yolo • City of Davis • City of Winters • City of West Sacramento
City of Woodland • University of California, Davis

To: Memo to file

From: Chris Alford
Interim Executive Director, Yolo Habitat Conservancy

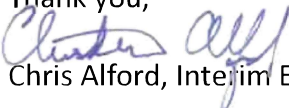
Date: March 6, 2025

RE: Woodland Regional Park Preserve Wetland Viewing Deck 1 (Rotary Pavillion) Project: Approval of request to approve location of proposed viewing deck within the Woodland Regional Park Preserve

The City of Woodland and its partners have been actively working on fundraising and planning for future park improvements associated with portions of the Woodland Regional Park Preserve located within the Park Facilities Development Envelope and the Designated Use Area located around portions of the constructed wetland within the Conservation Area. One such park amenity is the installation of a wood viewing deck that is located in between the existing ADA pathway and the west end of the constructed wetland, within the Designated Use Area identified in Figure 8 of the Woodland Regional Park Preserve Site-Specific Management Plan and shown below in Figure 1. Per the Woodland Regional Park Preserve Site-Specific Management Plan, a maximum of four viewing decks may be constructed. The specific location of any proposed viewing deck must be approved by the Conservancy, California Department of Fish and Wildlife (CDFW), and U.S. Fish and Wildlife Service (USFWS).

Yolo Habitat Conservancy (Conservancy) staff approve of the proposed viewing deck location and design. The proposed viewing deck is consistent with the Woodland Regional Park Preserve Site-Specific Management Plan, will provide a public amenity for passive recreation, and will provide a developed area where school groups and other park visitors can gather without potentially trampling over native vegetation or disturbing sensitive wildlife. The excerpt from the management plan that specifically allows for viewing decks along with a map showing the proposed location and a photo of the proposed location taken by Conservancy staff are included as an attachment to this approval. These materials along with the design plans for the viewing deck were provided to CDFW and USFWS on February 10, 2025 along with a request to review these materials and either provide their approval of the proposed location or identify any questions or concerns before or at the next Yolo HCP/NCCP coordination meeting (March 6, 2025). CDFW staff provided their approval of the proposed viewing deck location to the Conservancy by email on February 13, 2025 and USFWS staff provided their approval by email on March 6, 2025. This memo-to-file serves as confirmation of approval of the viewing deck location by the Conservancy, CDFW, and USFWS and will be saved as an addendum to the Site-Specific Management for the Woodland Regional Park Preserve.

Thank you,


Chris Alford, Interim Executive Director

The Woodland Regional Park Preserve Site-Specific Management Plan states:

***“Passive Recreation Amenities:** The installation of up to a total of twelve benches immediately adjacent to the existing concrete ADA pathway and/or other future approved trails for seating and wildlife viewing is allowed. The specific placement of benches along any future trails must be located away from sensitive habitat areas and approved by the Conservancy. A shade structure/pavilion with a viewing deck no greater than 800 sq. ft., along with up to three additional viewing decks, each located adjacent to the existing concrete ADA pathway along the designated use area shown in Figure 8 are allowed. One of these viewing decks is foreseen to be constructed as part of the educational facility that will be located within the Park Facilities Development Envelope along the southern edge of the constructed wetland. The locations and construction of all viewing decks must be approved by the Conservancy, CDFW, and USFWS. All other passive recreation amenities including restrooms, picnic tables, and shade structures are only allowed within the Park Facilities Development Envelope.”* (WRPP Site-Specific Management Plan, page 30)



Figure 1: Map from WRPP Site-Specific Management Plan showing designated use area within the Conservation Area with the proposed viewing deck location added.





Figure 2: Photo of the proposed viewing deck location taken from the existing ADA pathway on October 2024.





LOCATION OF
NEW OBSERVATION
DECK

EXISTING CONCRETE
WALK

EXISTING LAGOON